



The County of San Diego

Planning Commission Hearing Report

Date:	December 13, 2019	Case/File No.:	Ocean Breeze Ranch; PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013, PDS2016-STP-16-032, PDS2016-ER-16-02-006 (ER)
Place:	County Conference Center 5520 Overland Avenue San Diego, CA 92123	Project:	396 Residential Lot Development and Equestrian Facility Tentative Map, Two Major Use Permits, Site Plan
Time:	9:00 a.m.	Location:	5820 West Lilac Road
Agenda Item:	#5	General Plan:	Village Residential (VR-4.3), Semi-Rural Residential (SR-4), Semi-Rural Residential (SR-10), Rural Lands (RL-20), and Rural Lands (RI-40)
Appeal Status:	Appealable to the Board of Supervisors	Zoning:	Variable Family Residential (RV), Limited Agriculture (A70), Open and Space (A80)
Applicant/Owner:	Ocean Breeze Ranch, LLC	Community:	Bonsall and Fallbrook Community Plan Areas
Environmental:	CEQA §15183 Exemption	APN:	124-150-28, 124-150-34, 124-150-35, 125-080-21, 125-131-48, 125-131-49, 125-131-54, 126-060-78, 127-191-20, 127-230-59, 127-271-01, and 127-271-02

B. EXECUTIVE SUMMARY

1. Introduction

The purpose of this staff report is to provide the Planning Commission with the information necessary to consider the proposed project, findings, conditions of approval, and environmental findings prepared in accordance with the California Environmental Quality Act (CEQA). Discretionary actions required for the proposed project include a Tentative Map (TM), two separate Major Use Permits (MUP), and a Site Plan (STP).

The Ocean Breeze Ranch project ("Proposed Project"), submitted in 2016, consists of 396 proposed residential lots and an existing private equestrian facility located in the Bonsall and Fallbrook Community Plan areas. The equestrian facility is an existing use and will continue to operate with proposed minor improvements. Zoning throughout the approximately 1,403-acre site consists of Village Residential (RV), Limited Agricultural (A70), and Open Space (S80).

The TM (PDS2016-TM-5615) and MUP (PDS2016-MUP-16-012) will subdivide the 1,403-acre site into 396 residential lots. The additional MUP (PDS2016-MUP-16-013) will allow for an approximately 203-acre private equestrian facility, which is currently operating as an un-permitted use on the project site. A STP (PDS2016-STP-16-032) is required due to the "B" special area designator, ensuring the planned development is reviewed for community design consistency.

During processing of the application, the County received comments from the public relating to traffic, road improvements, fire evacuation, biological resources, architectural design, conservation subdivision design, and community character. The sections contained in this report describe the following: development proposal, analysis and discussion, community planning/sponsor group and public input, and the Planning & Development Services (PDS) recommendation.

The Planning Commission is asked to consider the project and either approve the Proposed Project as submitted, approve the project with modifications, or deny the project. PDS analyzed the project for consistency with the General Plan, Zoning Ordinance, and other applicable regulations, policies and ordinances and reviewed the Proposed Project's potential impacts on the environment in accordance with CEQA. Based on this analysis, the Department has found the Proposed Project to be consistent with the General Plan, Zoning Ordinance, and other applicable regulations, policies and ordinances with the inclusion of conditions in the MUP Form of Decision. Based on this analysis, it is the position of staff that the findings can be made and the Department recommends adoption of the Notice of Exemption, and approval of the Proposed Project with the conditions noted in the attached Resolution and Forms of Decision (Attachments B through D).

2. Requested Actions

This is a request for the Planning Commission to evaluate the proposed TM and MUP for a 396 residential lot planned development, an additional MUP for a private equestrian facility, a STP and determine if the required findings can be made and, if so, take the following actions:

- a. Make a finding that the project is consistent with the 2011 General Plan Update and the Environmental Impact Report No. 02-ZA-001 (GPU EIR) certified for the General Plan, and that the Proposed Project does not result in peculiar (i.e., significant impact not identified in the GPU EIR) significant effects specific to the project or its site, as shown in the attached findings prepared pursuant to Section 15183 of the Guidelines for the California Environmental Quality Act. (Attachment A and F).
- b. Adopt the Resolution of Approval for Tentative Map PDS2016-TM-5615 which includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with State law and County of San Diego regulations (Attachment B).
- c. Grant Major Use Permit PDS2016-MUP-16-012, make the findings, and impose the requirements and conditions as set forth in the Form of Decision (Attachment C).

- d. Grant Major Use Permit PDS2016-MUP-16-013, make the findings, and impose the requirements and conditions as set forth in the Form of Decision (Attachment D).
- e. Grant Site Plan PDS2016-STP-16-032, which includes the requirements and conditions set forth in the Form of Decision (Attachment C).

3. Key Requirements for Requested Actions

- a. Is the Proposed Project consistent with the vision, goals, and policies of the General Plan?
- b. Does the project comply with the policies set forth under the Bonsall and Fallbrook Community Plans?
- c. Is the Proposed Project consistent with the Bonsall and Interstate 15 Design Review Board (I-15 DRB) Design Review Guidelines?
- d. Is the Proposed Project consistent with the County's Zoning Ordinance?
- e. Is the Proposed Project consistent with the County's Subdivision Ordinance?
- f. Is the project consistent with other applicable County regulations?
- g. Does the project comply with CEQA?

C. BACKGROUND

The proposed project site has a long history of agricultural and equestrian uses. As detailed below in the project description there are a number of existing permitted and unpermitted agricultural structures on the project site. During the late 1800's, the property was owned by the Gird family and was used for farming and ranching of cattle. The project site has been in use as an equine breeding farm for several decades, dating to the purchase of the property by the Vessels Family in 1981. The project site contains an existing equestrian facility which includes barns, stables, a small office, covered and uncovered pens, a veterinary building, extensive pastures for horses, and several employee homes, most of which are unpermitted. Higher elevations and hillside areas have been utilized for agriculture, with avocado cultivation being the primary use in areas of steeper topography.

D. DEVELOPMENT PROPOSAL

1. Project Description

The Proposed Project is located within the Bonsall and Fallbrook Community Plan area (Figure 1). Access to this site is from West Lilac Road connecting to Interstate 15 (I-15) and State Route 76 (SR-76) (Figures 2 and 3). The proposed project includes two components, a residential development and a private equestrian facility. The residential development component consists of 396 residential lots, a total of 15.7 acres in seven public and private parks, approximately 5.1 miles of trails, approximately four miles of pedestrian sidewalks, roads and landscaping. The residential development will be divided into three planning areas and is designed to be phased.

The Proposed Project has been designed as a planned development pursuant to Section 5800 of the Zoning Ordinance and as a conservation subdivision pursuant to Section 81.401(r) of the Subdivision Ordinance. The planned development is permitted through a MUP and the purpose of a planned development is to preserve land areas that contain unique characteristics and features of a

geographical, geological, topographical, environmental, agricultural, scenic or historical nature; and/or to permit a more creative and imaginative design for development of any area which will result in more economical and efficient use of land while providing a greater preservation of open space in rural areas. The purpose of a conservation subdivision is to cluster project development in a way that minimizes impacts environmental resources and places these biological and natural resources within biological/conservation easements. The Proposed Project will preserve 953 acres of the 1,403-acre project site within a limited use easement and a biological open space easement. Both easements will be preserved in perpetuity.

The second component of the project consists of an existing equestrian facility with proposed minor improvements. Project design components are discussed below.

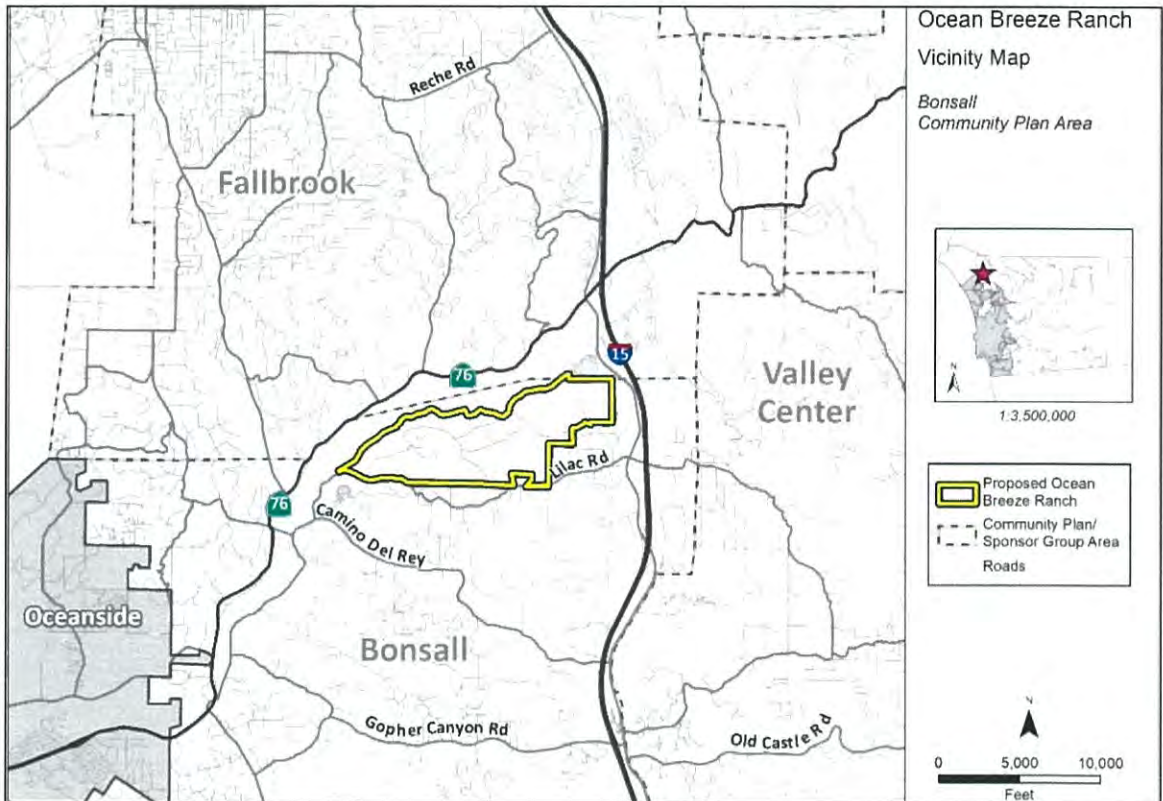


Figure 1: Vicinity Map

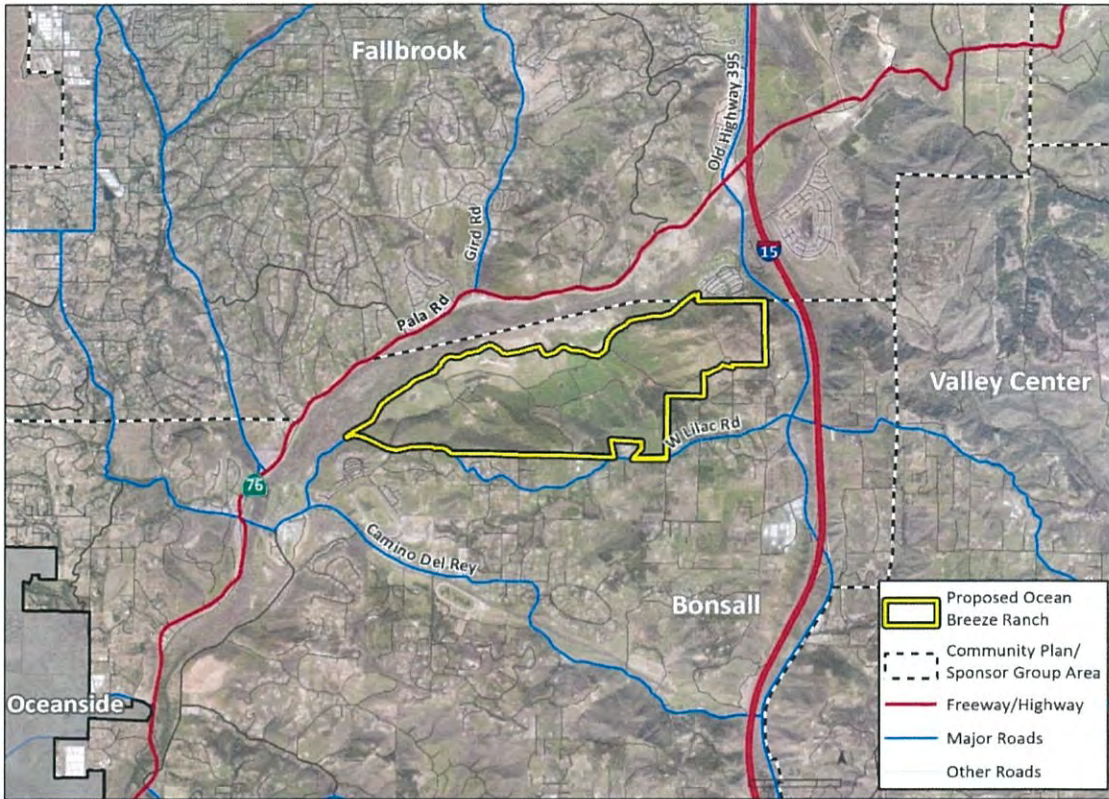


Figure 2: Major Road Network

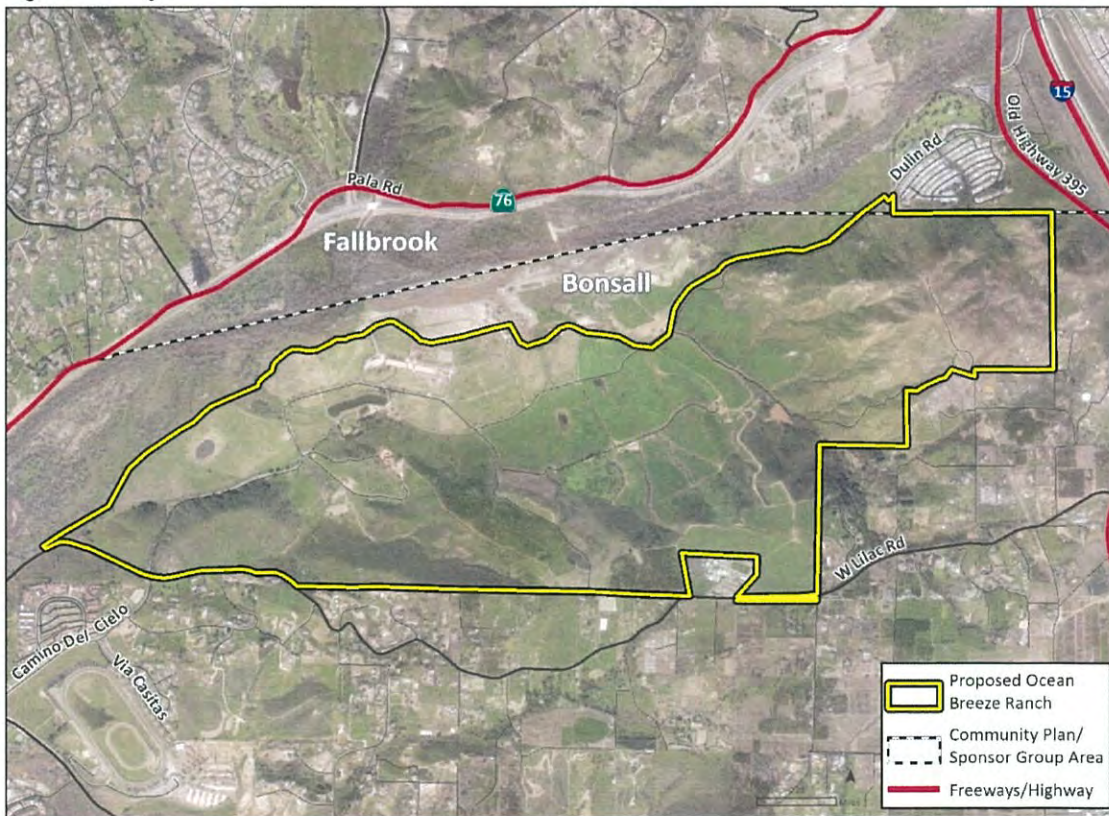


Figure 3: Existing Project Site

Residential Development

The proposed project has been designed as a conservation subdivision by clustering the development footprint in a way to minimize impacts to environmental resources and avoid areas set aside as open space. When designing conservation subdivisions and planned development areas it allows lot sizes to be reduced. The proposed project consists of a total of 396 residential lots, roads, parks, and landscaping within three planning areas (PA), PA 1, PA 2 and PA 3. The Proposed Project's 396 residential lots is fewer than the maximum of 402 residential units allowed by the General Plan (Figure 4).

Planning Area 1 (PA 1)

PA 1 will be located northeast of West Lilac Road in the middle portion of the project just south of the equestrian facility. This planning area is 68 acres and will include 144 residential lots with 5,000 square feet minimum lot sizes, and nine Homeowner Association (HOA) lots reserved for both public and private parks, stormwater retention basins and open space.

Planning Area 2 (PA 2)

PA 2 will be located north of West Lilac Road in the western-most portion of the project, southwest of the equestrian facility. This planning area is 67 acres and will include 237 residential lots with a mix of 4,500 and 5,000 square-foot minimum lot sizes and 13 HOA lots reserved for both public and private parks, stormwater retention basins and open space.

Planning Area 3 (PA 3)

PA 3 is 153.3 acres and is proposed along the private road connecting to the existing segment of Dulin Road, a public road, located within the Rancho Monserate Country Club (Rancho Monserate) community (Figure 4). PA 3 includes 15 residential lots with five-acre minimum lot sizes. The single, 24-acre Hillside Estate lot will be located off West Lilac Road, a public road, northeast of the Norman L. Sullivan Middle School (Sullivan Middle School). This planning area will include 17 HOA lots reserved for stormwater retention basins and open space.

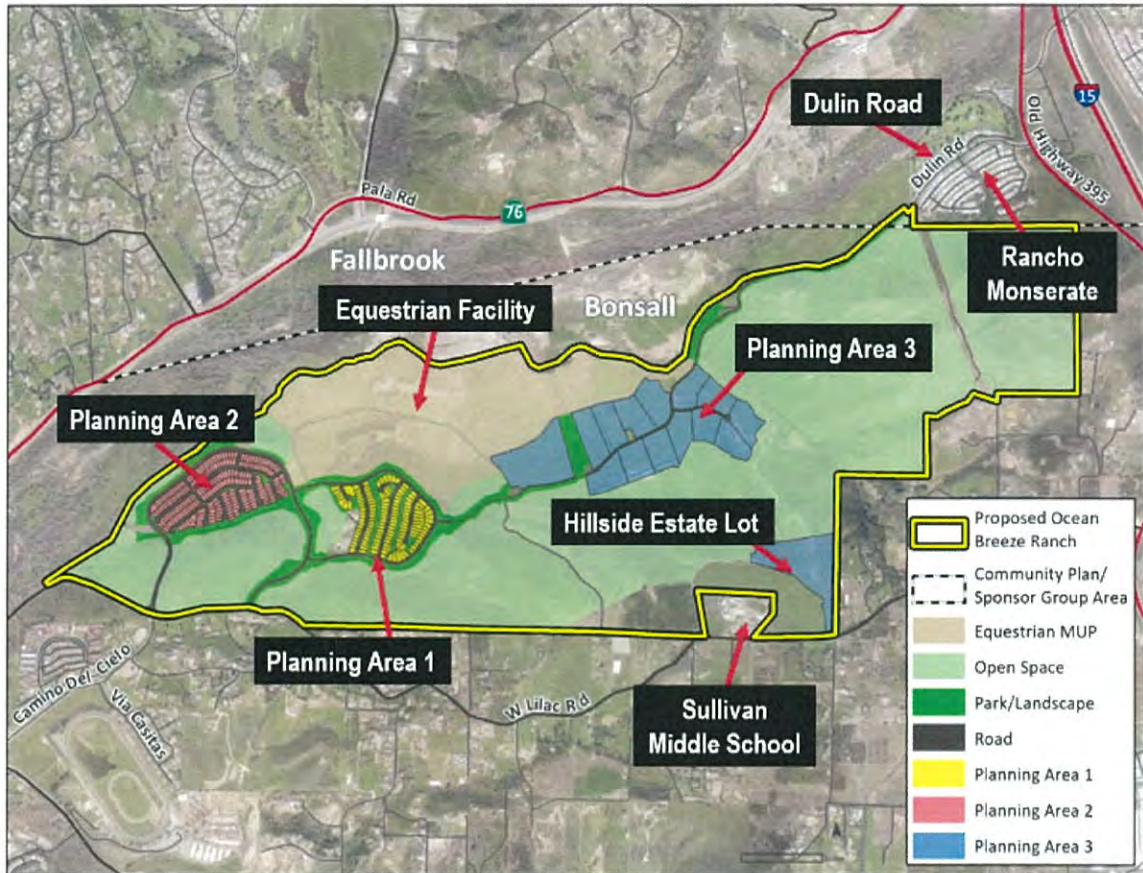


Figure 4: Project Site

Residential Units

The project proposes two product types with a range of architectural styles, including Cottage, Ranch, Craftsman, Tuscan, Monterey, Farmhouse, and Spanish, within PA 1 and PA 2 (Figure 5 and 6). These product types provide a variety of conceptual floor plans ranging in size from 2,000 square feet to 3,400 square feet, each with three to four bedrooms and two to three bathrooms. Each residential lot will have a minimum of 10-feet between lots. Color schemes will vary throughout the development with a focus on muted colors and natural design elements as demonstrated in Figures 5 and 6. Each unit will include a two-car or three-car garage and private useable space in the rear of each unit. Each unit will include installation of a solar/photovoltaic system equal to 1.8-kilowatt hours (kWh) and will be equipped for the future installation of a Level 2 electric vehicle (EV) charging station.

To allow future developers flexibility with respect to house placement and design, conceptual architecture is not provided for PA 3. Through conditions of approval of the MUP and the HOA's Covenants, Conditions and Restrictions (CC&Rs), limitations will be imposed to ensure Bonsall Design Guidelines for single family residential development are met for each lot, which include, architecture product types, building setbacks, preservation of existing natural features, hillside grading and drainage, and planting design for hillsides.



Figure 5: Conceptual Architecture Product Type One and Architectural Styles for PA 1 and PA 2



Figure 6: Conceptual Architecture Product Type Two and Architectural Styles for PA 2



Figure 7: Conceptual Architectural Renderings for PA 1 and PA 2

Conservation Subdivision

The County Subdivision Ordinance Section 81.401(r) requires residential projects with lands designated as SR-10 and RL-20 through RL-80 be designed as conservation subdivisions. The project site allows for minimum lots sizes varying from 6,000 square feet to 8-acre minimums. Through the Conservation Subdivision and Planned Development area guidelines, lot sizes can be reduced and changed. The Proposed Project provides a variety of lot sizes ranging from to 4,500 square feet to approximately 24 acres. By consolidating the Proposed Project's development footprint in a way that minimizes impacts to environmental resources this project has been designed as a conservation subdivision, with avoided areas set aside from development by conservation easements. To accomplish a lot count similar to what is allowed by General Plan and to meet the Conservation Subdivision requirements, the Proposed Project's design calls for a consolidated development footprint of 311 acres (22% of the overall property). The General Plan allowed density of the Proposed Project is 402 dwelling units and the project proposes 396 dwelling units.

To conform with Planned Development Area and the Conservation Subdivision regulations the project is designed to be clustered to avoid biological and natural resources. The Proposed Project is required to conserve approximately 789 acres (56 percent) of the approximately 1,403 site. The project meets this requirement by proposing to set aside a total of 953 acres (68 percent) for the protection of biological and natural resources. A total of 833 acres (59 percent) will be preserved by a biological open space easement and 120 acres (9 percent) will be protected by a limited use easement within the existing equestrian facility and within areas of PA 3 (Figure 8). This land within the equestrian facility and PA 3 supports existing pastures and will preclude future development. The pastures provide biological value by supporting wildlife foraging and movement.

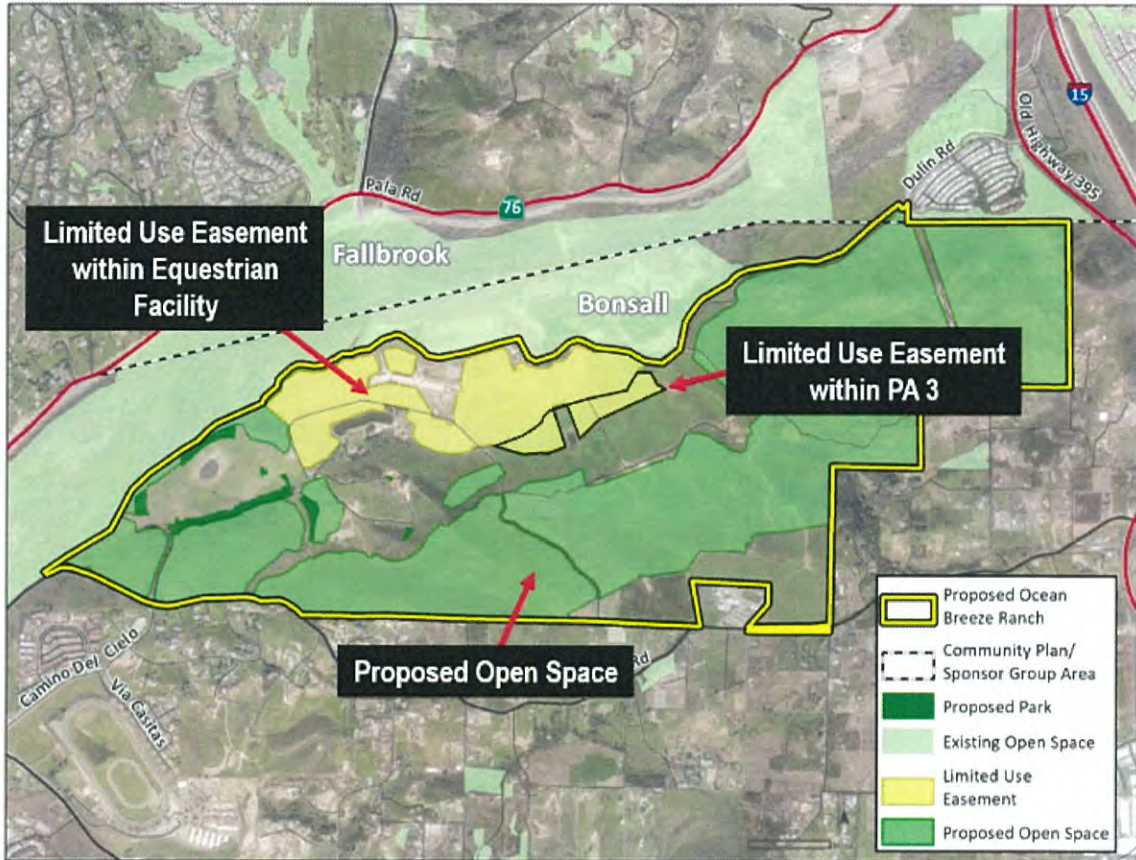


Figure 8: Open Space Preservation and Limited Use Easement over Equestrian Facility and a portion of PA 3.

Recreation Areas

The project proposes a total of 15.7 acres of public or private parks in PA 1 and PA 2, which includes 3.3 acres of public and private park area meeting the 3.2-acre park space requirement for 396 dwelling units pursuant to the County's Park Lands Dedication Ordinance (PLDO).

Within PA 1 and PA 2, the project includes seven park parcels, totaling 15.7 acres. Two public parks are planned (1.7 and 2.8 acres) for a total of 4.5 acres. The remaining five parks are planned to be private, (ranging from 0.3 to 7 acres) and will total 11.2 acres. Conceptual park designs and landscaping for public and private parks have been proposed and are to include locations and facilities aimed at both active and passive recreational activities for the enjoyment of project residents and the surrounding community (Figures 9a and 9b).



Figure 9a: Conceptual Park Designs for Planning Area 1

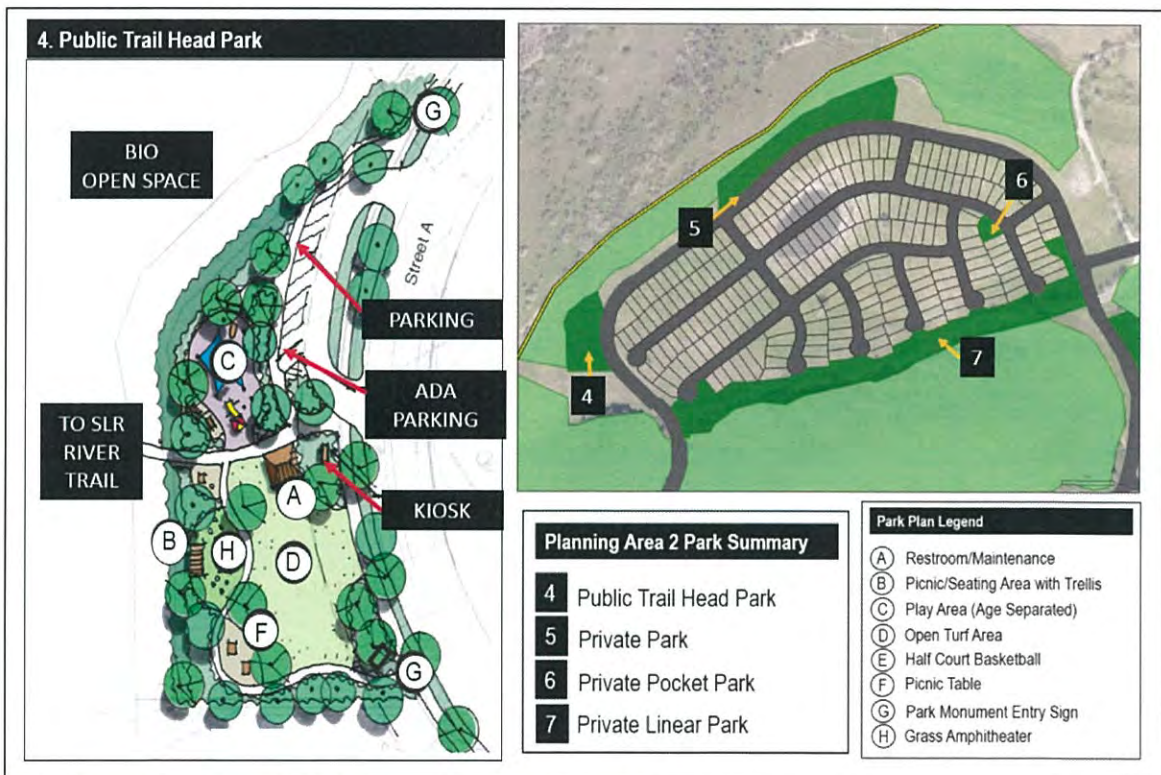


Figure 9b: Conceptual Park Designs for Planning Area 2

An internal network of sidewalks, pathways and trails will be provided within PA 1 and PA 2 to provide access to proposed residential neighborhoods, parks, and nearby regional trail facilities.

The Proposed Project includes approximately 5.1 miles of trails and approximately 4 miles of pedestrian sidewalks, within PA 1, PA 2 and PA3, with allowances for connection points to the County's future San Luis Rey River Trail and Rio Prado and Bonsall Community Parks at the proposed project's western and northern boundary (Figure 10 and 11). The San Luis Rey River trail alignment is proposed by Department of Parks and Recreation (DPR) as part of the San Luis Rey River Master Plan and is currently in the planning phase and is proposed to connect to surrounding regional trail facilities and parks. The proposed project also includes establishing a 15-foot wide trail easement over an existing dirt road connecting the east end of PA 1 toward Sullivan Middle School. The trail easement crosses biological open space and will be fenced on either side by 3-wire fencing to allow for wildlife movement. The easement will incorporate an eight-foot-wide decomposed granite trail and will restrict unauthorized vehicle access into biological open space.

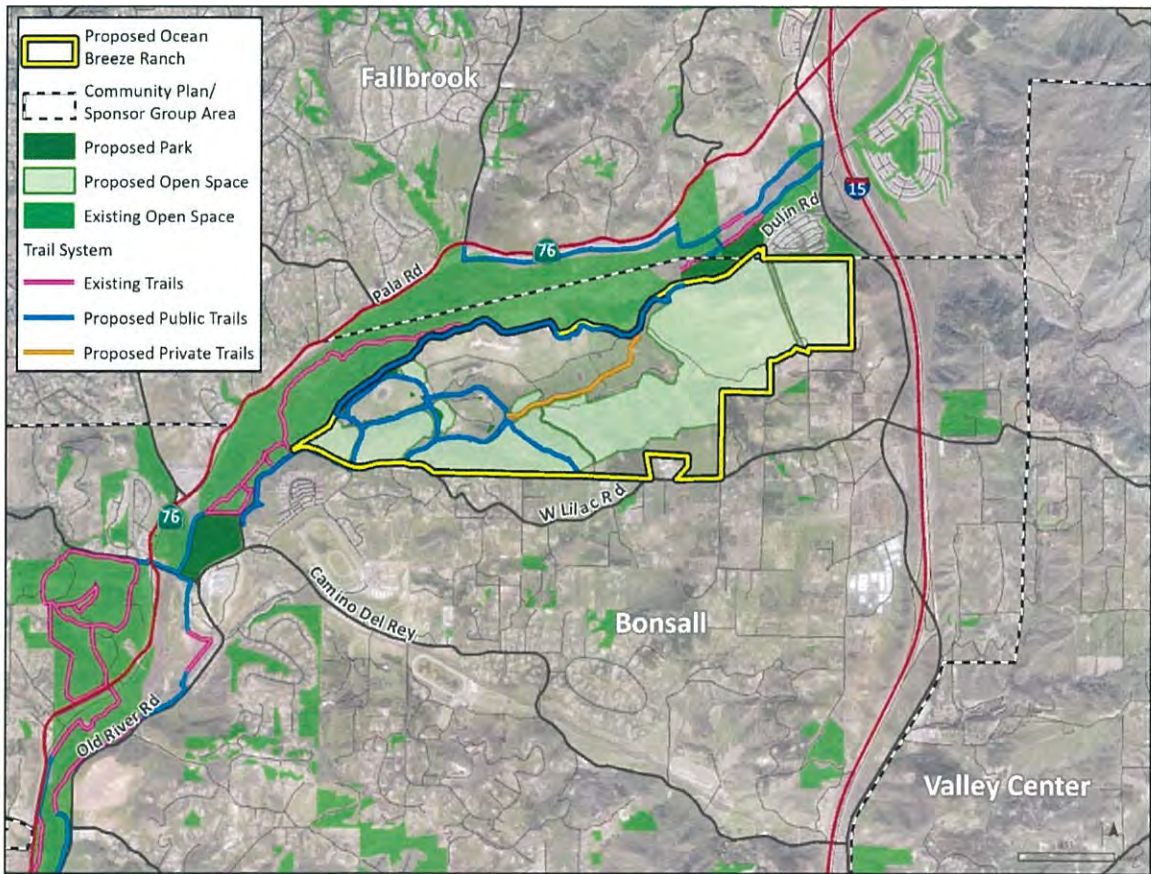


Figure 10: Community Trails Master Plan Proposed Regional System

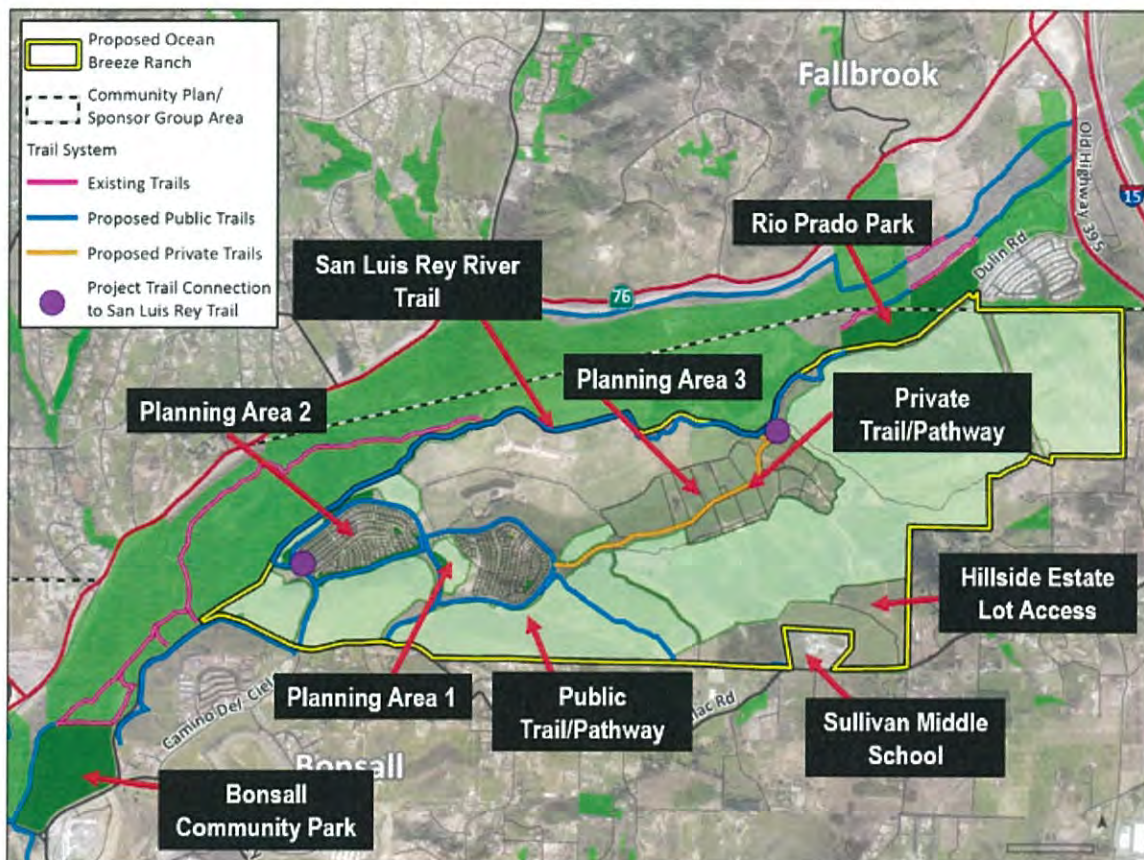


Figure 11: Proposed Public and Private Trails and Parks

Road Access & Improvements

In PA 1 and PA 2, roads will meet public road standards and provide access to residences as well as access to the community's parks and trails. In addition, a private road is proposed and will connect to the existing segment of Dulin Road, a public road, located within the Rancho Monserate community. It will be located through PA 3 to provide daily access for residents and visitors in that neighborhood; both ends of this private road will be gated (Figure 12). These emergency access gates shall provide unrestricted egress during an emergency and will operate on a fail-safe open system. The gates will have sensors for vehicles and will be equipped with electric, solar and/or battery power, which allows all gates on this road to open for emergency egress via Dulin Road in the event of power failure. In the event emergency evacuations are necessary, PA 1 and PA 2 will use this road to evacuate. The Hillside Estate Lot will be accessed by a proposed driveway off West Lilac Road.

Because the Proposed Project will be phased, an interim secondary emergency access (interim access road) road through the Equestrian Facility is required (Figure 12). This interim access road is conditioned to be the required secondary access for no more than three years and the project will be required to complete construction of the private road connecting to the eastern segment of Dulin Road within that timeframe. Both the interim access road and private road will connect to the existing segment of Dulin Road located within the Rancho Monserate community. All portions of Dulin Road which are constructed onsite will be privately owned and maintained by the Homeowners Association

(HOA). A Road Maintenance Agreement will be required between the project and the County, to ensure private road maintenance in perpetuity.

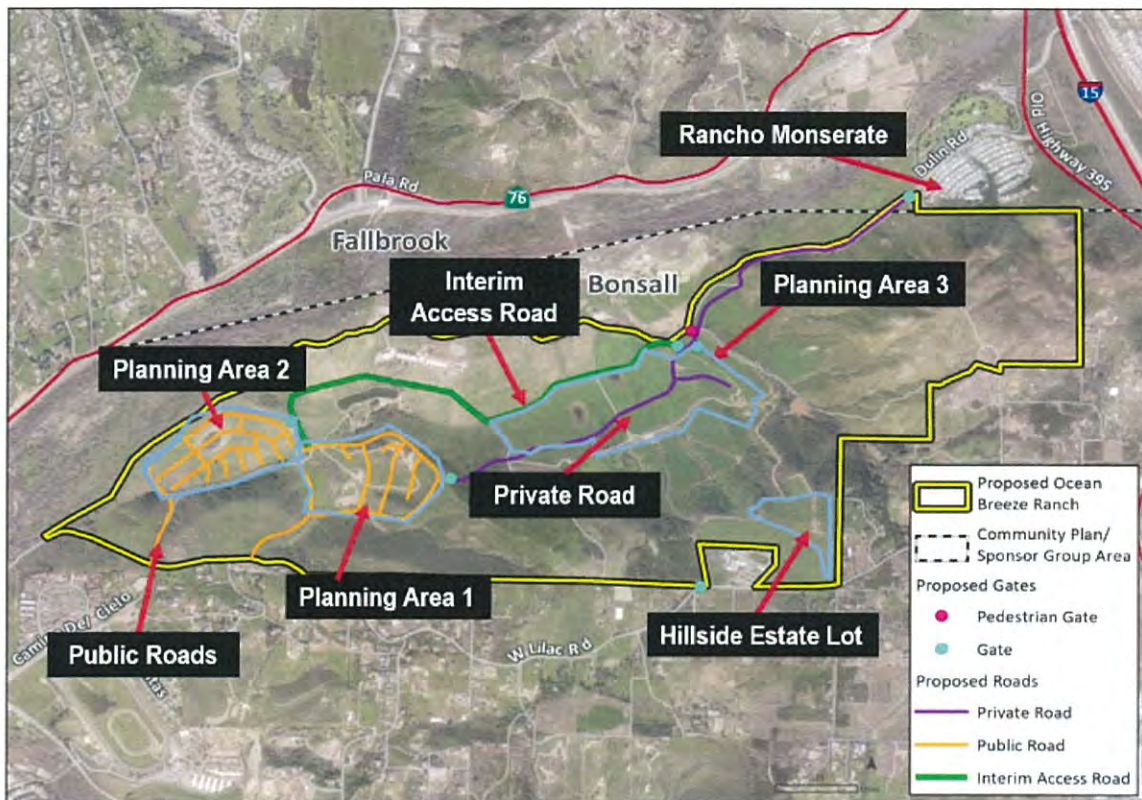


Figure 12: Proposed Internal Circulation

Equestrian Facility

The existing, private equestrian facility is bordered by PA 1 to the south, PA 2 to the southwest, and PA 3 to the southeast. The equestrian facility is an existing unpermitted use on the Proposed Project site, which includes approximately 165 horses on approximately 375 acres of land. The proposed equestrian facility will be reduced in acreage and will be subject to a MUP to permit a maximum of 400 horses on 203 acres of land. The remaining 172 acres will be part of PA 1, PA 2 and dedicated as biological open space. The MUP will be conditioned to require building permits for unpermitted structures to be submitted within 140 days of the MUP approval. The equestrian facility will include a total of 204,433 square feet of existing and proposed structures. Figures 13-14 and Table C-1 show and list the existing and proposed facilities and structures by the equestrian facility MUP.



Figure 13: Equestrian Facility (Facing North)



Figure 14: Existing Historic Buildings to remain as Employee Housing for the Equestrian Facility

Table C-1 Equestrian Facility Existing and Proposed Structures

Existing Structures To Remain	Proposed Additional Structures
8 existing barns	16 horse shade structures
5 houses (used as employee housing)	1 horse aquatic therapy pool
3 manufactured homes (used as employee housing)	1 equipment maintenance shop
5 water wells including 3 well houses	4 horse pens (covered and uncovered)
34 horse pens (covered and uncovered)	
1 horse exercise arena	
2 open air training arenas	
9 horse shade structures	

Currently, the equestrian facility employs 20 full time employees in ranch administration, horse care, training and maintenance, and landscaping maintenance. Of these employees, eight currently reside at the facility in employee housing. A total of eight residences for employee housing are proposed on-site (five existing houses and three existing manufactured homes, Table C-1). Of these, five buildings are deemed to have historical significance and have been conditioned to remain in place.

The primary access to the equestrian facility is from West Lilac Road. As part of the Proposed Project a new public road through PA 1 and PA 2 will connect to the equestrian facility. The equestrian facility will be gated from the public. Secondary access will be from the private segment of Dulin Road at the east end of the equestrian facility that connects to the existing segment of Dulin Road located within the Rancho Monserate community (Figure 12).

Municipal Services

The Proposed Project has demonstrated that all necessary services and facilities are available as required by the General Plan and Board of Supervisors Policy I-84 (Project Facility Availability Forms for Public Sewer, Water, School, and Fire Services).

Project Facility Availability Forms have been provided for all services and are included in Attachment K, Service Availability Forms. The project will be served by the following Districts:

Water and Sewer: Rainbow Municipal Water District (RMWD)

Fire: North County Fire Protection District (NCFPD)

School: Bonsall Unified School District (BUSD)

In addition, the existing equestrian facility, PA 3 and the Hillside Estate will require septic services which will be permitted by the Department of Environmental Health.

2. Subject Property and Surrounding Land Uses

The project site is located in the communities of Bonsall and Fallbrook within the unincorporated area of northern San Diego County. The General Plan Regional Category for the site is Village, Semi-Rural and Rural. Surrounding land uses include single-family residential, proposed public parks, proposed regional trails, schools, equestrian facilities and agricultural lands. Please refer to Attachment H – Planning Documentation, for maps of surrounding land uses and zoning designations.



Figure 15: Existing and Entitled Residential Developments

The property is bordered to the north by State Route 76 (SR-76), to the east by Interstate 15 (I-15), to the south by West Lilac Road, and to the west by SR-76. The project site encompasses approximately 1,403 acres and mostly located in the northernmost region of the Bonsall Community Plan area, with approximately two acres located in the southernmost area of the Fallbrook Community Plan area as shown in Figure 11. The property includes a variety of terrain, from a relatively flat plain near the San Luis Rey River along the northern boundary, to ridges and hillsides near the property's southern boundaries (Figures 16-18). The Proposed Project site is primarily developed for equestrian and limited agricultural uses. However, a large portion of the site, located primarily to the east and south along West Lilac Road, a public road, remains undeveloped.

A number of existing and entitled residential communities and other uses are located within a two-mile radius of the project: Rancho Monserate (200 feet east); which includes 232 manufactured homes, Lake Rancho Viejo (0.45 mile northeast), which includes 816 single family residential units; Golf Green Estates (0.8 mile southwest), which includes 94 single-family residential lots that are under construction; Sycamore Ranch (0.37 mile north) which includes 486 single family residences, and Camino del Cielo (0.5 mile to the south), adjacent to the project site and includes 76 condominiums that are entitled but not yet built (Figure 15).



Figure 16: Viewshed on-site looking southwest towards project site

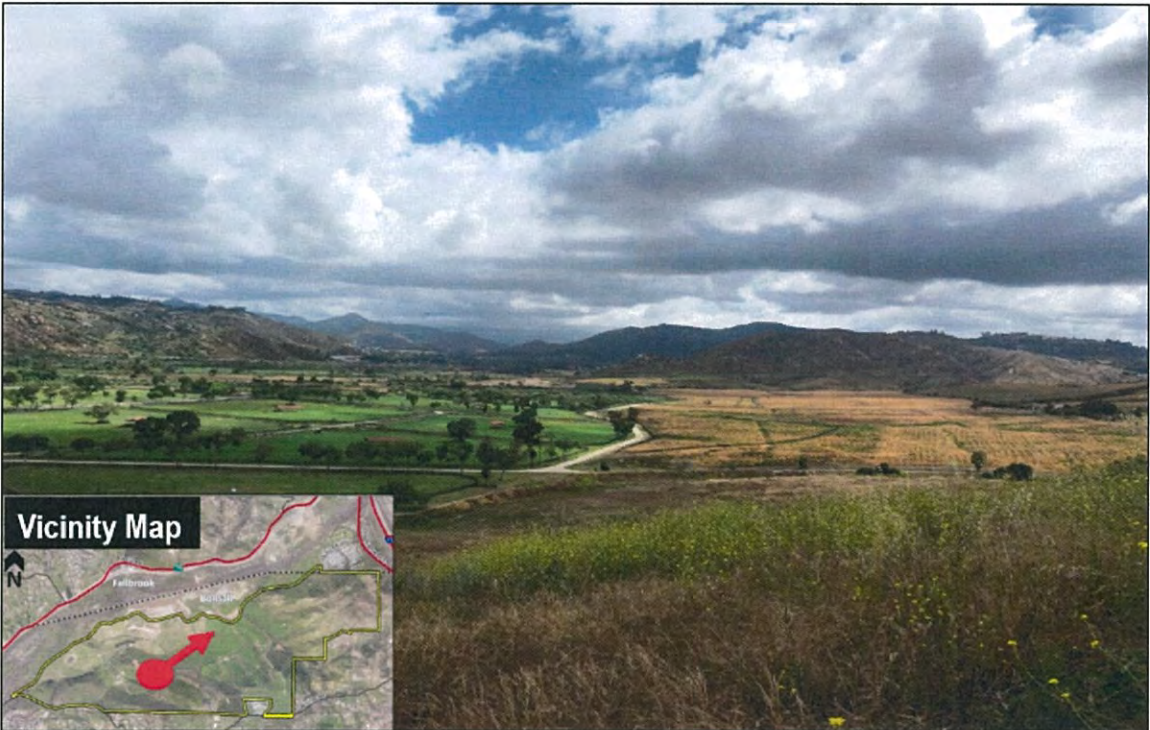


Figure 17: Viewshed on-site looking northeast towards project site

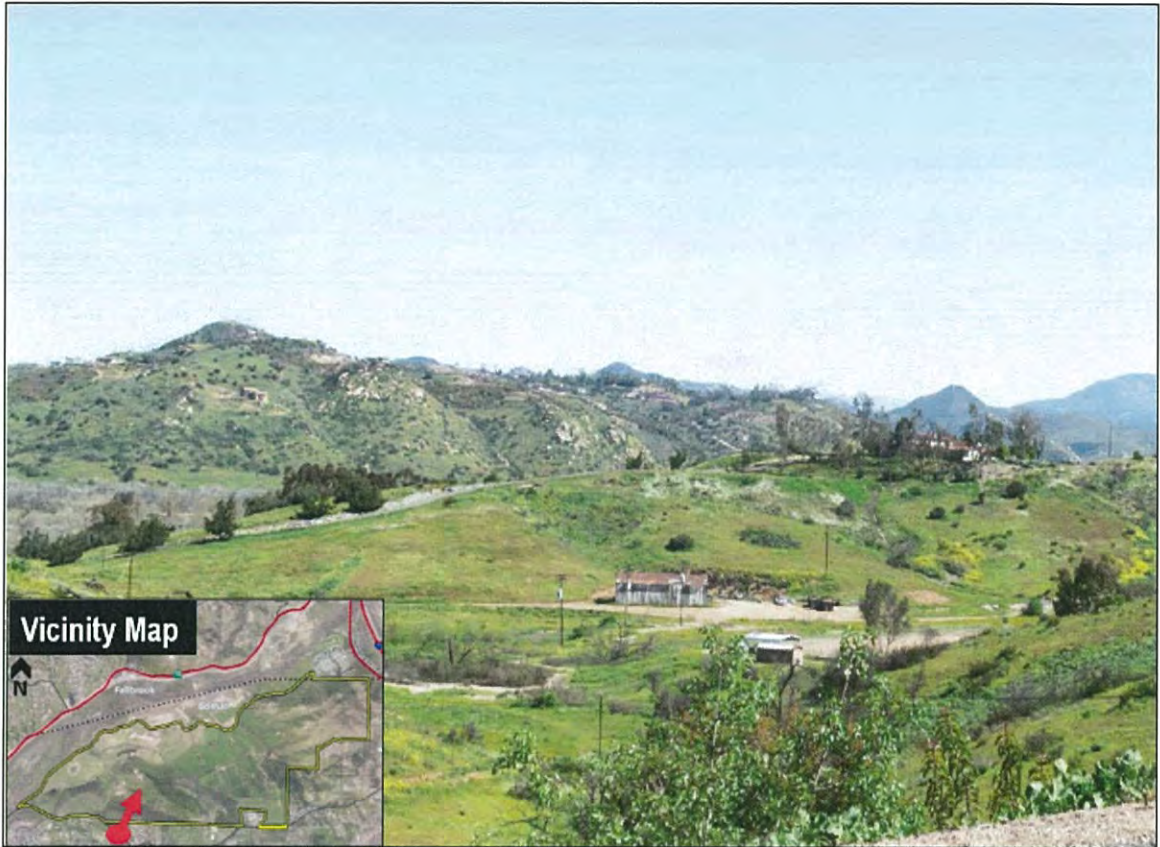


Figure 18: Viewshed from West Lilac Road looking north towards project site

Table C-2: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	(SR-2) Semi-Rural Residential, (RL-40) Rural Lands	A70 A72 RRO	SR-76	Agriculture, San Luis Rey River Park, Undeveloped Lands, Single-Family Residential, State Route 76
East	(RL-20) Rural Lands, (SR-4) Semi-Rural Residential, (VR-4.3) Village Residential	A70 RR RMH4	Dulin Road	Mobile home Park, Single-Family Residential, Undeveloped Lands

Location	General Plan	Zoning	Adjacent Streets	Description
South	(SR-2) Semi-Rural Residential, (SR-4) Semi-Rural Residential, (VR-4.3) Village Residential, (VR-15) Village Residential	A70 A72 RR RU RV	West Lilac Road	Agriculture, Single-Family Residential, Golf Course Equestrian Facilities
West	Open Space (Recreation), Public/Semi-Public Facilities, General Commercial, (VR-7.3) Village Residential, (SR-2) Semi-Rural Residential	A70 S80 C30 RS RR	SR-76	Agriculture, Open Space, Single-Family Residential, State Route 76

E. ANALYSIS AND DISCUSSION

The project has been reviewed for conformance with all relevant ordinances and guidelines, including, but not limited to, the San Diego County General Plan, the Bonsall Community Plan, the Fallbrook Community Plan, the County Zoning Ordinance, and CEQA Guidelines. A detailed discussion of the project's technical analysis and consistency with applicable codes, policies, and ordinances is described below. The following items were reviewed throughout the project's processing and are also detailed below: MUP findings, traffic, fire service, emergency evacuation and biological resources.

1. Project Analysis

Location and Linkage

The project site is located in an area that warrants additional housing to support several employment centers in the proximity. The Proposed Project is located approximately two miles from Oceanside, six miles from downtown Fallbrook, 5.7 miles from Camp Pendleton, 18 miles from Temecula, 28 miles north of Sorrento Valley, approximately 29 miles north of the University Town Center area and 12 miles northeast of the City of Carlsbad. These communities are considered areas with some of the highest employment densities in the San Diego region. The site is located in close proximity to the cities of Escondido and San Marcos, where infrastructure and services are available. It is also surrounded by agricultural, commercial, light industrial and residential uses of various densities. Several major employers, including but not limited to Palomar Medical Center, California State San Marcos, Kaiser Permanente, and Stone Brewing Company are located within 14 miles of the project site.

The project site is located in an area that provides a high level of transit and transportation opportunities. The project site is located 0.6 mile west of I-15 and 0.4 mile south of State Route 76. Although the project does not include any improvements to public transit, public transportation, including Sprinter and bus routes are readily available. The Sprinter line, which is a 22-mile rail system, connecting Oceanside, Vista, San Marcos and Escondido, has a total of 15 stations along the Highway 78 corridor. The closest transit stop to the Proposed Project is the Melrose Sprinter Station and is located approximately seven miles south from the project site. Park and Ride facilities

are located 2.4 mile from the Melrose Sprinter Station and a bus stop to the City of Vista, Cal State San Marcos and Palomar Collage are also available at the Melrose Sprinter Station.

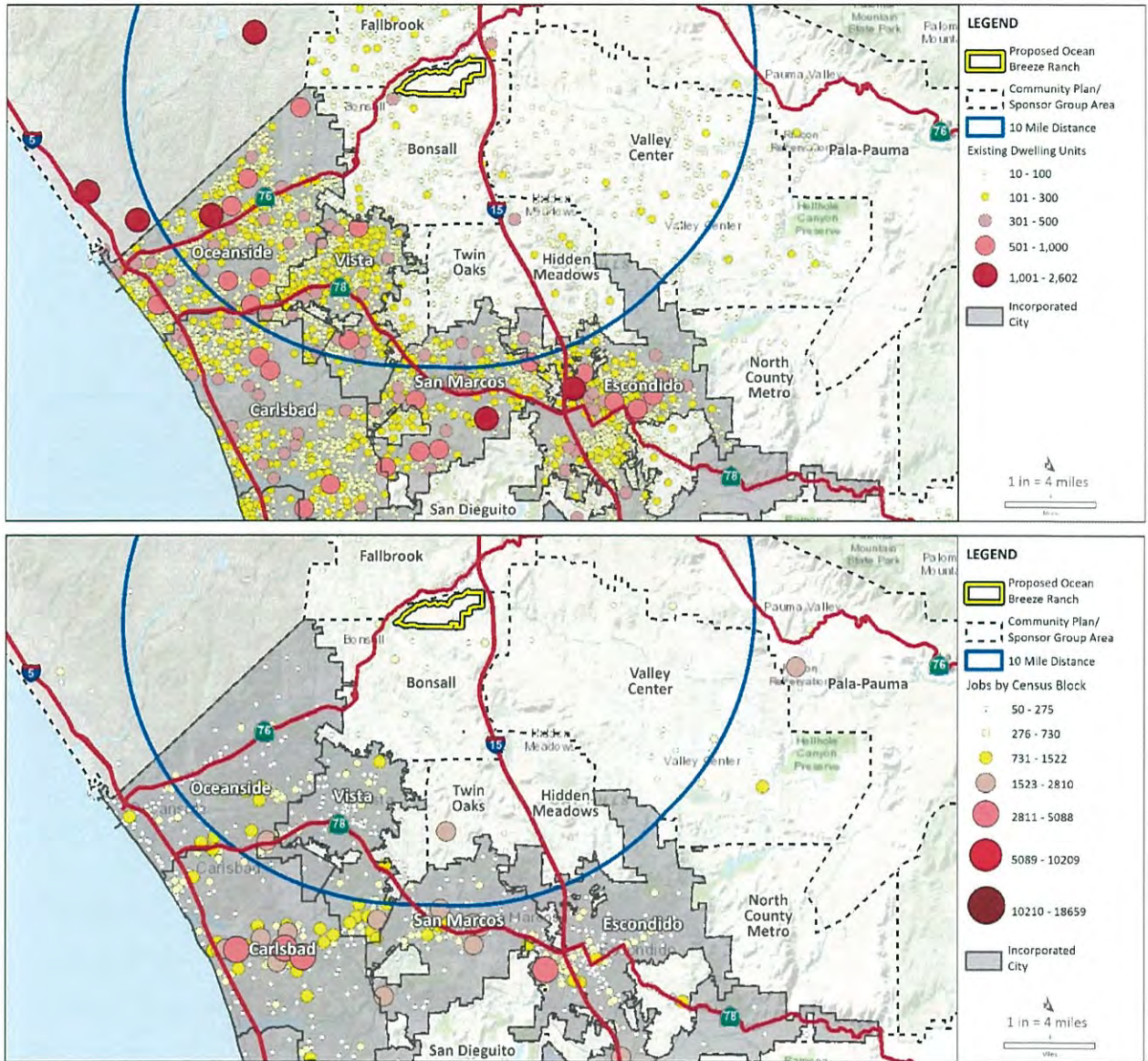


Figure 19: Housing and Jobs

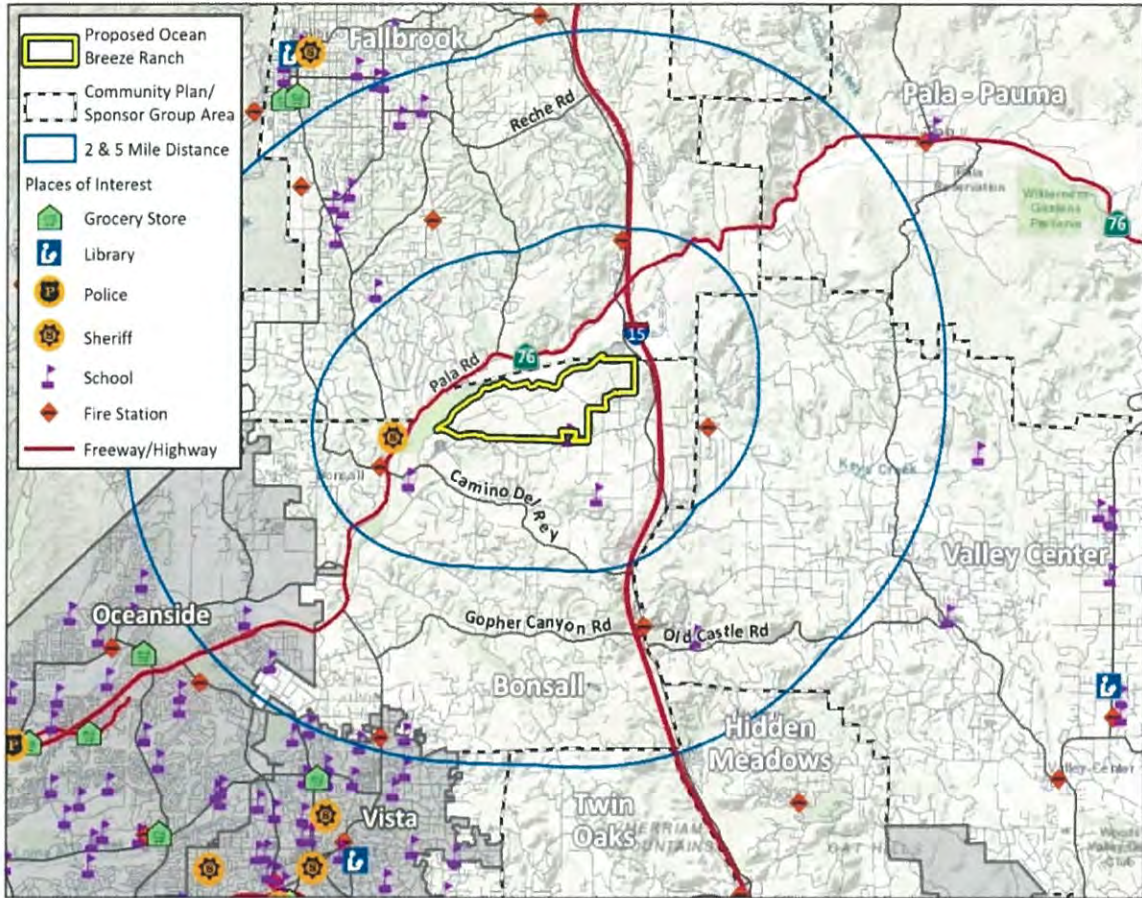


Figure 20: Essential Services

Major Use Permit Findings

In accordance with Section 7358 of the Zoning Ordinance, findings must be made relating to scale, bulk and coverage, availability of services, effects upon neighborhood character, and suitability of the site for the type of proposed use. Staff has analyzed the Proposed Project in relation to each of these findings.

Planned Development - Major Use Permit Findings

The location, size, design, and operating characteristics of the Proposed Project will be compatible with adjacent uses, residences, buildings, and structures (Figures 21 and 22). Planned Developments are allowed upon approval of a MUP and are suitable when designing a conservation subdivision. The project site allows for minimum lot sizes varying from 6,000 square feet to 8-acre minimums. Through the Conservation Subdivision and Planning Development area regulations, lot sizes can be reduced and changed. Proposed lot sizes vary widely, ranging in lot size from 4,500 square feet, five acres to 24 acres. The existing visual character and quality of the Project site and surrounding area can be characterized primarily as rural residential, with agricultural uses and smaller equestrian facilities on relatively flat to sloping grades.

The project is compatible because of the setbacks of the structural elements on the site, use of landscaping for screening and the use of muted tones (creams, browns, tans, and taupes) for the proposed residences to blend in with the surroundings. The overall bulk and scale of the proposed

residences will be minimized and rendered more visually interesting through two product types and seven architectural styles with porches, dormers, and simple roof shapes. A variety of floor plans and elevations have been designed to provide for aesthetic diversity which is consistent with the surrounding area and complies with the Bonsall Design Guidelines.

The Proposed Project will not significantly alter the landscape and will maintain the property's compatibility with the surrounding community. Measures which have been applied to avoid or reduce visual impacts to the nearby community include, intentionally placing the project's development footprint in locations which will be largely shielded from public view by existing topography including hillsides and ridges, as demonstrated in the photo simulations in Figures 12 and 13.

Other measures to ensure the project is compatible with the surrounding community include: varied residential architectural styles; preservation of 953 acres through a biological open space easement and a limited use easement which buffers existing properties from the new project; 15.7 acres of park and 45 acres of common open space dispersed throughout the site to promote recreational and walkable activities. In addition, new landscaping is proposed along project roads, in parks, on slopes between homes and at the project perimeter. The retained trees and new landscaping will assist in softening the visual effects of the newly built community after construction, allowing the project to blend with the existing topography and surrounding community.

To accomplish a lot count similar to what is allowed by General Plan and to meet the Conservation Subdivision requirements, the project's design calls for a consolidated development footprint of 311 acres (22% of the overall property). The General Plan allowed density of the Proposed Project is 402 dwelling units and the project proposes 396 dwelling units.

All necessary public facilities and services are available to the site as detailed in the service availability letters submitted for the project in Attachment I.

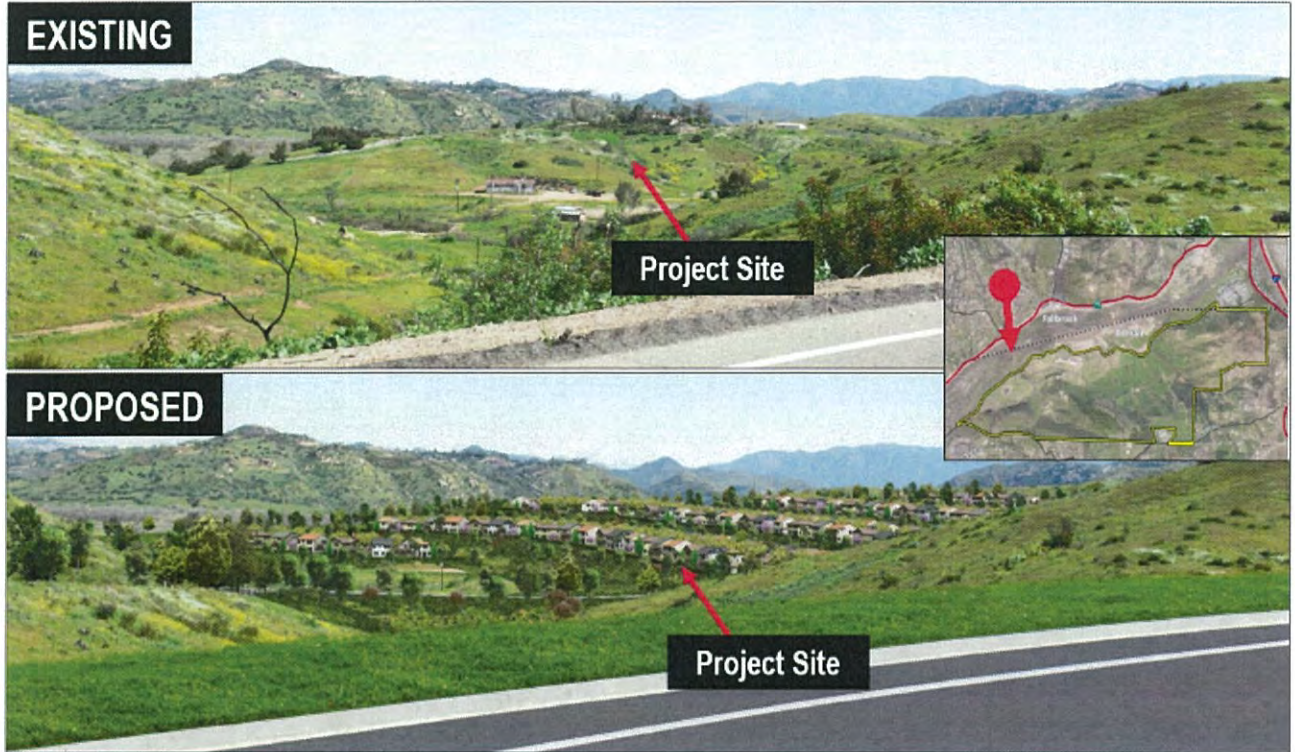


Figure 21: Photosimulation looking north approximately 0.4 mile toward the site from West Lilac Road



Figure 22: Photosimulation looking southwest approximately 1.2 miles from Flowerwood Lane towards PA 1.

Major Use Permit Findings – Equestrian Facility

The location, size, design, and operating characteristics of the existing equestrian facility will be compatible with adjacent uses, residences, agricultural uses, and surrounding equestrian facilities (Figure 23). Equestrian Facilities are allowed uses under the Zoning Ordinance within the Limited Agricultural Use and Open Space Use Regulation upon approval of a MUP and equestrian facilities such as this are common within nearby residential and agricultural areas. Other nearby uses include residential houses, agricultural producers, equestrian facilities, and light commercial businesses such as horseback riding and hay sales. The existing equestrian facility has been in operation for over 30 years and will include construction of 22 new accessory buildings including shade structures, horse pens, an equipment maintenance shop and an aquatic therapy pool for the equestrian facility. These new buildings will not significantly alter the landscape as they are designed to be of the similar architecture and color of the existing buildings on-site. The equestrian facility represents a compatible use with surrounding rural uses and will not have harmful effect on community character (Figure 24).

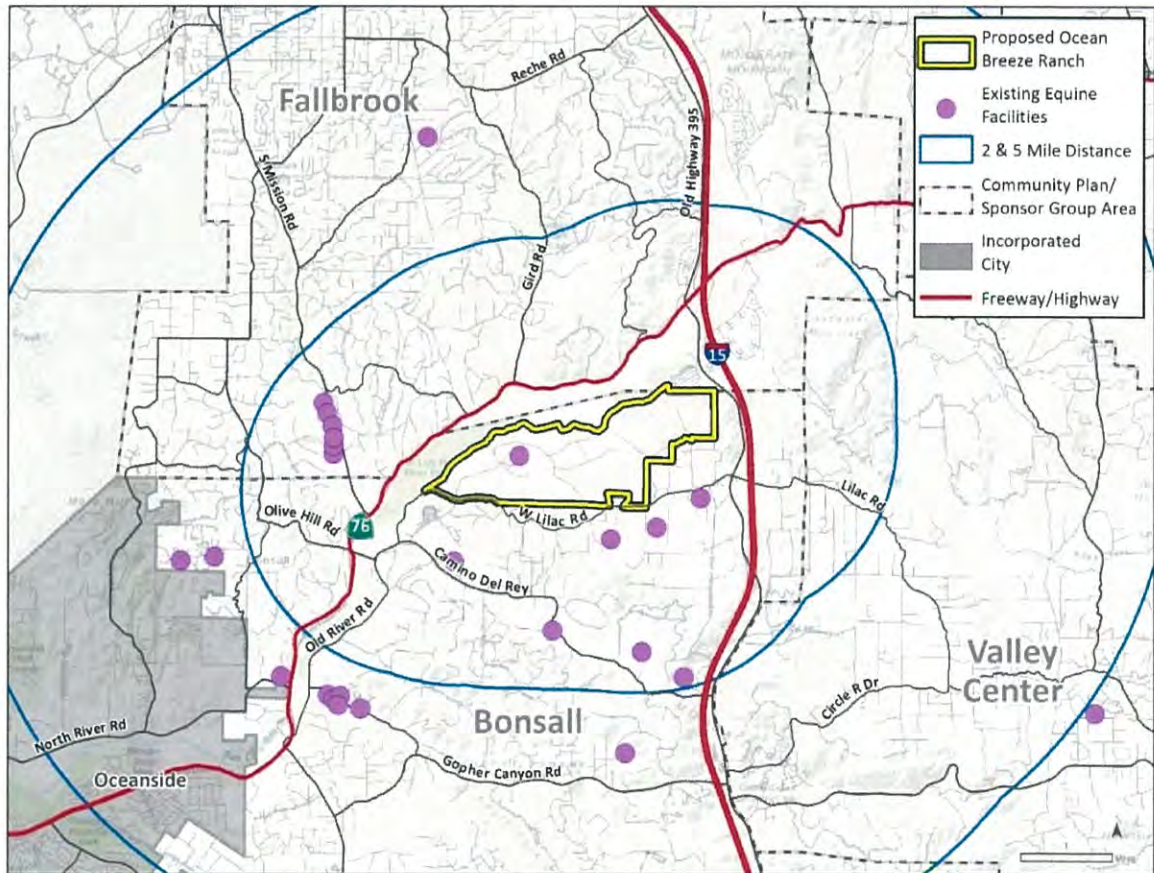


Figure 23: Surrounding Existing Equestrian Facilities

Existing natural land features immediately surrounding the project site consist of hills and ridges, which predominantly block views into the equestrian facility from West Lilac Road, the nearest public road, and SR-76. As a result of distance from nearby public roads and existing topography, there is no portion of the future equestrian facility which will be visible from nearby public roads. Furthermore, the equestrian facility structures will be separated and buffered from all future proposed homes in PA 1, PA 2 and PA 3 via setbacks, retained existing mature trees, and proposed future landscaping.

All necessary public facilities and services are available to the site as detailed in the service availability letters submitted for the project, included in Attachment I.

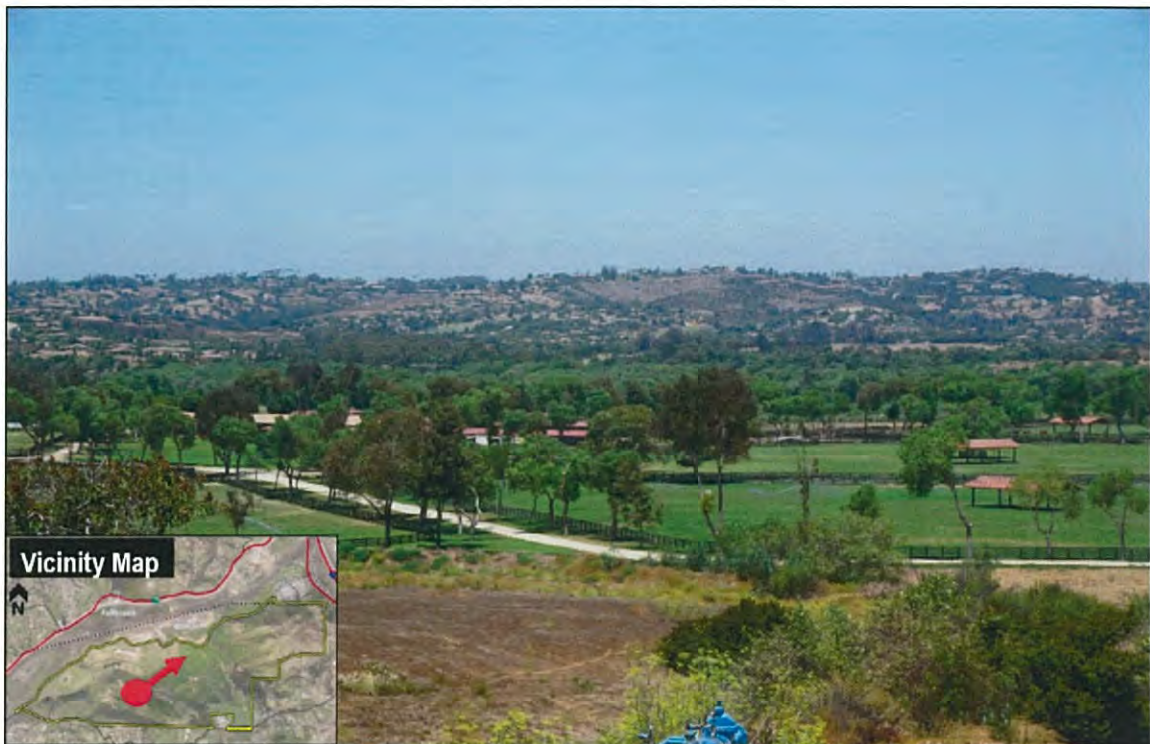


Figure 24: Viewshed on-site looking north towards Existing Equestrian Facility

Existing natural land features immediately surrounding the project site consist of hills and ridges, which predominantly block views into the equestrian facility from West Lilac Road, the nearest public road, and SR-76. As a result of distance from nearby public roads and existing topography, there is no portion of the future equestrian facility which will be visible from nearby public roads. Furthermore, the equestrian facility structures will be separated and buffered from all future proposed homes in PA 1, PA 2 and PA 3 via setbacks, retained existing mature trees, and proposed future landscaping.

All necessary public facilities and services are available to the site as detailed in the service availability letters submitted for the project, and included in Attachment K.

Traffic Impacts

The Traffic Impact Study (TIS) determined the project will generate 3,990 average daily trips (ADT). The TIS analyzed 20 intersections, 18 county road segments, and six state highway segments in the vicinity to evaluate the Level of Service (LOS) for existing, existing plus project, and cumulative conditions (Figure 25). The TIS determined the project will not result in any direct significant impacts beyond what was included in the GPU EIR to intersections or road segments with the implementation of improvements and mitigation measures.

The project's direct and cumulative traffic impacts and recommended mitigation measures are summarized below.

A Traffic Impact Analysis was prepared and concluded that the project will not have a significant impact to surrounding roads with the proposed mitigation measures. The project will form a Road Maintenance Agreement to ensure the private roads are maintained; improve West Lilac Road to public road standards; and install a traffic signal at the intersection of Old Highway 395 and West Lilac Road. The project will pay the Transportation Impact Fee (TIF) to mitigate cumulative traffic impacts. As of 2019, the current estimated amount of TIF payment and San Diego Association of Governments (SANDAG) Regional Transportation Congestion Improvement Program (RTCIP) payment for the project is \$2,200,235.

The applicant has included a design feature at West Lilac Road and Camino Del Rey that will extend the existing right turn lane to allow for more vehicles to queue and is included as a condition of approval. The applicant has also volunteered to install a traffic calming device, consisting of a paved raised crosswalk wide enough to accommodate a golf cart to provide for safe crossing of Dulin Road by members of the Rancho Monserate community. This design feature has been added as a condition of approval.

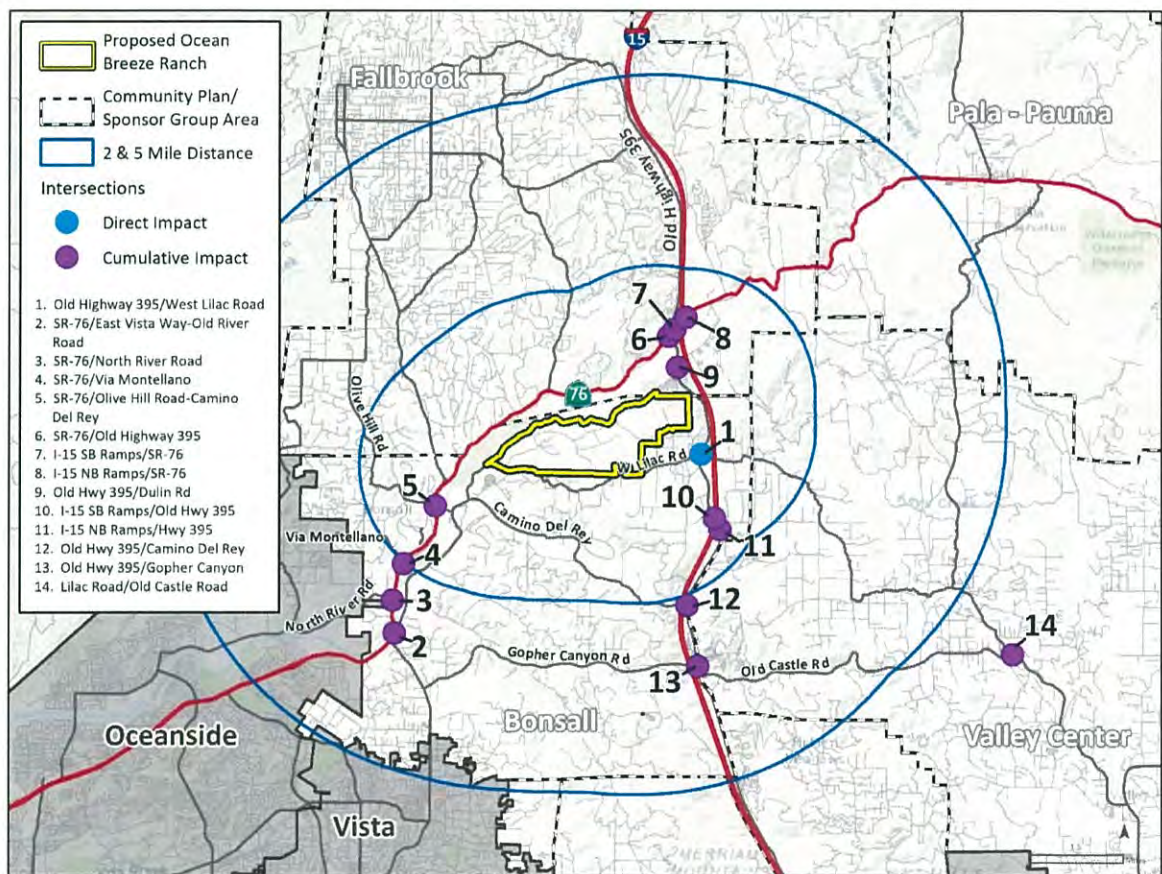


Figure 25 Proposed Direct and Cumulative Traffic Impacts Offsite

Existing Traffic Conditions and Analysis

The community has expressed concerns related to existing traffic issues along West Lilac Road near the Sullivan Middle School and at the intersection of Old River Road and Camino Del Rey that abuts Bonsall Elementary School. The community's concern is that additional traffic proposed by the project will further increase traffic queueing during school drop-off and pick-up hours. Additionally, the Bonsall Community Sponsor Group (BCSG) has requested the project make improvements to Old River Road and Camino Del Rey intersection.

The TIS prepared for the Proposed Project analyzed the Old River Road and Camino del Rey intersection and concluded that it operates at an acceptable LOS in the a.m. and p.m. peak hours in both the existing and existing plus project condition. The intersection operates at a B LOS in the a.m. and an A LOS in the p.m. and the Proposed Project does not create an impact per County Traffic Guidelines.

County staff conducted multiple field reviews and observed considerable operational issues that occur during the school drop-off and pick-up hours (Figure 26). Subsequent meetings with the school Principal and Superintendent of the Bonsall Unified School District led to the County offering to be a part of a new School District Operations Plan that will develop strategies and operational improvements to facilitate vehicular circulation during drop-off and pick-up hours for both the middle and elementary schools.

The applicant has also acknowledged the concerns of the BCSG's request for improvements to Old River Road and Camino del Rey intersection and has offered a voluntary funding contribution to the County in the amount of \$1,000,000 (One Million dollars) (Contribution). The BCSG recommended to support the Proposed Project upon the applicant's representation regarding a traffic funding contribution for \$1,000,000 (One Million dollars). The Ocean Breeze Ranch Proposed Language for Traffic Funding Contribution was revised by the BCSG and unanimously approved and is included in Attachment G.



Figure 26: Existing queuing traffic conditions during drop-off hours at Bonsall Elementary School

West Lilac Road and Trail Improvements

The community raised concerns regarding the proposed lighting and the decomposed granite (DG) pathway along the proposed project frontage of West Lilac Road. The community expressed the lighting is not consistent with the rural character of West Lilac Road and a proposed pathway that leads to nowhere encourages pedestrian activity along an unsafe road.

The proposed pathway along West Lilac Road is consistent with the Count Trail Master Plan (CTMP). County staff reviewed these requests and the proposed DG pathway will eventually connect to future pathway and trail alignments to other community planning areas as part of the CTMP. The Department of Public Works reviewed the lighting locations proposed along the frontage and limited the light locations to conflict points at intersections and where road geometrics change to ensure public safety.

Fire Service and Emergency Evacuation

The community has expressed concerns that the Proposed Project will increase the number of people that will need to be evacuated during a wildfire event and will increase the overall evacuation time.

County staff worked closely with North County Fire Protection District (NCFPD), County Sherriff, and County's Department of Animal Services to address these concerns.

Fire Service

The project is within the North County Fire Protection District (NCFPD). NCFPD currently operates two fire stations located two miles from Olive Hill Road and three miles from Pala Mesa Drive (Figure 27), all of which could respond to a fire or medical emergency at the Proposed Project. The maximum travel time from the existing fire stations is five minutes, and Planning Areas 1, and 2 and the Equestrian Facility comply with this travel time requirement of the General Plan. Because Planning Area three and the Hillside estate Lot are larger lots their travel time requirement is ten minutes. They both meet this travel time requirement with an estimate 7 minutes for Planning area three and eight minutes for the Hillside Estate Lot.

The project site is located in a moderate and a very high fire hazard severity zone (FHSZ). The applicant prepared Residential and Equestrian Facility Fire Protection Plans (FPP) that were reviewed and accepted by NCFPD. The FPPs evaluate and identify the potential fire risk associated with the Proposed Project's land uses and identifies the potential fire. The FPPS include requirements for water supply, fuel modification and defensible space, access, building ignition and fire resistance, fire protection systems, and wildfire emergency pre-planning, among other pertinent fire protection criteria.

Based on the analysis, a 100-foot fuel modification zone (FMZ) and a 100-foot Limited Building Zone (LBZ) will be required around all development areas. In addition, a landscape plan will be required prior to building permit as a condition of the proposed project which will be reviewed by NCFPD to determine acceptable landscaping within the high fire hazard areas. All roads within the Project that abut an area of native vegetation shall be brushed back between 20 to 30 feet from both sides of the edge of the road. This enhancement will ensure evacuation routes are not compromised and provides for fire fighter safety.

The FPP's have been found to be consistent with the County Consolidated Fire Code, the California Code of Regulations, Title 14, Fire Safe Regulations and the County of San Diego Guidelines for Determining Significance and Report Format, Wildland Fire and Fire Protection (2010). With the incorporation of project design features and conditions of approval, impacts associated with wildfire will be less than significant.

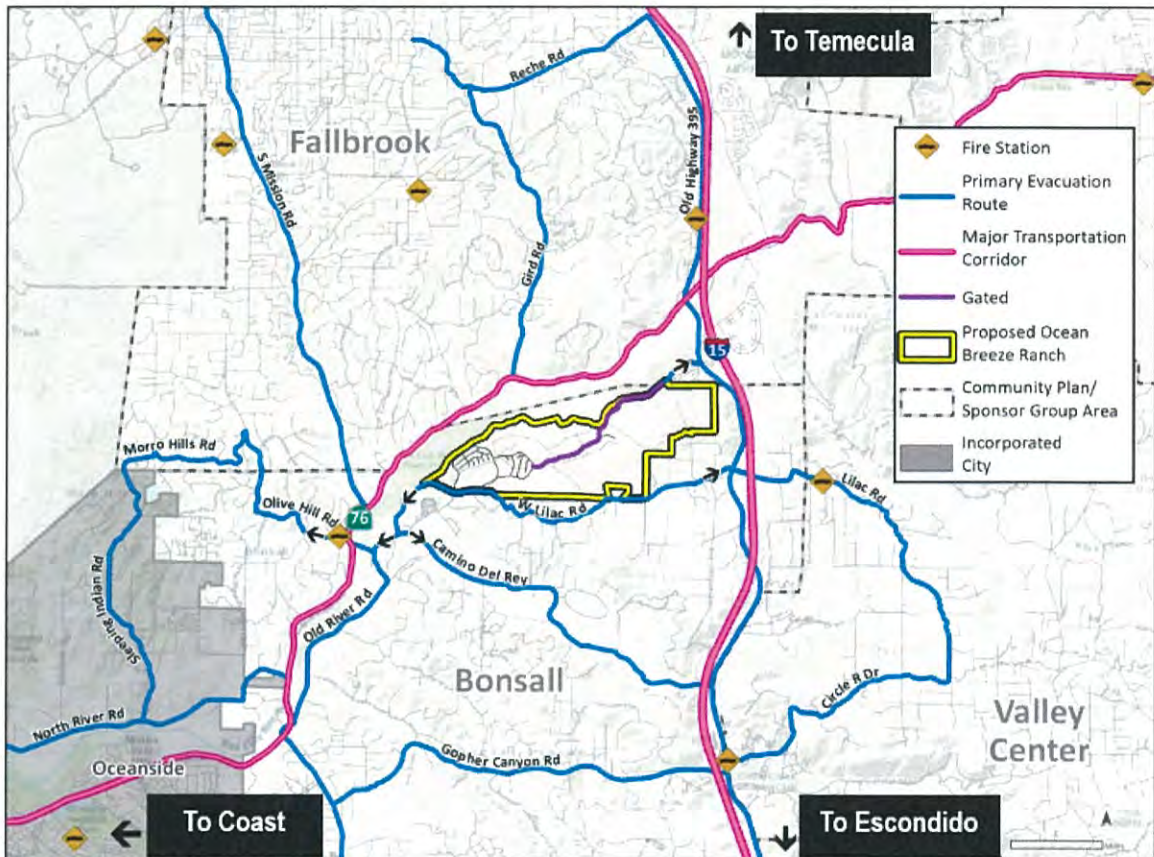


Figure 27: Fire Station Locations and Fire Evacuation Routes

Emergency Evacuation

The area has experienced a history of large wildfires. Most recently, the 2017 Lilac Fire burned 4,100 acres, destroyed 114 houses, and claimed the lives of 45 horses in the Fallbrook and Bonsall area. A break in severe winds and the fire and emergency response stopped the fire's progress within 12 hours. Rescue and evacuation efforts prevented any loss of human life.

A Wildland Fire Evacuation Plan (Evacuation Plan) has been prepared for the Ocean Breeze Ranch Community, which was reviewed and accepted by NCFPD and County Sherriff. Although wildland fire and other emergencies are often fluid events and the need for evacuations are typically determined by on-scene first responders or emergency response teams, the Evacuation Plan evaluated the project for emergency evacuation.

The Evacuation Plan identifies evacuation routes, evacuation points, and specific measures to keep future residents and employees informed about what to do in the event of an emergency. All proposed evacuation routes have been designed in accordance with the County Consolidated

Fire Code. The Evacuation Plan includes analysis on evacuation points and shelters, animal evacuations and temporary refuge areas. The Evacuation Plan also includes an educational component that ensures that evacuation information is consistently and timely communicated to residents.

The Proposed Project's primary evacuation routes include two access points. One route can evacuate to the northeast via the interim access road and Dulin Road towards Old Highway 395 and the I-15. Driving on the interim access road and continuing on to Dulin Road will require the resident to drive through three emergency access gates. These emergency access gates shall provide unrestricted egress during an emergency and will operate on a fail-safe open system. The second route can evacuate to the west via West Lilac Road that intersects Camino del Rey that connects to SR-76 or can evacuate to the east via West Lilac Road that intersects Camino del Rey that connects to the I-15.

There are roughly 432 existing residential units in the vicinity of the project site in Bonsall and Rancho Monserate Country Club. The project will add an additional 396 residences. Conservatively, estimating two cars per household there will be a total of approximately 1,821 vehicles seeking egress in the area during an evacuation.

Based on all evacuation scenarios, the worst-case is an evacuation of the existing Rancho Monserate residents travelling to the west, through the proposed project to West Lilac Road with a total of approximately 74 minutes travel time, once notification has been provided. When the Rancho Monserate community evacuates directly to Old Highway 395, then the existing condition (existing residents adjacent to West Lilac Road, including parents who will arrive at Sullivan Middle School) is calculated to evacuate within approximately 21 minutes.

The number of vehicles associated with the Proposed Project that could evacuate on West Lilac Road increases the overall evacuation travel time by approximately 15 minutes. This is offset by the Proposed Project improving Dulin Road which offers an additional evacuation route and access for existing residents and emergency services.

The equestrian facility is fenced and encompasses approximately 203 acres which offer several large irrigated pastures. In an event of a fire, all horses will shelter in place and will be moved to large pastures with irrigation turned on. The facility offers the ability to safely shelter the horses as was done during the 2017 Lilac Fire, and no horses were lost at the proposed project site.

The Department of Animal Services Operation Area Emergency Operation Plan informs the public on how to transport and shelter pets in a disaster. This also includes the Animal Control Mutual Aid Agreement. Animal Control Officers, the San Diego Humane Society, and private animal care shelters assist in the rescue, transport, and sheltering of small and large animals.

In addition to physical improvements, the Ocean Breeze Ranch HOA will be active in its outreach to residents regarding fire safety and general evacuation procedures. An emergency evacuation plan will be provided to each homeowner. Annual reminder notices will be provided to each homeowner encouraging them to review the plan and be familiar with community evacuation protocols. The HOA will also coordinate with the NCFPD to hold an annual fire safety and evacuation preparedness informational meeting.

Biological Resources

During the processing of the proposed project, the applicant and County staff worked closely with the California Department Fish & Wildlife (CDFW) and United States Fish and Wildlife Service (USFWS) and attained their concurrence on the project design (Figure 28). Environmental Habitat League also submitted a letter of support during the public disclosure period and is included in Attachment G.

Biological resources on the project site were evaluated through assessment of existing vegetation communities, plant species, and wildlife species. Biological surveys were conducted in 2013 and 2016. Based on the surveys conducted, 22 vegetation community/land cover types, four special status plant species and 27 special status animal species were observed on the project site. Development of the Proposed Project will result in potentially significant direct and/or indirect effects to special-status plant species; special-status wildlife species; special-status vegetation communities; and jurisdictional resources, including County Resource Protection Ordinance (RPO) wetlands and wetland buffers. With the application of mitigation measures and through ordinance compliance as considered by the GPU EIR, project impacts to sensitive habitat and/or species will be mitigated a level below significance.

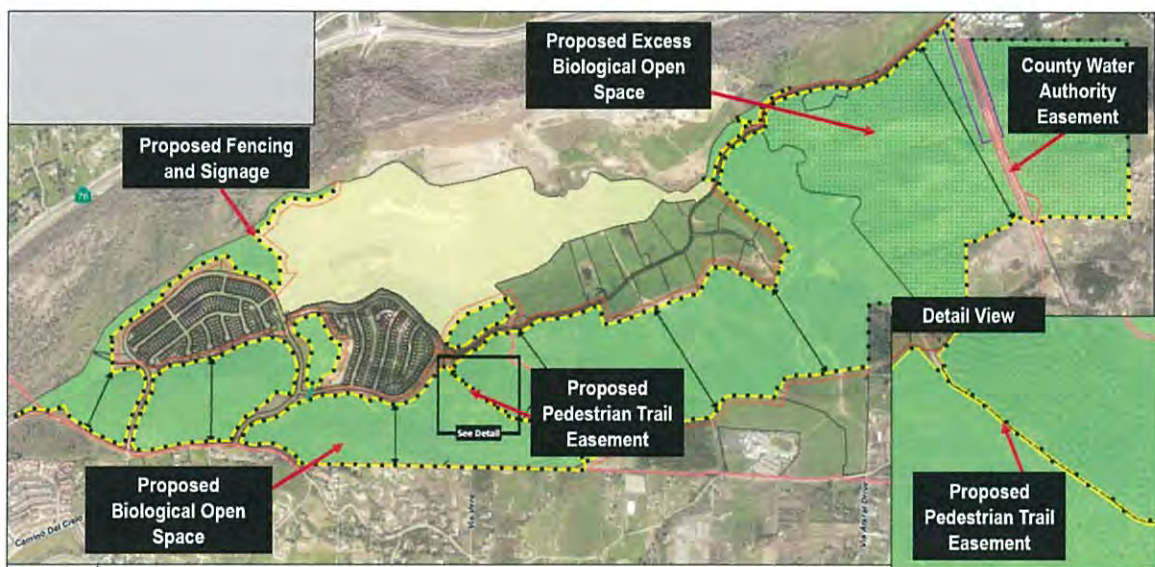


Figure 28: Preservation of Biological Resources

Coastal sage scrub is a classified vegetation by CDFW and USFWS that provides foraging value and critical habitat for the coastal California gnatcatcher. In order for the Proposed Project to obtain approval from CDFW and USFWS for the loss of coastal sage scrub and any associated incidental take of coastal California gnatcatcher the project is required to go through the County's Section 4(d) Habitat Loss Permit (HLP) process. The Proposed Project must demonstrate conformance with overall programmatic goals and policies established for the San Diego County Natural Community Conservation Planning (NCCP) subregion and make the specific findings applicable to issuance of an HLP. A draft HLP was circulated for public review and can be found in Attachment I.

The majority of native habitat present on the project site will be conserved within the 833-acre biological open space easement, including 468 acres of Diegan coastal sage scrub (Figure 28). Of

the 833 acres preserved in biological open space there is an excess of 309 acres that could be used to mitigate impacts for other projects or placed within a mitigation bank with the approval from the County, USFWS and CDFW. The majority of proposed biological open space is concentrated in a wide band of native scrub and woodland habitats across the eastern hills and southern portions of the project site. Biological open space includes several hilltops and ridgelines that provide long lines-of-sight for birds and mammals. The proposed project will also increase the viability of north-south wildlife movement on the project site by revegetating the wetland buffer along the eastern riparian corridor from disturbed agriculture lands to sage scrub (Figure 28).

The project site lies within the boundaries of the Draft Multiple Species Conservation Program (MSCP) North County Plan boundaries. The draft MSCP North County Plan identifies a draft Pre-Approved Mitigation Area (PAMA). Much of the project site (1,177 of 1,403 acres, or 84 percent) occurs within areas identified as PAMA within the Lower San Luis Rey River Linkage. While the proposed project will impact a total of 258 acres of land identified as PAMA (257 acres on site and 1 acre off site), 187 acres of impacts within PAMA are to non-sensitive vegetation, representing nearly three quarters (73 percent) of the project impacts within PAMA. Most of the land supporting sensitive vegetation communities within on-site portions of the linkage will be conserved by the proposed project and placed in biological open space.

In summary, the proposed project will have no peculiar impacts (i.e. significant impact not identified in the GPU EIR), no potentially significant off-site and/or cumulative impacts and no substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR. The implementation of the mitigation measures, detailed above, requires on-site biological open space and preservation, as well as preserve wetlands, compliance with County ordinances and storm water management, and obtaining permits through the Wildlife Agencies.

San Luis Rey River Floodplain

A hydraulic analysis was conducted to ensure no impacts would occur. The analysis concluded that no grading would encroach within the revised floodway and the proposed residential pads have been designed to be several feet higher than the adjacent 100-year water surface elevations. The Project's grading would meet the County and Federal Emergency Management Agency (FEMA) hydraulic regulations. In addition, a Conditional Letter of Map Revision (CLOMR) and a Letter of Map Revision (LOMR) pursuant to FEMA would be required for the Proposed Project.

Climate Action Plan and Sustainability

The Proposed Project is consistent with the County's Climate Action Plan (CAP). The Proposed Project will implement the measures in the CAP Consistency Review Checklist, such as installation of tankless electric and gas water heaters, water efficient and energy efficient appliances, and two trees per residence. In addition, the project will install photovoltaic panels and two electric vehicle charging stations for each residence and install high-efficiency Light Emitting Diode (LED) for street and area lighting.

2. General Plan Consistency

The Proposed Project is consistent with the following relevant General Plan goals, policies, and actions as described in Table D-1.

Table D-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
<p>LU-1.8 Density Allocation on Project Sites. Permit changes in density within a project site with parcels that have more than one land use designation to provide flexibility in project design only when approved by Major Use Permit or Specific Plan. The policy does not allow a project to receive more units than is established by the Land Use Maps nor to supersede Housing Element requirements related to achieving the County's Regional Housing Needs Allocation.</p>	<p>The site is subject to five General Plan Land Use Designations with separate density requirements. Based on density calculations the site has a density of 402 dwelling units permitted onsite. The project is proposing 396 residential units. The Proposed Project complies with the General Plan because it includes a MUP for a planned development to allow for the transfer of densities throughout the project site.</p>
<p>LU-1.9 Achievement of Planned Densities. Recognizing that the General Plan was created with the concept that subdivisions will be able to achieve densities shown on the Land Use Map, planned densities are intended to be achieved through the subdivision process except in cases where regulations or site specific characteristics render such densities infeasible.</p>	<p>The Proposed Project achieves a density of approximately 99 percent of the total allowable density for the site's General Plan Land Use Designations.</p> <p>The project's MUP requires the project be consistent with the bulk, scale, community character, and intensity of use of the surrounding community. The proposed neighborhood designs complement the bulk and scale of surrounding land use with the addition of a variety housing types, including small-lot and large estate lot single family homes that is compatible with the character of the Bonsall and Fallbrook communities.</p>
<p>LU-3.2 Mix of Housing Units in Large Projects. Require new large residential developments (generally greater than 200 dwelling units) to integrate a range of housing types and lot and building sizes.</p>	<p>A broad range of architectural styles will be provided for the residential component of the Proposed Project, with a number of different conceptual floor plans and elevations to ensure a variety of housing options are available for future residents. Lot sizes throughout the Proposed Project will range from 5,000 square feet in PA 1, 4,500-5,500 square feet in PA 2, to 5 acres in PA 3 to a 24-acre Hillside Estate lot.</p>
<p>LU-6.4 Sustainable Subdivision Design. Require that residential subdivisions be planned to conserve open space and natural resources, protect agricultural operations including grazing, increase fire safety and</p>	<p>The Proposed Project has been designed as a conservation subdivision by consolidating the project's development footprint in a way that minimizes impacts to environmental resources, with avoided areas set aside from development by</p>

General Plan Policy	Explanation of Project Conformance
<p>defensibility, reduce impervious footprints, use sustainable development practices, and, when appropriate, provide public amenities.</p>	<p>biological open space easements. The Proposed Project design results in the ability to provide housing consistent with the General Plan's goals and policies, while setting aside approximately 68 percent of the Proposed Project site as open space for the protection of biological and natural resources to be preserved in perpetuity.</p>
<p>LU-6.5 Sustainable Stormwater Management. Ensure that development minimizes the use of impervious surfaces and incorporates other Low Impact Development techniques as well as a combination of site design, source control, and stormwater best management practices, where applicable and consistent with the County's Low Impact Development (LID) Handbook.</p>	<p>A Stormwater Quality Management Plan (SWQMP) has been prepared and identifies how stormwater will be adequately captured and treated on-site.</p>
<p>LU-6.6 Integration of Natural Features into Project Design. Require incorporation of natural features (including mature oaks, indigenous trees, and rock formations) into proposed development and require avoidance of sensitive environmental resources.</p> <p>LU-6.7 Open Space Network. Require projects with open space to design contiguous open space areas that protect wildlife habitat and corridors.</p>	<p>Most of the proposed biological open space onsite is concentrated in a wide band that preserves native habitats across the eastern hills and southern portions of the project site. Biological open space includes several hilltops and ridgelines that provide long lines-of-sight for birds and mammals as well as on-site riparian corridors that function as local movement corridors for wildlife.</p>
<p>LU-6.10 Protection from Hazards. Require that development be located and designed to protect property and residents from the risks of natural and man-induced hazards.</p>	<p>Two Fire Protection Plans and a Hydraulic Analysis have been prepared for the project. The Proposed Project is designed to protect property and residents from potential fire and flooding risks. The Proposed Project's grading will meet the County and Federal Emergency Management Agency (FEMA) hydraulic regulations. In addition, a Conditional Letter of Map Revision (CLOMR) and Letter of Map Revision (LOMR) will be required as part of Final Mapping Stage.</p>
<p>LU-9.10 Internal Village Connectivity. Require that new development in Village areas are integrated with existing neighborhoods by providing connected and continuous street, pathway, and recreational</p>	<p>The Proposed Project complies with both Bonsall and Fallbrook Community Plans and Design Guidelines including the proposed architecture, landscaping, public amenities, and open spaces. The Proposed Project will be buffered from surrounding roads through landscaping, intervening</p>

General Plan Policy	Explanation of Project Conformance
<p>open space networks, including pedestrian and bike paths.</p>	<p>topography, and site design, and the project proposes architectural designs compatible with the rural character of the Bonsall and Fallbrook communities.</p> <p>Roads are designed to connect with existing and proposed development. An internal network of sidewalks, pathways and trails will be provided within PA 1 and PA 2 to provide access to proposed residential neighborhoods, parks, and nearby regional trail facilities planned by the DPR.</p>
<p>LU-13.2 Commitment of Water Supply. Require new development to identify adequate water resources, in accordance with State law, to support the development prior to approval.</p> <p>LU-14.2 Wastewater Disposal. Require that development provide for the adequate disposal of wastewater concurrent with the development and that the infrastructure is designed and sized appropriately to meet reasonably expected demands.</p>	<p>The Rainbow Municipal Water District provided Service Availability Forms for both water and sewer for the project, indicating there is sufficient water supply and that the existing and planned sewer infrastructure is designed and sized appropriately to meet expected demands. Planning Area 3 (PA-3) and the Hillside Estate Parcel will rely on either conventional leach lines or supplemental treatment systems to the satisfaction of the Department of Environmental Health (DEH). Low-flow fixtures and irrigation will be used throughout the project. Landscaping irrigation will be connected to an existing potable water mainline and a dual system will be installed in anticipation of future reclaimed water being available to the site. Landscaping will utilize drought tolerant species and comply with the County Landscape Ordinance.</p>
<p>M-3.2 Traffic Impact Mitigation. Require development to contribute its fair share toward financing transportation facilities, including mitigating the associated direct and cumulative traffic impacts caused by their project on both the local and regional road networks. Transportation facilities include road networks and related transit, pedestrian and bicycle facilities, and equestrian.</p>	<p>The Proposed Project will be required to implement traffic signalization at the intersection of Old Highway 395 and West Lilac Road; implement an all-way stop control at the intersection of Lilac Road and Old Castle Road; and pay the Traffic Impact Fee as required by mitigation in the GPU EIR.</p>
<p>M-11.4 Pedestrian and Bicycle Network Connectivity. Require development in Villages and Rural Villages to provide comprehensive internal pedestrian and bicycle networks that connect to existing or planned adjacent community and countywide networks.</p>	<p>Proposed public and private roads include bicycle lanes and pathways that connect to on-site and off-site trails, and public and private amenities. The proposed trail network will connect to the San Luis Rey River as well as the nearby Sullivan Middle School. The proposed trail and road network will connect to existing and proposed roads.</p>

General Plan Policy	Explanation of Project Conformance
<p>COS-24.1 Park and Recreation Contributions. Require development to provide fair-share contributions toward parks and recreation facilities and trails consistent with local, state, and federal law.</p>	<p>The Proposed Project will comply with the Park Lands Dedication Ordinance by incorporating a total of 15.7 acres of public or private parks which includes 3.7 acres of public park area meeting the County's definition of usable park area.</p>

3. Bonsall Community Plan Consistency

The Proposed Project is consistent with the following relevant Bonsall Community Plan Goals, Policies, and actions as described in Table D-2.

Table D-2: Bonsall Community Plan Conformance

Community Plan Policy	Explanation of Project Conformance
<p>Policy LU-1.1.1 – Require development in the community to preserve the rural qualities of the area, minimize traffic congestion, and to not adversely affect the natural environment.</p>	<p>The Proposed Project will be buffered from surrounding roads through landscaping, intervening topography, and site design, and the project proposes architectural designs compatible with the rural character of the Bonsall and Fallbrook communities. The Proposed Project will be required to implement mitigation measures for remedying traffic congestion proposed by the project through traffic signalization at the intersection of Old Highway 395 and West Lilac Road; implement an all-way stop control at the intersection of Lilac Road and Old Castle Road; and pay the Traffic Impact Fee.</p>
<p>Policy LU-3.1.5 – Preserve ridgelines by siting buildings below ridges or set back with sufficient distance to minimize visual impacts. Encourage screening to visually shield all structures, including the use of vegetation, as well as appropriate and varied building materials.</p>	<p>The Proposed Project has been designed as a conservation subdivision by consolidating the project's development footprint in a way that minimizes impacts to environmental resources, with avoided areas set aside from development by conservation easements. The proposed project will provide for the protection of 833 acres within biological open space and will not be developed, further reducing visibility of the development footprint within the site.</p>
<p>Policy COS-1.1.2 – Promote a coordinated approach to work with landowners to meet the community's needs in preserving habitat and conserving biological resources.</p>	<p>Biological open space includes several hilltops and ridgelines that provide long lines-of-sight for birds and mammals as well as on-site riparian corridors that function as local movement corridors for wildlife.</p>
<p>Policy COS-1.1.4 – Require development to be compatible with adjacent natural preserves, sensitive habitat areas, agricultural lands, and recreation areas, or provide transition or buffer areas.</p>	<p>Based on density calculations the site has a density of 402 dwelling units permitted onsite. The project is proposing 396 residential units. The project</p>
<p>Policy LU-5.2.2 – Allow further reductions in minimum lot sizes indicated in Policy LU-5.2.1, through Planned Development, Lot</p>	<p></p>

<p>Area Averaging, or Specific Plan projects only when setbacks, building scale, and design are appropriate to retain the equestrian and agricultural community character in the area.</p>	<p>complies with the General Plan because it includes a MUP for a planned development to allow for the transfer of densities throughout the project site. A MUP is also required for the existing equestrian facility and is consistent with the bulk, scale, community character, and intensity of use of the surrounding community.</p>
<p>Policy LU-7.1.4 – Protect surface and groundwater supplies from pollution by periodic monitoring of the region to determine if groundwater quality is impacted by sewage systems, septic tanks and leach lines.</p> <p>Policy LU-7.1.6 – Encourage storm runoff to be captured and retained in reservoirs for use with reclamation water.</p>	<p>To ensure no impacts to groundwater will occur, a soils compaction report will be required prior to ground disturbance activities. In addition, a Geotechnical Monitor will be required during all grading activities. The proposed project will not place sewage systems on soils incapable of adequately supporting the tanks or system.</p> <p>A Stormwater Quality Management Plan (SWQMP) has been prepared and identifies how stormwater will be adequately captured and treated on-site.</p>

4. Fallbrook Community Plan Consistency

The Proposed Project is consistent with the following relevant Fallbrook Community Plan Goals, Policies, and actions as described in Table D-3.

Table D-3: Fallbrook Community Plan Conformance

Community Plan Policy	Explanation of Project Conformance
<p>Goal COS 1.2 – Preservation of permanent open space areas unsuitable for intense development.</p> <p>Policy COS 3.1 – Coordinate with applicable public agencies and other organizations on the planning, establishment, and maintenance of preserves and corridors for wildlife.</p> <p>Policy COS 3.1.1 – Encourage using diverse methods such as acquisition, conservation easements, mitigation, and conservation development to set aside open space preserves, corridors for wildlife, pathways and trails, while dealing fairly with the financial and other interests of the landowners.</p>	<p>The majority of native habitat present on the project site will be conserved within the 833-acre biological open space easement, including 468 acres of Diegan coastal sage scrub. Most of the proposed biological open space is concentrated in a wide band of native scrub and woodland habitats across the eastern hills and southern portions of the project site. Biological open space includes several hilltops and ridgelines that provide long lines-of-sight for birds and mammals.</p>

5. County Zoning Ordinance Consistency

The Proposed Project complies with all applicable zoning requirements of the Zoning Ordinance with the incorporation of conditions of approval.

Table D-4: Zoning Ordinance Development Regulations for Residential Development

ZONING REGULATIONS	CURRENT	PROPOSED	CONSISTENT?
Use Regulations:	RV, A70, S80	RV, A70, S80	Yes
Animal Regulation:	L/M	L/M	Yes
Density:	-	-	-
Lot Size:	6000SF, 2AC, 4AC, 8AC	4,500SF/5,000	Yes, with approval of a MUP
Building Type:	C/K	C/K	Yes, with approval of a MUP
Height:	G (35')	G (35')	Yes
Lot Coverage:	-	-	-
Setback:	C/W	V	Yes, with approval of a MUP
Open Space:	-	-	-
Special Area Regulations:	B, C, F	B, C, F, P	Yes, with approval of a Site Plan and MUP

Table D-5: Zoning Ordinance Development Regulations for Equestrian Facility

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulations:	A70, S80	Yes
Animal Regulation:	M	Yes
Density:	-	-
Lot Size:	4AC	Yes
Building Type:	C	Yes
Height:	G (35')	Yes
Lot Coverage:	-	-
Setback:	C/W	Yes
Open Space:	-	-
Special Area Regulations:	C, F	Yes

Table D-6: Zoning Ordinance Development Regulations Compliance Analysis

Development Standard	Proposed/Provided	Complies?
<p>Section 6600 of the Zoning Ordinance sets minimum lot size, setbacks and building type, through approval of a MUP for a Planned Development.</p>	<p>Includes a MUP for a planned development pursuant to Section 6600 of the Zoning Ordinance. The approval of the MUP will authorize a minimum lot size of 4,500 square feet. The minimum setback requirements will 20-foot front yard setbacks, 5-foot side yard setbacks and 20-foot rear yard setbacks for the interior of the project site. Building types will consist of single-family residential buildings.</p>	<p>Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p>
<p>Section 6648 of the Zoning Ordinance sets the open space requirements for Planned Developments based on General Plan Designation. The project is required to provide a combination of private usable space and conservation/group open space.</p>	<p>Complies with the open space requirements of the Zoning Ordinance for planned developments. The Proposed Project is required to provide 7.3 acres of private usable open space and 856.3 acres of conservation/group open space. The project proposes a total of 862.5 acres of both private and conservation/group open space which includes 4.2 acres of private space, 15.7 acres in parks and 846.8 acres in open space.</p>	<p>Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p>
<p>Section 5250 of the Zoning Ordinance requires review of proposed projects located within areas subject located in Airport Influence Areas (AIAs) surrounding airports for which the San Diego County Regional Airport Authority (Authority) has adopted Airport Land Use Compatibility Plans (ALUCP or ALUCPs)</p>	<p>The proposed project is located within Airport Influence Area two of the Camp Pendleton Land Use Compatibility Plan and is consistent with the Plan.</p>	<p>Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p>
<p>Section 5500 of the Zoning Ordinance requires review of proposed projects located within areas subject to inundation under 100-year frequency flood conditions.</p>	<p>The Proposed Project was reviewed by County staff and determined to be in conformance with flood plain area regulations as designed.</p>	<p>Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p>

6. Subdivision Ordinance Consistency

The Proposed Project has been reviewed for compliance with the Subdivision Ordinance. The project is consistent with the requirements for major subdivisions in terms of design (Section 81.401), dedication and access (Section 81.402) and improvements (Sections 81.403 and 81.404), and Planned Development regulations (Section 81.401.O). The project includes requirements and conditions of approval necessary to ensure the project is implemented in a manner consistent with the Subdivision Map Act and the Subdivision Ordinance.

7. Applicable County Regulations

Table D-7: Applicable Regulations

County Regulation Policy	Explanation of Project Conformance
<p>a. Resource Protection Ordinance (RPO)</p>	<p>The proposed project includes 402 acres of lands which meet the steep slopes definition of the County's RPO. Approximately 17 acres (4.2% of on-site steep slopes) are proposed to be impacted. These encroachments into steep slopes for roads and utilities are exempted within RPO Section 86.604(e)(2)(bb)(ii) and (iii).</p> <p>The Proposed Project has approximately 24.7 acres of RPO wetland on-site. The project will impact 0.19 acres of RPO wetlands. Impacts to RPO wetland will be mitigated at a 3:1 ratio for a total mitigation requirement of 0.57 acre. The Project's grading will meet the County and FEMA hydraulic regulations. In addition, a CLOMR and LOMR will be required for the Project.</p> <p>The Proposed Project will impact sensitive habitat lands consisting of 32.5 acres of occupied gnatcatcher habitat in the western portion of the site. Preservation of onsite habitat within a biological open space easement and breeding season avoidance have been made conditions of approval of project.</p> <p>Through mitigation measures and conditions of approval of the Proposed Project complies with the RPO.</p>
<p>b. County Consolidated Fire Code</p>	<p>The Proposed Project was reviewed and approved by the North County Fire Protection District. The two FPP's will ensure that the project will implement particular design measures to ensure compliance with the San Diego County Consolidated Fire Code.</p>
<p>c. Noise Ordinance</p>	<p>A Noise Study was prepared and identified mitigation including a noise wall along the northeastern corner of the development. Temporary construction noise was found not to exceed County standards. With incorporation of mitigation</p>

	measures from the GPU EIR, the Proposed Project will comply with the Noise Ordinance.
d. Light Pollution Code	The Proposed Project will implement outdoor lighting and glare controls, such as the use of low lumen lights that are shielded down, to ensure compliance with the Light Pollution Code.
e. Watershed Protection Ordinance (WPO)	A Stormwater Quality Management Plan (SWQMP) was prepared for the project in compliance with the WPO. The project is conditioned to maintain all storm water facilities.
f. Park Lands Dedication Ordinance (PLDO)	The project complies with the PLDO by paying the required PLDO fees in-lieu of park land dedication. The fees will be collected prior to issuance of the first building permit.
h. Habitat Loss Permit (HLP) Ordinance	Implementation of mitigation for impacts to Diegan Coastal Sage Scrub as set forth in the GPU EIR will ensure that the Proposed Project will comply with the Habitat Loss Permit Ordinance.

8. CEQA Compliance

The Proposed Project has been reviewed for compliance with CEQA Guidelines and the project qualifies for an exemption from additional environmental review pursuant to CEQA Guidelines Section 15183 (Attachment I). CEQA Section Guidelines Section 15183 provides an exemption from additional environmental review for projects that are consistent with the development density established by the General Plan and as long as there are no project-specific impacts beyond those analyzed in the GPU EIR that was certified (i.e., peculiar impacts). For the Proposed Project, the planning level document is the General Plan Update EIR, certified by the Board of Supervisors on August 3, 2011. Additional environmental review is only for project-specific significant effects which are specific to the project or its site. Once certain mitigation measures from the GPU EIR are incorporated, there will not be any new significant effects on the environment. Details of these mitigation measures can be found in the Resolution, and Form of Decision (Attachments B through D).

E. COMMUNITY SPONSOR AND PLANNING GROUPS AND DESIGN REVIEW BOARD RECOMMENDATIONS

The Proposed Project is located with the Bonsall and Fallbrook Community Planning Areas. The project is also subject to the Bonsall Design Review Guidelines and the I-15 Design Review Guidelines because the project site is visible from I-15.

1. Bonsall Community Sponsor Group

The Bonsall Community Sponsor Group (BCSG) and Bonsall Design Review Board (BDRB) considered or discussed the Ocean Breeze Ranch project at a total of 12 sponsor group meetings (Attachment G). The BCSG met on the Proposed Project during April 2016 through to November 2019. During that time, the BCSG communicated their concerns relating to fire evacuation and traffic impacts.

The BCSG and BDRB recommended approval of architecture for housing product types for the planned development, the proposed parks, trails and landscaping. At the BCSG and BDRB's final meeting the following motion was made:

- On November 19, 2019, a special meeting was organized to attain the final recommendation from BCSG and BDRB on the project. The BDRB recommended approval of the updated Architectural Product Type 2 known as 1A/1B for Planning Areas 1 and 2 by a vote of 6-0-0-1-0 (6 Ayes, 0 Noes, 0 Abstain, 1 Vacant, 0 Absent). The BCSG recommended to support the proposed project upon the applicant's representation regarding a traffic funding contribution for \$1,000,000 (One Million dollars) by a vote of 4-0-2-1-0 (4 Ayes, 2 Noes, 0 Abstain, 1 Vacant, 0 Absent). The Ocean Breeze Ranch Proposed Language for Traffic Funding Contribution was revised by the BCSG and unanimously approved and is included in Attachment G.

2. Fallbrook Community Planning Group

The Fallbrook Community Planning Group (FCPG) considered or discussed the Ocean Breeze Ranch project at a total of two planning group meetings. Actions during these meetings are detailed below.

- On July 16, 2018, the Proposed Project was placed as an Information Item. No recommendation was received as it was a non-voting item.
- On October 21, 2019, the proposed project was placed on agenda as a voting item. County staff presented the proposed project and spoke specifically on Project Description, CEQA process, and Traffic Impacts. The FCPG discussed traffic and pedestrian safety concerns related to the Rancho Monserate Country Club and requested that a traffic calming feature be installed along Dulin Road. The Applicant volunteered to install a single traffic calming device, consisting of a paved raised crosswalk wide enough to accommodate a golf cart, to provide for safe crossing of Dulin Road by members of the Rancho Monserrate community. The FCPG recommended approval 10-0-0-0-3 (10 Ayes, 0 Noes, 0 Abstain, 0 Vacant, 3 Absent) with the condition to install a traffic calming feature along Dulin Road.

3. Interstate 15 Design Review Board (I-15 DRB)

The Interstate 15 Design Review Board (I-15 DRB) considered and discussed the Ocean Breeze Ranch project on August 14, 2019. The I-15 DRB voted approval of the Proposed Project 4-0-0-0-3 (4 Ayes, 0 Noes, 0 Abstain, 0 Vacant, 3 Absent).

F. PUBLIC INPUT

The Proposed Project was noticed to surrounding property owners upon application submittal in September 2016. Surrounding property owners, agencies, and organizations were also noticed of the County's intent to adopt Findings pursuant to CEQA Guidelines Section 15183, Draft Habitat Loss Permit and Extinguish Access to Mineral Resources of Statewide Significance from September 19 to November 4, 2019.

During the 45-day public disclosure period, a total of 10 comment letters were received from the California Department of Fish and Wildlife, the Endangered Habitats League (EHL), California Department of Transportation (CALTRANS), San Diego County Archaeological Society, the Bonsall Community Sponsor Group, Rancho Monserate Country Club HOA and one member of the public. A majority of the

concerns raised were related to traffic, fire evacuation and biological resources which were discussed in Section D Analysis and Discussion of this report. The comment letters and corresponding responses are in Attachment F, Environmental Documentation.

On September 11, 2019, the Rancho Monserate Country Club HOA considered and discussed the Ocean Breeze Ranch project and provided a letter of support (Attachment G). As part of the proposed project the applicant has volunteered a formal access easement to the Rancho Monserate Country Club HOA for evacuation/emergency purposes and has been made a condition of approval.

As part of the CEQA public disclosure period, attorneys for the Rancho Monserate HOA submitted a letter stating the HOA has concerns regarding potential traffic on Dulin Road through Rancho Monserate generated by vehicles supporting equestrian uses and/or large animal uses at the Equestrian Facility and PA 3. To resolve these issues, the applicant has agreed to add conditions of approval requiring a restriction in the CC&R's for PA 3 and a covenant for the Equestrian Facility that will require daily access for horse trailers, deliveries of equipment, services or supplies associated with such large animal uses to use the west entrance accessing West Lilac Road and prohibiting those same vehicle uses from using Dulin Road through Rancho Monserate.

Rancho Monserate HOA also raised concerns regarding the traffic study not including the proposed County's Rio Prado Park that is adjacent to the Rancho Monserate community and the proposed project as part of the cumulative traffic analysis. Rio Prado Park is currently in the conceptual design phase and no traffic analysis has been conducted at this time. Two concepts, one passive and one active recreation, were presented at a public meeting on October 2, 2019. Currently Department Parks and Recreation is analyzing the feedback collected so that a final concept plan can be produced. A final concept is expected to be complete in early 2020. A traffic study will be completed after a final concept plan has been developed. Currently there is no funding for the construction of this park. DPR will be requesting construction funds in fiscal year 2022/2023. On November 20, 2019, the Rancho Monserate Country Club HOA provided a supplemental letter supporting the project as modified by the additional conditions to include restrictions in the CC&R's for PA 3 and a covenant for the Equestrian Facility and is included in Attachment G.

G. RECOMMENDATIONS

Staff recommends that the Planning Commission make the following recommendations to the Board of Supervisors:

- a. Adopt the Environmental Findings, which includes a finding that the project is exempt from further environmental review pursuant to Section 15183 of the California Environmental Quality Act (CEQA) Guidelines (Attachment A and F).
- b. Adopt the TM Resolution PDS2016-TM-5615, which includes those requirements and conditions necessary to ensure the project is implemented in a manner consistent with State law and County regulations as set forth in the Resolution of Approval (Attachment B).
- c. Grant MUP Decision PDS2016-MUP-16-012, which includes the requirements and conditions set forth in the Form of Decision (Attachment C).

- d. Grant MUP Decision PDS2016-MUP-16-013, which includes the requirements and conditions set forth in the Form of Decision (Attachment D).
- e. Grant the STP PDS2016-STP-16-032, which includes the requirements and conditions set forth in the Form of Decision (Attachment C).

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MARK WARDLAW, DIRECTOR

ATTACHMENTS:

- Attachment A – Environmental Findings
- Attachment B – Tentative Map Resolution PDS2016-TM-5615
- Attachment C – Major Use Permit PDS2016-MUP-16-012
- Attachment D – Major Use Permit PDS2016-MUP-16-013
- Attachment E – Planning Documentation
- Attachment F – Environmental Documentation
- Attachment G – Public Documentation
- Attachment H – Ocean Breeze – Public and Private Road Design Exception Requests
- Attachment I – Service Availability Forms
- Attachment J – Ownership Disclosure

Attachment A
ENVIORNMENTAL FINDINGS

OCEAN BREEZE RANCH

**PDS2016-TM-5615; PDS2016-MUP-16-012; PDS2016-MUP-16-013;
PDS2016-ER-16-02-006**

ENVIRONMENTAL FINDINGS

December 13 2019

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS

- 1) In accordance with State CEQA Guidelines section 15183, find the project is exempt from further environmental review as explained in the 15183 Statement of Reasons dated October 4, 2019, because the project is consistent with the General Plan Update (GPU) for which an environmental impact report (EIR) dated August 2011 on file with Planning & Development Services (PDS) as Environmental Review Number 02-ZA-001 was certified, there are no project specific effects which are peculiar to the project or its site, there are no project impacts which the GPU EIR failed to analyze as significant effects, there are no potentially significant off-site and/or cumulative impacts which the GPU EIR failed to evaluate, there is no substantial new information which results in more severe impacts than anticipated by the GPU EIR, and that the application of uniformly applied development standards and policies, in addition to feasible mitigation measures included as project conditions would substantially mitigate the effects of the project, as explained in the 15183 Statement of Reasons dated September 19, 2019.
- 2) Find that the proposed project is consistent with the Resource Protection Ordinance (RPO) (County Code, section 86.601 et seq.).
- 3) Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management, and Discharge Control Ordinance (County Code, section 67.801 et seq.).
- 4) Adopt the Mitigation and Monitoring Program as incorporated into the project conditions of approval pursuant to CEQA Guidelines Section 15091(d).
- 4) Find that the project is located outside of the boundaries of the Multiple Species Conservation Program (MSPC). Therefore, conformance with the MSCP, the County Subarea Plan and the Biological Mitigation Ordinance (County Code, section 86.501 et seq.) is not required.

Attachment B
RESOLUTION APPROVING PDS2016-TM-5615

RESOLUTION OF SAN DIEGO COUNTY)
BOARD OF SUPERVISORS)
CONDITIONALLY APPROVING)
TENTATIVE MAP NO. PDS2016-TM-5615)

WHEREAS, Tentative Map No. PDS2016-TM-5615 proposing the division of property located at the intersection of West Lilac Road and Vessels Ranch Road and generally described as:

Those portions of sections 14, 15, 20, 21, 22 and 23, township 10 south, range 3 west, San Bernardino meridian according to official plat thereof; together with a portion of Monserate Rancho according to Map thereof No. 821 and Map on file in the Office of the County Recorder of San Diego County Book 1, Page 108 of patents, all in the County of San Diego

was filed with the County of San Diego pursuant to the Subdivision Map Act and San Diego County Subdivision Ordinance on September 26, 2016; and

WHEREAS, on December 13, 2019, the Planning Commission of the County of San Diego pursuant to [Section 81.306 of the San Diego County Subdivision Ordinance](#) held a duly advertised public hearing on said Tentative Map and received for its consideration, documentation, written and oral testimony, recommendations from all affected public agencies, and heard from all interested parties present at said hearing; and

WHEREAS, the Planning Commission of the County of San Diego has determined that the conditions hereinafter enumerated are necessary to ensure that the subdivision and the improvement thereof will comply with the Subdivision Map Act and conform to all ordinances, plans, rules, standards, and improvement and design requirements of San Diego County.

IT IS RESOLVED, DETERMINED, AND ORDERED, that based on the findings, said Tentative Map is hereby approved subject to the following conditions:

MAP EXPIRATION: The approval of this Tentative Map Expires Thirty-Six (36) Months after the date of the approval of this Resolution at 4:00 P.M. Unless, prior to that date, an application for a Time Extension has been filed as provided by [Section 81.313 of the County Subdivision Ordinance](#).

The approval of this Tentative Map shall become effective 30 days after the adoption of this Resolution. This approval Expires Thirty-Six (36) Months from said effective date at 4:00 P.M. unless, prior to that date, an application for a Time Extension has been filed as provided by [Section 81.313 of the County Subdivision Ordinance](#).

STANDARD CONDITIONS: The "[Standard Conditions \(1-29\) for Tentative Subdivision Maps](#)" approved by the Board of Supervisors on June 16, 2000, and filed with the Clerk, as Resolution No. 00-199 (Attached Herein as Exhibit A), shall be made conditions of this Tentative Map approval. Only the following exceptions to the Standard Conditions set forth in this Resolution or shown on the Tentative Map will be authorized. **The following Standard Subdivision Conditions are hereby waived:**

- (1) Standard Condition 10.a: Said condition states that all fixtures shall use a low-pressure sodium (LPS) vapor light source. This waiver/modification requires use of high-pressure sodium (HPS) vapor light source. This waiver/modification allows the use of Light Emitting Diode (LED) light source, unless within 15 miles radius of Palomar or Mount Laguna observatories (in which case fixtures shall use a low pressure sodium vapor light source) pursuant to direction from the Board of Supervisors [statement of proceedings of 1-29-03].
- (2) Standard Condition 11: Said condition pertains to condominium units or a planned development. This subdivision is neither a condominium nor a planned development.
- (3) Standard Condition 19(e): Said condition pertains to condominium units or a planned development. This subdivision is neither a condominium nor a planned development.
- (4) Standard Condition 22: Said condition pertains to private subsurface sewage disposal systems. The project's Planning Areas 1 and 2 will be on public sewer and served by Rainbow Municipal Water District; and Planning Area 3 will be on a septic system.
- (5) Standard Condition 23.3: Said condition applies to projects that are within the service boundaries of the California Department of Forestry and Fire Protection. This project will be served by the North County Fire Protection District.
- (6) Standard Conditions 24: Said condition pertains to subdivisions outside the boundaries of a fire protection agency. This project will be served by the North County Fire Protection District.
- (7) Standard Condition 27: Said condition states that the Final Map shall include the entire area shown on the Tentative Map and shall not be filed as units or groups of units. Final Maps for this Tentative Map may be filed as units or groups of units.

APPROVAL OF MAP: *The following specific conditions shall be complied with before a Final Map is approved by the Planning Commission and filed with the County Recorder of San Diego County (and, where specifically, indicated, shall also be complied with prior to approval of any plans, and issuance of any grading or other permits as specified):*

1. GEN#1 - COST RECOVERY

INTENT: In order to comply with [Section 362 of Article XX of the San Diego County Administrative Code](#), Schedule B.5 existing deficit accounts associated with processing this map shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficits associated with processing this map. **DOCUMENTATION:** The applicant shall provide evidence to [PDS, Zoning Counter], which shows that all fees and trust account deficits have been paid. No map can be issued if there are deficit accounts. **TIMING:** Prior to the approval of any map and prior to the approval of any plan and issuance of any permit, all fees and trust account deficits shall be paid. **MONITORING:** The [PDS Zoning Counter] shall review the evidence to verify compliance with this condition.

2. GEN#2 - GRADING PLAN CONFORMANCE

INTENT: In order to implement the required mitigation measures for the project, the required grading plan and improvement plans shall conform to the approved Conceptual Grading and Development Plan. **DESCRIPTION OF REQUIREMENT:** The grading and/or improvement plans shall conform to the approved Conceptual Grading Plan, and include all of the following mitigation measures: Air Quality (Fugitive Dust, Blasting, Construction Architectural Coatings), Biological Resources (Biological Monitoring, Pre-construction Surveys, Temporary Fencing, Permanent Fencing & Signage, Easement Avoidance, Breeding Season Avoidance), Cultural Resources (Temporary Fencing, Archaeological Site Capping, Pre-Grade Survey, Dust Control Plan, Archaeological Monitoring), Geological Resources (Soils Report, Stabilization Measures, Geotechnical Monitoring), Noise (Blasting Noise Plan, Temporary Construction Noise, Temporary Rock Crushing and Drilling, Vibration Impacts). **DOCUMENTATION:** The applicant shall submit the grading plans and improvement plans, which conform to the conceptual development plan for the project. **TIMING:** Prior to the recordation of the Final Map and prior to the approval of any plan and issuance of any permit, the notes and items shall be placed on the plans as required. **MONITORING:** The [DPW, ESU, or PDS, BD for PDS Minor Grading; DPR, TC for Trails; and, PP for Park Improvements] shall verify that the grading and/or improvement plan requirements have been implemented on the final grading and/or improvement plans as applicable. The environmental mitigation notes shall be made conditions of the issuance of said grading or construction permit.

3. PLN#1 - DISCRETIONARY APPROVALS

INTENT: In order to ensure that the proposed subdivision complies with the required Zoning for the Parcel the following additional discretionary approvals shall be obtained. **DESCRIPTION OF REQUIREMENT:** Obtain approval of Major Use Permits, PDS2016-MUP-16-012 and PDS2016-MUP-16-013 from the County

Planning Commission. **DOCUMENTATION:** The applicant shall apply for and receive approval of the required discretionary approvals referenced above. Upon approval, provide a copy of the approval to the [PDS, PPD] for review and approval of this condition. **TIMING:** Prior to the approval of the Map, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPD] shall review the discretionary approval for compliance with this condition.

4. TIF#1–TIF PROGRAM:

INTENT: In order to promote orderly development and comply with the County's TIF Program, the TIF Program shall be updated to include potential changes to the Land Use Element and Mobility Element. **DESCRIPTION OF REQUIREMENT:** Provide a fair share contribution towards the cost of updating the County's TIF program. The amount of the fair share contribution will be determined at the time the County begins the effort to update the TIF program. The cost of the TIF update will be shared by all of the approved GPAs that are being incorporated into the TIF Program to the satisfaction of the Director of Planning & Development Services. **TIMING:** Prior to the recordation of the First Final Map for any unit, provide a fair share contribution towards the cost of updating the County's TIF program. **MONITORING:** The [PDS, LDR] shall review the County's TIF Program and update it to allow the use of a TIF payment to mitigate cumulative traffic impacts. The County's TIF Program update shall be approved by the Board of Supervisors.

5. PARKS#1 - DEDICATION OF PUBLIC PARK LAND

INTENT: In accordance with Title 8, Division 10 of the Code of Regulatory Ordinance also known as the Park Lands Dedication Ordinance (PLDO) and in order to comply with Section 810.102 et seq. and to receive PLDO credit for two public parks, the Public Neighborhood Park (Lot C) and Trail Head Park (Lot O), shall be fully developed in accordance with the PLDO and an approved Final Park Site Plan. **DESCRIPTION OF REQUIREMENT:** Any and all parklands receiving PLDO credit shall comply with the following requirements:

- a. A Final Park Site Plan (that includes grading, irrigation, landscaping, and improvement plans and construction documents) that substantially conforms to the concept plans in the approved Tentative Map PDS2016-TM-5615 Conceptual Landscape Plan and the park design and construction standards specified by the Department of Parks and Recreation (DPR) and the Park Design Manual shall be approved by the Director of DPR.
- b. The Public Neighborhood Park (Lot C) and Trail Head Park (Lot O) are public parks that shall consist of 1.86 acres of improved active recreational uses as defined in the PLDO, including facilities and amenities identified on the approved park concept plan for PDS2016-TM-5615 and in conformance with the PLDO and Park Design Manual.

- c. Park site improvements identified in the approved Final Park Site Plans shall be constructed, and fee title to the Public Neighborhood Park (Lot C), and Trail Head Park (Lot O) lots conveyed to the County by grant deed free of encumbrances, as evidenced by an Environmental Site Assessment and a California Land Title Association Policy provided by the applicant and approved by the Director of DPR.
- d. If there is less than a total of 1.86 combined acres of improved active recreational uses as defined in the PLDO in the approved Final Park Site Plan for Neighborhood Park (Lot C) and Trail Head Park (Lot O), a combination of public and private parkland shall be dedicated and/or fees in-lieu of park land dedication shall be required pursuant to the PLDO as approved by the Director of DPR.

OR

The applicant or its designee, may satisfy the preceding requirements for construction of Public Neighborhood Park (Lot C) and Trail Head Park (Lot O) by entering into a Secured Park Acquisition and Improvement Agreement with the County, prior to recordation of the first Final Map. The Secured Park Acquisition and Improvement Agreement shall include (but not be limited to):

1. Require park to be constructed pursuant to approved Final Park Site Plan, PLDO, and Park Design Manual.
2. Require that construction timeline for the two public park sites not exceed one and one-half (1½) years from issuance of the first building permit or require park construction to be complete prior to issuance of fifty percent (50%), or the 198th residential building permit, of the total proposed residential dwelling units as shown on the Tentative Map PDS2016-TM-5615 Conceptual Landscape Plan.
3. Be accompanied by a security deposit sufficient to cover the cost of two (2) years operation and maintenance of Public Neighborhood Park (Lot C) and Trail Head Park (Lot O) based on the approved Final Park Site Plan for both parks and in the form and amount specified by the Department of Parks and Recreation ("DPR") Director to ensure the applicant's performance of the terms of the Secured Park Acquisition and Improvement Agreement.

DOCUMENTATION: The applicant shall complete and provide the following:

- a. Process and obtain approval from the Director of DPR for a Final Park Site Plan for the Public Neighborhood Park (Lot C) and Trail Head Park (Lot O).

- b. Process and obtain approval from the Director of DPR for the grading, irrigation, landscaping, and improvement plans and construction documents in compliance with the PLDO and the requirements mentioned above.
- c. Construct park improvements identified in the Final Park Site Plans and the grading, irrigation, landscaping, and improvement plans and construction documents. Note that the Final Park Site Plans will be submitted as part of the PDS Grading Plan, PDS Landscape Plan, and PDS Building Plans sets.
- d. Submit Environmental Site Assessment for approval by Director of DPR and Director of Department of Environmental Health (DEH) prior to conveyance of public park fee title.
- e. Submit the Mandatory Dedication Checklist application to the Director of DPR and Director of Department of General Services (DGS) prior to conveyance of public park fee title.
- f. Submit a California Land Title Association Policy for approval by Director of DPR and Director of DGS prior to conveyance of public park fee title.
- g. Convey fee title by Grant Deed of public park sites Public Neighborhood Park (Lot C), and Trail Head Park (Lot O) that have been constructed in accordance with the Final Park Site Plans and are free of encumbrances.

OR

- h. Enter into a Secured Park Acquisition and Improvement Agreement with the County that ensures construction of public parks conveyance of fee title in the manner specified above; and/or payment of in-lieu fees, as applicable.

TIMING: Prior to the recordation of the first Final Map. **MONITORING:** The [DPR, PP] and [PDS, PPD Landscape Architect] shall review the Park Site Plans, grading, irrigation, landscaping, and improvement plans, and construction documents. [DPR, PP] shall review the Secured Park Acquisition and Improvement Agreement. [DPR, PP] [DEH, LWQ] shall review the Environmental Site Assessment. [DPR, PP] [DGS, RP] shall review the Mandatory Dedication Checklist and California Land Title Association Policy. The [DPR, PP] shall determine if dedication of additional parkland or payment of in-lieu park fees is required. The [PDS, BD] shall monitor building permit issuance and, if required, collect in-lieu park fees.

6. PARKS#2 - PUBLIC PARKS – ESTABLISHMENT OF FUNDING MECHANISM

INTENT: A funding mechanism shall be established to the satisfaction of the DPR to fully fund the operation and maintenance of the public neighborhood parks.
DESCRIPTION OF REQUIREMENT: Establish a Community Facilities District (CFD) or other funding mechanism approved by the DPR to fully fund the operation

and maintenance of Public Neighborhood Park (Lot C) and Trail Head Park (Lot O). **DOCUMENTATION:** The CFD or other funding mechanism shall have the capacity to generate enough revenue to fund the annual operation and maintenance of the Public Neighborhood Park (Lot C) and Trail Head Park (Lot O) as determined by the DPR. In addition to the tax on developed parcels, this CFD or other funding mechanism shall include an "undeveloped land tax" which will allow revenue to be generated on all undeveloped parcels/developed parcels (excluding the Equestrian Facility as well as all biological and RPO open space easements) within the CFD. If required, annual increases are allowed under the CFD formation documents. **TIMING:** Prior to recordation of the first Final Map. **MONITORING:** The [PDS, DPR, PP] shall review the documentation for conformance with this condition.

7. PARKS#3 - PLDO COMPLIANCE - DEDICATION OF PRIVATE PARK EASEMENTS

INTENT: For any private parks for which PLDO credit is to be granted pursuant to PLDO Section 810.108, an easement shall be dedicated to the County that restricts the use of the private park, to park and recreational purposes, and ensure compliance with the County of San Diego PLDO. **DESCRIPTION OF REQUIREMENT:** Dedicate an easement to the County by separate document or on each Final Map which the private park(s) is/are located that (a) restricts the use of the private parks located on Lots L, I, S/T, and W as shown on Tentative Map PDS2016-TM-5615 and Conceptual Landscape Plan to park and recreational purposes only; (b) specifies that the private park (Lots L, I, S/T, and W) shall be maintained by the Home Owners' Association; and (c) includes a defense and indemnity provision in favor of the County that is satisfactory to the DPR. **DOCUMENTATION:** The easement may be recorded by separate document or on each Final Map which the private park(s) is/are located respectively. The easement shall be submitted to the DPR and DGS for review and approval. **TIMING:** Prior to, or simultaneously with, recordation of each Final Map which the private park(s) is/are located. **MONITORING:** The [DPR, PP] shall review the documentation for conformance with this condition.

8. FUNDING#1-LANDSCAPE MAINTENANCE DISTRICT (LMD) AND/OR COMMUNITY FACILITIES DISTRICT (CFD) FORMATION

INTENT: The Landscape Maintenance District (LMD) and/or Community Facilities District (CFD) is proposed to be the maintenance entity and maintenance funding source for TM 5616. **DESCRIPTION OF REQUIREMENT:** The applicant shall form and fund the LMD/CFD and funding shall encompass the following:

- a. Operation and maintenance costs for features that are built to park design standards (e.g., native vegetation landscaping and use of sustainable building materials), and those cited in the engineering report,
- b. Other operation and maintenance costs, including stormwater management;

- c. Maintenance of any private trail or trail elements.
- d. Maintenance and on-going stewardship of preserved open space, cultural resources and any other improvements or land transferred to DPR.
- e. If needed an annual increase shall be included in the funding for the LMD/CFD..

DOCUMENTATION: The applicant shall create and fund the LMD/CFD, as determined during the project processing, in compliance with this condition.

TIMING: Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the LMD/CFD shall be formed. **MONITORING:** The [DPR, PDS, PCC] shall review the formation and funding of the LMD/CFD, as required by this condition. The [DPW, DPR, PDCI] shall ensure that the LMD/CFD is formed and fully funded with a yearly increase, if required, as cited in this condition.

9. FUNDING#2–PERPETUAL MAINTENANCE FUNDING FACILITY

INTENT: The Landscape Maintenance District (LMD) and/or Community Facilities District (CFD) is proposed to be the maintenance entity and maintenance funding source for TM 5616. **DESCRIPTION OF REQUIREMENT:** The subdivider shall obtain approval for a **Landscape Maintenance District (LMD)** and/or **Community Facilities District (CFD)** for maintaining pedestrian & equestrian trails and landscaped medians, to the satisfaction of the Director of Parks & Recreation and the Director of Public Works. The applicant may elect to form one district to satisfy this requirement and the conditions described under PARKS#2 above. **LANDSCAPE MAINTENANCE DISTRICT FORMATION (LMD):** [PDS, DPR] [DPW, PDCI], FEE] **INTENT:** The Landscape Maintenance District (LMD) is proposed to be the maintenance entity and maintenance funding source for TM 5615. **DESCRIPTION OF REQUIREMENT:** The applicant shall form and fund the LMD and funding shall encompass the following:

- a. Maintenance of any public trail or trail elements.
- b. Maintenance and on-going stewardship of preserved open space, cultural resources and any other improvements or land transferred to DPR.
- c. Maintenance of Landscaping within the Public Right-of-Way
- d. An annual CPI increase shall be included in the funding mechanism.

DOCUMENTATION: The applicant shall create and fund the LMD or CFD, as determined during the project processing, in compliance with this condition.

TIMING: Prior to the approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) and prior to the approval of any plan and issuance of any permit, the LMD or CFD shall be formed.

MONITORING: The [DPR, PDS, PCC] shall review the formation and funding of the LMD or CFD, as required by this condition. The [DPW, DPR, PDCI] shall

ensure that the LMD or CFD is formed and fully funded with a two percent yearly increase, as cited, in this condition.

10. BIO#1 - BIOLOGICAL OPEN SPACE EASEMENT

INTENT: In order to protect sensitive Biological and Cultural Resources, a Biological Open Space Easement shall be granted. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Biological Open Space Easement over portions of Tentative Map, PDS2016-TM-5615 as shown on the Biological Open Space Exhibit (Figure 20 of the Biological Resources Technical Report – August 7, 2019). This easement is for the protection of biological resources and also provides for the protection of archaeological sites CA-SDI-776 Locus A, CA-SDI-776 Locus B, and CA-SDI-8237 and prohibits all of the following on any portion of the land subject to said easement: grading; excavation; placement of soil, sand, rock, gravel, or other material; clearing of vegetation; construction, erection, or placement of any building or structure; vehicular activities; trash dumping; or use for any purpose other than as open space. The sole exceptions to this prohibition are:

- a. Selective clearing of vegetation by hand to the extent required by written order of the fire authorities for the express purpose of reducing an identified fire hazard. While clearing for fire management is not anticipated with the creation of this easement, such clearing may be deemed necessary in the future for the safety of lives and property. All fire clearing shall be pursuant to the applicable fire code of the Fire Authority Having Jurisdiction and the Memorandum of Understanding dated February 26, 1997, (<http://www.sdcounty.ca.gov/PDS/docs/MemoofUnder.pdf>) between the wildlife agencies and the fire districts and any subsequent amendments thereto. Activities conducted pursuant to a revegetation or habitat management plan approved by the Director of PDS, DPW or DPR.
- c. Vegetation removal or application of chemicals for vector control purposes where expressly required by written order of the DEH.
- d. Construction, use, and maintenance of the access road on Lot RR in the location shown on Tentative Map PDS2016-TM-5615.
- e. Construction use and maintenance of multi-use, non-motorized trails.
- f. Access to cultural sites shall be provided to culturally affiliated tribes.
- g. Widening of the San Diego County Water Authority (SDCWA) easement in the eastern portion of the property by approximately 200 feet comprising approximately 6.4 acres.

- h. Activities required for implementation of the project's Habitat Restoration/Revegetation Plans or other habitat revegetation or enhancement activities directed by the Resource Manager.
- i. Maintenance and improvement of existing culverts.

DOCUMENTATION: The applicant shall show the easement on the Final Map with the appropriate granting language on the title sheet concurrent with the Final Map Review or the applicant shall prepare the legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. **TIMING:** Prior to the approval of the First Final Map for PDS2016-TM-5615, and prior to the approval of any plan and issuance of any permit. **MONITORING:** For recordation on the map, the [PDS, LDR] shall route the Final Map to [PDS, PPD] for approval prior to map recordation or for recordation by separate document, the [DGS, RP] shall prepare and approve the easement documents and send them to [PDS, PPD] and [DPR GPM] for pre-approval. The [PDS, PPD] shall pre-approve the language and estimated location of the easements prior to recordation. Upon Recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS, PPD] for satisfaction of the condition or if recorded on the Final Map, the [PDS LDR] shall satisfy the condition after map recordation.

11. BIO#2 - LBZ EASEMENT

INTENT: In order to protect sensitive biological resources, pursuant to the California Environmental Quality Act, a Limited Building Zone Easement shall be granted to limit the need to clear or modify vegetation for fire protection purposes within an adjacent biological resource area. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Limited Building Zone Easement as shown on the Biological Open Space Exhibit (Figure 20 of the Biological Technical Report – August 7, 2019). The purpose of this easement is to limit the need to clear or modify vegetation for fire protection purposes within the adjacent biological open space easement and prohibit the construction or placement of any structure designed or intended for occupancy by humans or animals. The only exceptions to this prohibition are:

- a. Decking, fences, and similar facilities.
- b. Sheds, gazebos, and detached garages, less than 250 square feet in total floor area, that are designed, constructed and placed so that they do not require clearing or fuel modification within the biological open space easement, beyond the clearing/fuel modification required for the primary structures on the property.

DOCUMENTATION: The applicant shall show the easement on the Final Map with the appropriate granting language on the title sheet concurrent with Final Map Review - OR - The applicant shall prepare the draft plats and legal descriptions of

the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. **TIMING:** Prior to the approval of the first Final Map, or on the Final Map, and prior to the approval of any plan and issuance of any permit, the easements shall be recorded. **MONITORING:** For recordation on the map, the [PDS, LDR] shall route the Final Map to [PDS, PPD] for approval prior to map recordation OR for recordation by separate document, the [DGS, RP] shall prepare and approve the easement documents and send them to [PDS, PPD] and [DPR GPM] for preapproval. The [PDS, PPD] shall pre-approve the language and estimated location of the easements prior to recordation. Upon Recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS, PPD] for satisfaction of the condition - OR - if recorded on the map, the [PDS LDR] shall satisfy the condition after map recordation.

12. BIO#3 - RESOURCE MANAGEMENT PLAN

INTENT: In order to provide for the long-term management of the proposed open space preserve, a Resource Management Plan (RMP) shall be prepared and implemented. **DESCRIPTION OF REQUIREMENT:** Submit to and receive approval from the Director of PDS, a RMP. The RMP shall be for the perpetual management of environmentally sensitive open space. The RMP shall be consistent with the Conceptual Resource Management Plan – Biological Resources dated August 7, 2019 prepared by HELIX Environmental Planning on file with PDS as Environmental Review Number PDS2016-ER-16-02-006. The plan shall be prepared and approved pursuant to the most current version of the County of San Diego Biological Report Format and Content Requirements. The final RMP cannot be approved until the following has been completed to the satisfaction of the Director of PDS and in cases where DPR has agreed to be the owner and/or manager, to the satisfaction of the Director of DPR.

- a. The plan shall be prepared and approved pursuant to the most current version of the County of San Diego Biological Report Format and Content Requirements.
- b. The habitat land to be managed shall be completely purchased.
- c. The easements shall be dedicated to ensure that the land is protected in perpetuity.
- d. A Resource Manager shall be selected, and evidence provided by applicant as to the acceptance of this responsibility by the proposed Resource Manager.
- e. The RMP funding mechanism shall be identified and approved by the County to fund annual costs for basic stewardship. Evidence shall be provided that the RMP has been funded.

- f. A contract between the applicant and County shall be executed for the implementation of the RMP.

DOCUMENTATION: The applicant shall prepare the RMP and submit it to the [PDS, ZONING] and pay all applicable review fees. **TIMING:** Prior to the approval of the first final map, and prior to the approval of any plan and issuance of any permit, the RMP shall be approved. **MONITORING:** The [PDS, PPD] shall review the RMP for compliance with the content guidelines, the conceptual RMP, and this condition.

13.BIO#4 - REVEGETATION PLAN – WETLAND HABITAT AND JURISDICTIONAL WATERS

INTENT: In order to mitigate for the impacts to wetland habitat and jurisdictional waters (Southern willow scrub – 0.01 acre, Mule fat scrub – 0.17 acre, Tamarisk scrub 0.01 acre, non-wetland waters of the U.S. – 0.20 acre) which are sensitive biological resources pursuant to the California Environmental Quality Act and the Resource Protection Ordinance, revegetation shall occur. **DESCRIPTION OF REQUIREMENT:** A Revegetation Plan, shall be prepared, which mitigates impacts to wetland habitat and jurisdictional waters (Southern willow scrub – 0.01 acre, Mule fat scrub – 0.17 acre, Tamarisk scrub 0.01 acre, non-wetland waters of the U.S. – 0.20 acre). The revegetation shall occur onsite as identified on Figure 9 of the Conceptual Wetland Restoration Plan (August 7, 2019) prepared by Helix Environmental Planning. The revegetation plan shall conform to the Conceptual Revegetation Plan titled *Ocean Breeze Ranch Project – Conceptual Wetland Restoration Plan* (August 7, 2019), and the most current version of the County of San Diego Report Format and Content Requirements for Revegetation Plans. The Revegetation Plan shall include the following:

- a. The monitoring plan shall be for a length of five years and have a 70 percent success criterion.
- b. A preservation plan over the land to be revegetated shall be included in the Revegetation Plan. The preservation plan shall include evidence of dedication of an open space easement to the County of San Diego or evidence of protection in perpetuity by some other means to the satisfaction of the Director of PDS.
- c. The report shall be prepared by a County approved biologist and the construction plans shall be prepared by a State of California Licensed Landscape Architect.
- d. Revegetation objectives, revegetation site biological resource map, 24"x 36" landscape plan, map showing revegetation areas according to mitigation type and amount, site preparation information, type of planting materials (e.g. species ratios, source, size material, etc.), planting program, 70 percent success criteria, and a detailed cost estimate.

- e. A cost estimate based on a 3% annual inflation rate shall be submitted and approved, which includes the cost of the plant stock and its installation, irrigation system and installation, cost of monitoring and maintenance of the revegetation area for the required monitoring period, and report preparation and staff time to review.

DOCUMENTATION: The applicant shall prepare the Revegetation Plan, submit it to the [PDS, ZONING] and pay all the applicable review fees and deposits. **TIMING:** Prior to the approval of the first Final Map, and prior to the approval of any plan and issuance of any permit, the Revegetation Plan shall be approved by the County, USACE, CDFW, and RWQCB. **MONITORING:** The [PDS, LA] shall review the Revegetation Plan for conformance with this condition and the Report Format and Content Requirements for Revegetation Plans. Upon approval of the Plan, a Director's Decision of approval shall be issued to the applicant, and a request for compliance with condition BIO#5 shall be made to enter into a Secured Agreement for the implementation of the Plan.

14. BIO#5 - SECURED AGREEMENT - WETLAND HABITAT AND JURISDICTIONAL WATERS

INTENT: In order to assure project completion and success of the Revegetation Plan (Condition BIO#4), a surety shall be provided, and an agreement shall be executed. **DESCRIPTION OF REQUIREMENT:** The applicant shall enter into a Secured Agreement with the County of San Diego as follows:

- a. The security shall consist of a letter of credit, bond, or cash for 100 percent of the estimated costs associated with the implementation of the Revegetation Plan and,
- b. Provide a 10 percent cash deposit of the cost of all improvements, but no less than \$3,000 and no more than \$30,000.
- c. The monitoring time and the length of time the Secured Agreement and cash deposit will be in effect starts at the time the installation is accepted by a County staff representative. The Secured Agreement and cash deposit shall be released upon completion of the Revegetation Plan implementation provided the installed vegetation is in a healthy condition and meets the 70 percent success criteria. Fifty-percent combined vegetative cover in the tree and shrub strata shall be considered satisfactory completion of the Revegetation Plan

DOCUMENTATION: The applicant shall execute a Secured Agreement provided with the Revegetation Plan Final Decision and provide the approved securities and the cash deposit for County monitoring time. The executed Agreement, cash deposit, and the securities shall be submitted to the [PDS, LA] for final review and approval. **TIMING:** Prior to the approval of the first Final Map and prior to the

approval of any plan and issuance of any permit, and after the approval of the Revegetation Plan, the agreement shall be executed, and the securities provided for the revegetation plan implementation. **MONITORING:** The [PDS, LA] shall review the Agreement cash deposit and securities provided are in compliance with this condition, and the Revegetation Plan Final Decision. The [PDS, LA] shall sign the Agreement for the Director of PDS and ensure the cash deposit is collected. Upon acceptance of the Agreement, securities and cash deposit, the [PDS, LA], shall provide a confirmation letter-acknowledging acceptance of securities.

15. BIO#6 - REVEGETATION PLAN – UPLAND HABITAT

INTENT: In order to provide additional mitigation beyond habitat preservation for the impacts to upland habitat, which is a sensitive biological resource pursuant to the California Environmental Quality Act and the Resource Protection Ordinance, revegetation shall occur. **DESCRIPTION OF REQUIREMENT:** The project shall mitigate impacts to Coast live oak woodland – 0.4 acre, Diegan coastal sage scrub – 32.5 acres, Flat-topped buckwheat – 1.4 acres, and Non-native grassland – 37.6 acres through on-site habitat preservation at ratios identified in Table 5 of the in the 2010 County Guidelines for Determining Significance. In addition, a Revegetation Plan shall be prepared to provide further mitigation beyond habitat preservation. The revegetation shall occur onsite as identified on Figure 6 of the Conceptual Upland Restoration Plan (August 7, 2019) prepared by HELIX Environmental Planning. The revegetation plan shall conform to the Conceptual Revegetation Plan titled *Ocean Breeze Ranch Project – Conceptual Upland Restoration Plan* (August 7, 2019), and the most current version of the County of San Diego Report Format and Content Requirements for Revegetation Plans. The Revegetation Plan shall include the following:

- a. The monitoring plan shall be for a length of five years and have a 50 percent success criterion.
- b. A preservation plan over the land to be revegetated shall be included in the Revegetation Plan. The preservation plan shall include evidence of dedication of an open space easement to the County of San Diego or evidence of protection in perpetuity by some other means to the satisfaction of the Director of PDS.
- c. The report shall be prepared by a County approved biologist and the construction plans shall be prepared by a State of California Licensed Landscape Architect.
- d. Revegetation objectives, revegetation site biological resource map, 24"x 36" landscape plan, map showing revegetation areas according to mitigation type and amount, site preparation information, type of planting materials (e.g. species ratios, source, size material, etc.), planting program, 50 percent success criteria, and a detailed cost estimate.

- e. A cost estimate based on a 3% annual inflation rate shall be submitted and approved, which includes the cost of the plant stock and its installation, irrigation system and installation, cost of monitoring and maintenance of the revegetation area for the required monitoring period, and report preparation and staff time to review.

DOCUMENTATION: The applicant shall prepare the Revegetation Plan, submit it to the [PDS, ZONING] and pay all the applicable review fees and deposits. **TIMING:** Prior to the approval of the first Final Map, and prior to the approval of any plan and issuance of any permit, the Revegetation Plan shall be approved by the County, and Wildlife Agencies (USFWS and CDFW). **MONITORING:** The [PDS, LA] shall review the Revegetation Plan for conformance with this condition and the Report Format and Content Requirements for Revegetation Plans. Upon approval of the Plan, a Director's Decision of approval shall be issued to the applicant, and a request for compliance with condition BIO#7 shall be made to enter into a Secured Agreement for the implementation of the Plan.

16. BIO#7 - SECURED AGREEMENT – UPLAND HABITAT

INTENT: In order to assure project completion and success of the Revegetation Plan (Condition BIO#6), a surety shall be provided, and an agreement shall be executed. **DESCRIPTION OF REQUIREMENT:** The applicant shall enter into a Secured Agreement with the County of San Diego as follows:

- a. The security shall consist of a letter of credit, bond, or cash for 100 percent of the estimated costs associated with the implementation of the Revegetation Plan and,
- b. Provide a 10 percent cash deposit of the cost of all improvements, but no less than \$3,000 and no more than \$30,000.
- c. The monitoring time and the length of time the Secured Agreement and cash deposit will be in effect starts at the time the installation is accepted by a County staff representative. The Secured Agreement and cash deposit shall be released upon completion of the Revegetation Plan implementation provided the installed vegetation is in a healthy condition and meets the 50 percent success criteria outlined in the Revegetation Plan or is otherwise completed to the satisfaction of the County.

DOCUMENTATION: The applicant shall execute a Secured Agreement provided with the Revegetation Plan Final Decision and provide the approved securities and the cash deposit for County monitoring time. The executed Agreement, cash deposit, and the securities shall be submitted to the [PDS, LA] for final review and approval. **TIMING:** Prior to the approval of the first Final Map and prior to the approval of any plan and issuance of any permit, and after the approval of the Revegetation Plan, the agreement shall be executed, and the securities provided for the revegetation plan implementation. **MONITORING:** The [PDS, LA] shall

review the Agreement cash deposit and securities provided are in compliance with this condition, and the Revegetation Plan Final Decision. The [PDS, LA] shall sign the Agreement for the Director of PDS and ensure the cash deposit is collected. Upon acceptance of the Agreement, securities and cash deposit, the [PDS, LA], shall provide a confirmation letter-acknowledging acceptance of securities.

17. BIO#8 - OPEN SPACE SIGNAGE

INTENT: In order to protect the proposed open space easement from entry, informational signs shall be installed. **DESCRIPTION OF REQUIREMENT:** Open space signs shall be placed along the biological open space boundary as indicated on Figure 20 of the Biological Resources Technical Report (August 7, 2019) prepared by Helix Environmental Planning. The signs must be corrosion resistant, a minimum of 6" x 9" in size, on posts not less than three (3) feet in height from the ground surface, and must state the following:

**Sensitive Environmental Resources
Area Restricted by Easement**

Entry without express written permission from the County of San Diego is prohibited. To report a violation or for more information about easement restrictions and exceptions contact the County of San Diego,
Planning & Development Services

Reference: (Tentative Map, PDS2016-TM-5615, PDS2016-MUP-16-012)

DOCUMENTATION: The applicant shall install the signs as indicated above and provide site photos and a statement from a California Registered Engineer, or licensed surveyor, that the open space signs have been installed at the boundary of the open space easement(s). **TIMING:** Prior to the approval of the Final Map and prior to the approval of any plan and issuance of any permit, the open space signs shall be installed. **MONITORING:** The [PDS, PPD] shall review the photos and statement for compliance with this condition.

18. BIO#9 - WETLAND PERMITS

INTENT: In order to comply with the State and Federal Regulations for wetlands and jurisdictional waters, the following agency permits, or verification that they are not required shall be obtained. **DESCRIPTION OF REQUIREMENT:** The following permit and agreement shall be obtained, or provide evidence from the respective resource agency satisfactory to the Director of PDS that such an agreement or permit is not required:

- a. A Clean Water Act, Section 401/404 permit issued by the California Regional Water Quality Control Board and the U.S. Army Corps of Engineers for all project related disturbances of waters of the U.S. and/or associated wetlands.

- b. A Section 1602 Streambed Alteration Agreement issued by the California Department of Fish and Wildlife for all project related disturbances of any streambed.

DOCUMENTATION: The applicant shall consult each agency to determine if a permit or agreement is required. Upon completion of the agency review of this project, the applicant shall provide a copy of the permit(s)/agreement(s), or evidence from each agency that such an agreement or permit is not required to the [PDS, PPD] for compliance. **TIMING:** Prior to the approval of the Final Map and prior to the approval of any plan and issuance of any permit, the permits shall be obtained. **MONITORING:** The [PDS, PPD] shall review the permits/agreement for compliance with this condition. Copies of these permits should be transmitted to the [DPW, ESU], for implementation on the grading plans

19. BIO#10 - BIOLOGICAL MONITORING

INTENT: In order to prevent inadvertent disturbance to sensitive biological resources that are to be protected and preserved, a Biological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** A qualified biologist working under the direction of a County approved biologist shall be contracted to perform biological monitoring during all grading, clearing, grubbing, trenching, and construction activities. The monitoring program shall include the following:

- a. The Biologist shall perform the monitoring duties before, during and after construction pursuant to the most current version of the County of San Diego Biological Report Format and Requirement Guidelines and this permit.
- b. The Biologist shall perform pre-construction surveys for California gnatcatcher, nesting raptors, and Least Bell's vireo consistent with BIO#GR-4.
- c. The Biologist shall supervise the installation of temporary fencing.
- d. The Biologist shall supervise the installation of permanent fencing and signage.
- e. The contract provided to the county shall include an agreement that this will be completed, and a Memorandum of Understanding (MOU) between the biological consulting company and the County of San Diego shall be executed. The contract shall include a cost estimate for the monitoring work and reporting.
- f. The cost of the monitoring shall be added to the grading bonds or bond separately with Planning & Development Services.

DOCUMENTATION: The applicant shall provide a copy of the biological monitoring contract, cost estimate, and MOU to the [PDS, PPD]. Additionally, the cost amount of the monitoring work shall be added to the grading bond cost estimate. **TIMING:** Prior to the approval of any plan, issuance of any permit, and prior to approval of the map, the requirement shall be completed. **MONITORING:** The [PDS, PPD] shall review the contract, MOU and cost estimate or separate bonds for compliance with this condition. The cost estimate should be forwarded to [PDS, LDR], for inclusion in the grading bond cost estimate, and grading bonds.

20. BIO#11–LIMITED USE OPEN SPACE EASEMENT [PDS, FEE X 2]

INTENT: In order to, provide equestrian-compatible non-buildable space that could be used by wildlife, a Limited Use Open Space Easement shall be granted over portions of Lots 391, 392, 393, 394 and 395 and HOA Lot GG. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Limited Use Open Space Easement, as shown on the approved Tentative Map. This easement prohibits all of the following on any portion of the land subject to said easement: grading; excavation; placement of soil, sand, rock, gravel, or other material; clearing of vegetation; construction, erection, or placement of any building or structure; vehicular activities; trash dumping; or use for any purpose other than as open space or pasture. Granting of this open space authorizes the County and its agents to periodically access the land to perform management and monitoring activities for the purposes of species and habitat conservation. The following exception(s) to this prohibition are allowed:

- a. Conversion of land to pasture.
- b. Pasture management activities such as seeding, irrigation, fertilizer, pest management, and mowing.
- c. Gating, fencing, and similar facilities.
- d. Construction of shade structures for horses.
- e. Selective clearing of vegetation by hand to the extent required by written order of the fire authorities for the express purpose of reducing an identified fire hazard. While clearing for fire management is not anticipated with the creation of this easement, such clearing may be deemed necessary in the future for the safety of lives and property. All fire clearing shall be pursuant to the applicable fire code of the Fire Authority Having Jurisdiction and the Memorandum of Understanding dated February 26, 1997, between the wildlife agencies and the fire districts and any subsequent amendments thereto.
- f. Uses, activities, and placement of structures expressly permitted by the Director of PDS, whose permission may be given only after following the procedures and complying with all requirements applicable to an

Administrative Permit and/or Major Use Permit Minor Deviation and/or Major Use Permit Modification pursuant to The Zoning Ordinance of the County of San Diego.

- g. Construction, use, and maintenance of wells and septic systems, and structural Best Management Practices (BMP's) proposed as part of compliance with the Storm Water Quality Management Plan (SWQMP) requirement as shown on approved Tentative Map and Major Use Permit.
- h. Construction, use, and maintenance of a public street, private road, or driveway.
- i. Sheds, gazebos, and detached garages, less than 250 square feet in total floor area, that are designed, constructed and placed so that they do not require clearing or fuel modification within the limited use open space easement, beyond the clearing/fuel modification required for the primary structures on the property.
- j. Vegetation removal or application of chemicals for vector control purposes where expressly required by written order of the Department of Environmental Health of the County of San Diego, in a location and manner approved in writing by the Director of Planning and Development Services of the County of San Diego.

DOCUMENTATION: The applicant shall show the easement on the Final Map with the appropriate granting language on the title sheet concurrent with the Final Map Review or the applicant shall prepare the legal descriptions of the easements, then submit them for preparation and recordation with the *[DGS, RP]*, and pay all applicable fees associated with preparation of the documents. **TIMING:** Prior to the approval of the Final Map and prior to the approval of any plan and issuance of any permit, the easements shall be executed and recorded. **MONITORING:** For recordation by separate document, the *[DGS, RP]* shall prepare and approve the easement documents and send them to *[PDS, PCC]* and *[DPR GPM]* for pre-approval. The *[PDS, PCC]* shall preapprove the language and estimated location of the easements prior to recordation. Upon Recordation of the easements *[DGS, RP]* shall forward a copy of the recorded documents to *[PDS, PCC]* for satisfaction of the condition.

21.CULT#1 - CULTURAL RESOURCES TREATMENT AGREEMENT AND PRESERVATION PLAN

INTENT: In order to mitigate for impacts to Traditional Cultural Properties, develop and enter into a Cultural Resources Treatment Agreement and Preservation Plan with the Pala Band of Mission Indians, the Rincon Band of Luiseno Indians, and the San Luis Rey Band of Mission Indians. **DESCRIPTION OF REQUIREMENT:** A single Cultural Resources Treatment Agreement and Preservation Plan shall be developed between the applicant or their representative, and the Pala Band of

Mission Indians, the Rincon Band of Luiseno Indians, and the San Luis Rey Band of Mission Indians. The Cultural Resources Treatment Agreement and Preservation Plan shall be reviewed and agreed to by the County prior to final signature and authorization. The Cultural Resources Treatment Agreement and Preservation Plan shall include but is not limited to the following:

- a. Parties entering into the agreement and contact information.
- b. Responsibilities of the Property Owner or their representative, Principal Investigator, archaeological monitors, Luiseno Native American monitors, and consulting tribes (Pala, Rincon, and San Luis Rey).
- c. Requirements of the Pre-Grade and Data Recovery Program, and the Archaeological Monitoring Program including unanticipated discoveries. The requirements shall address grading and grubbing requirements including controlled grading and controlled vegetation removal in areas of cultural sensitivity, analysis of identified cultural materials, and onsite storage of cultural materials.
- d. Treatment of identified Native American cultural materials.
- e. Treatment of Native American human remains and associated grave goods.
- f. Requirements for the Capping Plan (CA-SDI-776 Locus A), Dust Control Plan (CA-SDI-8237), and Temporary Fencing (CA-SDI-776 Locus A and Locus B).
- g. Confidentiality of cultural information including location and data.
- h. Negotiation of disagreements should they arise during the implementation of the Agreement and Preservation Plan.
- i. Regulations that apply to cultural resources that have been identified or may be identified during project construction.

DOCUMENTATION: A copy of the implemented agreement shall be submitted to the [PDS, PPD] for approval. **TIMING:** Prior to the approval of the First Final Map for PDS2016-TM-5615 and prior to the approval of any plan and issuance of any permit. **MONITORING:** The [PDS, PPD] shall review the implemented agreement for compliance this condition.

22. CULT#2 - ARCHAEOLOGICAL MONITORING

INTENT: In order to mitigate for potential impacts to undiscovered buried archaeological resources and human remains, an Archaeological Monitoring Program and potential Data Recovery Program shall be implemented pursuant to the County of San Diego Guidelines for Determining Significance for Cultural

Resources and the California Environmental Quality Act (CEQA). **DESCRIPTION OF REQUIREMENT:** A County Approved Principal Investigator (PI) known as the "Project Archaeologist," shall be contracted to perform archaeological monitoring and a potential data recovery program during all grading, clearing, grubbing, trenching, and construction activities. The archaeological monitoring program shall include the following:

- a. The Project Archaeologist shall perform the monitoring duties before, during and after construction pursuant to the most current version of the County of San Diego Guidelines for Determining Significance and Report Format and Requirements for Cultural Resources. The Project Archaeologist and Luiseno Native American monitor shall also evaluate fill soils to determine that they are clean of cultural resources. The contract or letter of acceptance provided to the County shall include an agreement that the archaeological monitoring will be completed, and a Memorandum of Understanding (MOU) between the Project Archaeologist and the County of San Diego shall be executed. The contract or letter of acceptance shall include a cost estimate for the monitoring work and reporting.
- b. The Project Archeologist shall provide evidence that a Luiseno Native American has been contracted to perform Native American Monitoring for the project.
- c. The cost of the monitoring shall be added to the grading bonds or bonded separately.

DOCUMENTATION: The applicant shall provide a copy of the Archaeological Monitoring Contract or letter of acceptance, cost estimate, and MOU to [PDS, PPD]. Additionally, the cost amount of the monitoring work shall be added to the grading bond cost estimate. **TIMING:** Prior to the approval of the Final Map for any phase, and any grading and or improvement plans, and issuance of any Grading or Construction Permits. **MONITORING:** [PDS, PPD] shall review the contract or letter of acceptance, MOU and cost estimate or separate bonds for compliance with this condition. The cost estimate should be forwarded to [PDS, PPD] for inclusion in the grading bond cost estimate, and grading bonds and the grading monitoring requirement shall be made a condition of the issuance of the grading or construction permit.

23. DEH#1 - WELL DESTRUCTION

INTENT: In order to ensure that the one water well located outside the equestrian facility is removed/capped, and to comply with the County Regulatory Code Section 67.431, the well shall be properly destroyed or capped. **DESCRIPTION OF REQUIREMENT:** The one water well located outside the equestrian facility shall be properly destroyed by a California C-57 licensed well driller. A Well Destruction Permit shall be obtained from the [DEH, LWQ] and all applicable inspection fees shall be paid. **DOCUMENTATION:** The applicant shall provide

copies of the Well Destruction Logs to [DEH, LWQ] upon completion of the well destruction. **TIMING:** Prior to the approval of any plan, issuance of any permit (Excluding Well Destruction Permit), and prior to occupancy or use of the premises in reliance of this permit, the applicant shall destroy the well. **MONITORING:** Upon submittal of the well destruction logs, [DEH, LWQ] shall perform a field inspection to verify that the well has been properly destroyed. The destruction logs shall be stamped and returned to the applicant.

24. DEH#2 - SEPTIC ABANDONMENT

INTENT: In order to comply with [County Regulatory Code Section 68.314](#) the existing on-site waste water system (Septic System) shall be properly abandoned. **DESCRIPTION OF REQUIREMENT:** The septic system serving the existing single-family residence onsite which is to be abandoned shall be pumped and properly abandoned under DEH guidelines. The property owner shall destroy any septic tank, holding tank or seepage pit within 30 days from the date the system or system component is deemed abandoned. The property owner shall have a licensed septic waste hauler remove the contents from any abandoned septic tank, holding tank or seepage pit and properly backfill the component with sand, gravel or other clean fill material. **DOCUMENTATION:** Upon completion of the septic abandonment, the applicant shall submit proof of the septic tank abandonment in the form of a letter statement from the licensed septic contractor to [DEH, LWQ] that the septic system has been abandoned according the Regulatory Code. **TIMING:** Prior to the approval of any plan or issuance of any permit, the applicant shall properly abandon the septic system. **MONITORING:** Proof of the septic tank abandonment shall be provided by the applicant to [DEH, LWQ] to verify that the septic system has been properly abandoned.

25. DEH#3-SEPTIC REVIEW

INTENT: In order to ensure that the on-site Supplemental Treatment System (STS) is adequate and complies with the [County Regulatory Code Section 68.311](#), the Final Map shall be reviewed by the Department of Environmental Health (DEH) to ensure the lot design, location, lot numbers, grading are consistent as shown on the approved Tentative Map and Preliminary Grading Plan. **DESCRIPTION OF REQUIREMENT:** The Final Map shall be reviewed by the Department of Environmental Health for consistency in regards to each individual on-site Supplemental Treatment System (STS) [DEH, LWQ]. **DOCUMENTATION:** The applicant shall provide PDS a letter from DEH stating that the Maps/Plans have been reviewed for septic purposes, and have received approval. **TIMING:** Prior to the approval of the Final Map, and prior to the approval of any plan, issuance of any permit, the applicant shall have the septic system reviewed. **MONITORING:** The [PDS, PCC] shall review the documents provided for the satisfaction of this condition.

26. DEH#4–ONSITE WASTEWATER TREATMENT SYSTEM

INTENT: In order to ensure that the on-site Supplemental Treatment System (STS) is adequate and complies with the [County Regulatory Code Section 68.311](#), the following conditions must be enforced. **DESCRIPTION OF REQUIREMENT:**

- a. For the Hillside Estate Lot (Lot 396) identified as residential estate parcel on the approved Tentative Map PDS2016-TM-5615, the dwelling constructed on this lot shall be connected to an appropriately sized septic tank and a Supplemental Treatment System (STS) approved for use (NSF Standard 40) within the County of San Diego.
- b. The homeowner of Lot 396 on the approved Tentative Map PDS2016-TM-5615 will be required to obtain an Annual Operating Permit from the Department of Environmental Health for the onsite wastewater treatment system prior to occupancy of the home. The Annual Operating Permit must be renewed each year with the Department of Environmental Health.
- c. The homeowner of Lot 396 on the approved Tentative Map PDS2016-TM-5615 will be required to obtain and maintain an annual service contract, from a qualified service provider, for their onsite wastewater treatment system. This contract must include biannual inspections and reporting of all inspection results to DEH by the homeowner or their service provider.
- d. The applicant can provide additional piezometer monitoring prior to approval of Final Map and at the discretion of DEH they can decide if the use of conventional onsite wastewater treatment systems or supplemental treatment systems would be required for Lot 396 on the approved Tentative Map PDS2016-TM-5615.

DOCUMENTATION: The applicant shall provide PDS a letter from DEH stating that the Maps/Plans have been reviewed for septic purposes and have received approval.

TIMING: Prior to the approval of the Final Map, and prior to the approval of any plan, issuance of any permit, the applicant shall have the septic system reviewed.

MONITORING: The [PDS, PCC] shall review the documents provided for the satisfaction of this condition.

27. STRMWTR#1–STORMWATER FACILITIES MAINTENANCE AGREEMENT

INTENT: In order to promote orderly development and to comply with the [County Flood Damage Prevention Ordinance \(Title 8, Division 11\)](#), [County Watershed Protection Ordinance \(WPO\) No.10096](#), [County Code Section 67.801 et seq.](#), the maintenance agreements shall be completed. **DESCRIPTION OF REQUIREMENT:**

- a. The private storm drain system shall be maintained by a maintenance mechanism such as a homeowners' association or other private entity to the satisfaction of the Director of Planning and Development Services.

- b. Establish a maintenance agreement / mechanism (to include easements) to assure maintenance of the Category 2 post-construction best management practices (BMP's). Provide security or similar financing mechanism, to the satisfaction of the Director of PDS, to assure perpetual maintenance pursuant to the County Maintenance Plan Guidelines.

DOCUMENTATION: The applicant shall process the agreement forms with [PDS, LDR] and pay the deposit and applicable review fees. **TIMING:** Prior to the approval of the Final Map, execution of the agreements and securities shall be completed. **MONITORING:** The [PDS,LDR] shall review the agreements/mechanisms for consistency with the condition and County Standards.

28. STRMWTR#2-EROSION CONTROL

INTENT: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(RWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control [Ordinance No. 10410](#) and all other applicable ordinances and standards for this priority project. **DESCRIPTION OF REQUIREMENT:** The applicant shall maintain the appropriate on-site and offsite Best Management Practices pursuant to the approved Storm Water Quality Management Plan (SWQMP) and Storm Water Pollution Protection Plan (SWPPP) including, but not limited to the erosion control measures, irrigation systems, slope protection, drainage systems, detention basins, energy dissipators, post-construction BMP's and siltation control measures.

- a. An agreement and instrument of credit shall be provided pursuant to [Subdivision Ordinance 81.408](#), for an amount equal to the cost of this work as determined or approved by the [PDS, LDR], in accordance with the [County of San Diego Grading Ordinance Section 87.304\(e\)](#). The cash deposit collected for grading, per the grading ordinance, will be used for emergency erosion measures. The developer shall submit a letter to PDS authorizing the use of this deposit for emergency measures.
- b. An agreement in a form satisfactory to County Counsel shall accompany the Instrument of Credit to authorize the County to unilaterally withdraw any part of or all the Instrument of Credit to accomplish any of the work agreed to if it is not accomplished to the satisfaction of the County PDS and/or DPW by the date agreed.

DOCUMENTATION: The applicant shall provide the letter of agreement and any additional security and or cash deposit to the [PDS, LDR]. **TIMING:** Prior to approval of the Final Map for all phases, and the approval of any plan and the issuance of any permit, the agreement and securities shall be executed.

MONITORING: The [PDS, LDR] shall ensure that the agreement and the securities provided adequately satisfy the requirements of the conditions to potentially perform the required erosion control and stormwater control measures proposed on all construction and grading plans. [DPW, PDCI] shall use the securities pursuant to the agreement to implement and enforce the required stormwater and erosion control measures pursuant to this condition during all construction phases as long as there are open and valid permits for the site.

29. LNDSCP#1–LANDSCAPE DOCUMENTATION PACKAGE

INTENT: In order to provide adequate Landscaping that complies with the [County of San Diego's Water Efficient Landscape Design Manual](#) and the County's Water Conservation in Landscaping Ordinance a Landscape Plan shall be prepared.

DESCRIPTION OF REQUIREMENT: The Landscape Documentation Package shall be prepared by a California licensed Landscape Architect, Architect, or Civil Engineer and include the following information:

- a. Indication of the proposed width of any adjacent public right-of-way, and the locations of any required improvements and any proposed plant materials to be installed or planted therein. The applicant shall obtain an Encroachment Permit, and/or an Encroachment Maintenance and Removal Agreement from DPW approving the variety, location, and spacing of all trees and other landscape improvements proposed within said right(s)-of-way. A copy of these approved permits shall be submitted to PDS.
- b. A complete planting plan including the names, sizes, and locations of all plant materials, including trees, shrubs, and groundcover. Wherever appropriate, native or naturalizing plant materials shall be used, which can thrive on natural moisture. These plants shall be irrigated only to establish the plantings. No non-native invasive plant species shall be used as identified by the California Invasive Plant Council, the California Exotic Pest Plant Council's List A-1, and those identified within Appendix H and J of the County's Water Efficient Landscape Design Manual.
- c. A complete watering system including the location, size, and type of all backflow prevention devices, pressure, and non-pressure water lines, valves, and sprinkler heads in those areas requiring a permanent, and/or temporary irrigation system.
- d. The watering system configuration shall indicate how water flow, including irrigation runoff, low head drainage, overspray or other similar conditions will not impact adjacent property, non-irrigated areas, structures, walkways, roadways or other paved areas, including trails and pathways by causing water to flow across, or onto these areas.

- e. Spot elevations of the hardscape, building and proposed fine grading of the installed landscape.
- f. The location and detail of all walls, fences, and walkways shall be shown on the plans, including height from grade and type of material. A lighting plan and light standard details shall be included in the plans (if applicable) and shall be in compliance with the [County's Light Pollution Code](#).
- g. No landscaping material or irrigation or other infrastructure shall be located within a proposed trail easement or designated pathway.
- h. Additionally, the following items shall be addressed as part of the Landscape Plan: Landscape Documentation Package submittals shall be compliant with all applicable components of the Conceptual Landscape Plan for Ocean Breeze Ranch, dated June 13, 2019, and submitted on September 6, 2019, and the Conceptual Landscape Plans for the Equestrian Center Entry Gates, dated June 27, 2019, and submitted on August 5, 2019. Plans shall be coordinated with and submitted based on the projects' phasing plan.
- i. All common area landscape irrigation shall be connected to dedicated landscape water service meters.
- j. All Landscape Documentation Package submittals shall include on the title sheet, maintenance responsibilities, including brush management zones A and B, as described in Landscape Note 11 on Sheet L-2 of the Conceptual Landscape Plan.
- k. A Water Use and Tree Planting Plan shall be prepared for all single family residential lots within Planning Area's 1 and 2 to establish water budgets and tree planting requirements in conformance with Measure's A-2.1 (Increase Residential Tree Planting) and W-1.2 (Reduce Outdoor Water Use) of the County's Climate Action Plan. Tree quantities shall be compliant with the Tree Planting Summary shown on Sheet L-1. Water budget calculations shall include any slope planting established during approval of Landscape Documentation Package plans associated with grading permits. The Plan shall also address compliancy with Section 86.703 (a) (1) of the Water Conservation in Landscaping Ordinance in requiring all new construction that the County issues a building permit for, having water budgets established for all landscaped areas between 500 sq. ft. and 2500 sq. ft. For all those applicable single-family lots, water budget calculations shall be compliant with the Prescriptive Compliance Option requirements for low water use plants (as required in Section 86.722 of the Ordinance).
- l. In compliance with COS-17.4 (Composting) of the Conservation and Open Space Element of the County's General Plan, the Water Use and Tree Planting Plan shall also include as an educational component, a note to future

homeowners of the following resources available to them through the County of San Diego on the benefits of sustainable landscapes: Department of Public Works' Recycling Guides, Composting, and San Diego Sustainable Landscapes.

- m. All applicable Landscape Documentation Package plans shall be compliant with the Tree Planting Summary shown on Sheet L-1 of the Conceptual Landscape Plans.
- n. A Tree Preservation Plan shall be included as part of the Landscape Documentation Package plans to address methods of protecting existing vegetation to remain per the 'Existing Trees to Remain' notes on Sheet L-2 of the Conceptual Landscape Plans. Tree locations, based on a tree survey of existing trees to remain in conjunction with an arborist report (ISA-certified or ASCA registered), shall be identified on the plans.
- o. All landscaping shall be compliant with the most current version of the projects' Fire Protection Plan, specifically Section 4.7 (Defensible Space and Vegetation Management).
- p. Prior to final approval by PDS of all applicable Landscape Documentation Package plans, proof of North County Fire Protection Districts' approval of the most current set of plans, shall be provided.
- q. All retaining walls and sound walls which face public streets shall be screened from public view with a minimum 5' deep planting buffer with vegetation appropriate to the surrounding area.
- r. All slopes over 3' in vertical height associated with single family residential pad construction shall be planted and irrigated per Notes on Sheet L-3 of the Conceptual Landscape Plan.
- s. All exterior slopes within HOA Lots, D, E J, K, Y, EE, and WW, and those created during road construction of Streets A, B, and improvements to West Lilac Road shall be planted to address the visual impacts to surrounding properties and as seen from public streets view. Container stock shall be upsized one industry standard container size from that required by Section 87.418 of the Grading Ordinance and densities shall be increased by decreasing the 10' on center spacing identified in Section 87.418. Coordinate with Landscape Note 16 on Sheet L-2 of the Conceptual Landscape Plan. Densities shall be compliant with the Projects' Fire Protection Plan.
- t. Planting of County maintained storm water basins shall be compliant with County Flood Control requirements.

- u. All street trees shall be planted from a minimum 24" boxed container and located per Landscape Notes 8 and 9 on Sheet L-2 of the Conceptual Landscape Plan, and at quantities identified in the Tree Planting Summary on Sheet L-1.
- v. Brush management zones shall be shown on all landscape plans with notes, dimensions, and maintenance responsibilities as per Sheet L-2 of the Conceptual Landscape Plan.
- w. Model home landscape plans shall include the location of two trees for each model home to demonstrate compliance with Measure A-2.1 (Increase Residential Tree Planting) and the location of rain barrels to further educate the public on the capture, storage, and re-use of rainwater incentives of Measure W-2.1 (Increase Rain Barrel Installations) of the Climate Action Plan. Rain barrels shall not be connected to the house plumbing.
- x. A Fencing and Wall plan shall be prepared for each applicable Landscape Documentation Package submitted per Sheet's L-9 and L-10 of the Conceptual Landscape Plan, dated June 13, 2019 and submitted on September 6, 2019, and the Conceptual Landscape Plan for the Equestrian Center Entry Gates, dated June 27, 2019, and submitted on August 5, 2019.
- y. Private Park landscaping shall be compliant with Sheet L-7 of the Conceptual Landscape Plan and tree quantities shown on the Tree Planting Summary on Sheet L-1.
- z. Public Park landscape plans shall be submitted to both Planning & Development Services for compliance with the Water Conservation in Landscaping Ordinance, and to the Department of Parks and Recreation for compliance with the Park Lands Dedication Ordinance and Park Design Manual. Planting plans shall not contain any high maintenance species that drop a lot of leaves or fruit in areas of high pedestrian traffic, within parking areas, and within handicap ramps. Tree species with known surface roots shall also be restricted from areas of public use. Plans shall be compliant with Sheet L-7 of the Conceptual Landscape Plan, and tree quantities shown on the Tree Planting Summary on Sheet L-1.
- aa. All trails shall be shown on each applicable Landscape Documentation Package and shall be consistent with locations and landscape street sections shown on the Conceptual Landscape Plans, dated June 13, 2019 and submitted on September 6, 2019.
- bb. Sight line distances shall be shown on all applicable Landscape Plans per Section 86.709 (c) (9) and 86.710 (a) (3) of the Water Conservation in Landscaping Ordinance. Maintenance notes and frequency of maintenance

activities shall be shown on the plans and accounted for on the Certificate of Completion as required by Section 86.727 of the Ordinance.

cc. Landscape Documentation Package plans associated with building permit applications for the Hillside Estate lot and those Estate lots within Planning Area 3 shall be compliant with the Wall and Fence Plan on Sheet L-9 of the Conceptual Landscape Plan and all requirements of the Fire Protection Plan for defensible space. Lots within Planning Area 3 shall establish tree planting per the Tree Planting Summary on Sheet L-1.

dd. All applicable Landscape Documentation Package plans shall be compliant with the County's Parking Design Manual in establishing shade, screening, wheel stops, and filtering storm water runoff.

DOCUMENTATION: The applicant shall prepare the Landscape Plans using the [Landscape Documentation Package Checklist](#) (PDS Form #404), submit them to the [PDS, PCC], and pay all applicable review fees. **TIMING:** Prior to the approval of the final map and prior to the approval of any plan and issuance of any permit, the Landscape Plans shall be prepared and approved. **MONITORING:** The [PDS, LA] and [DPR, TC, PP] shall review the Landscape Plans for compliance with this condition.

30. ROADS#1–RELINQUISH ACCESS

INTENT: In order to promote orderly development and to comply with the [Mobility Element of the General Plan](#), access shall be relinquished. **DESCRIPTION OF REQUIREMENT:** Relinquish access rights along the project frontage of West Lilac Road (SC 270). Five (5) openings on West Lilac Road are allowed, **Street A West, Street A East**, access for Lot DD (Proposed Trail Easement and Water/Utility Easement west of Sullivan Middle School, access for the Hillside Estate Parcel east of Sullivan Middle School, access for the remainder parcel adjoining Sullivan Middle School, access to Lot UU for drainage basin maintenance, and existing Rainbow Municipal Water District easement westerly of Street A West. The access relinquishment shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required. **DOCUMENTATION:** The applicant shall prepare the pages of the Final Map and present them for review to [PDS, LDR]. Upon plotting of the relinquishment of access, the applicant shall provide copies of the documents to [DGS, RP] for review. **TIMING:** Prior to or concurrently with the approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) the access shall be relinquished. **MONITORING:** The [PDS, LDR] shall prepare and process the relinquishment of access with the Final Map and forward a copy of the recorded documents to [DGS, RP] for review and approval.

31. ROADS#2–OFFSITE PUBLIC ROAD IMPROVEMENT

INTENT: In order to promote orderly development and to comply with the County [Subdivision Ordinance Sec. 81.404](#) and the Community Trails Master Plan, the below listed roads shall be improved. **DESCRIPTION OF REQUIREMENT:**

Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map):

- a. Prior to approval of the first Final Map, improve or agree to improve and provide security for off-site **West Lilac Road (SC 270) / Camino Del Rey intersection**. Provide additional width to accommodate a right-turn lane from southbound West Lilac Road onto westbound Camino Del Rey. Provide roadway Transitions to the existing roads. All of the above shall be to the satisfaction of the Director of Public Works.
- b. Prior to approval of the first Final Map, improve or agree to improve and provide security for traffic signalization facilities and provide associated intersectional improvements for **Old Highway 395 / West Lilac Road (SC 270) intersection**, in accordance with the TIS, dated September 2019, and prepared by LSA.
- c. Prior to approval of the first Final Map, improve or agree to improve and provide security for an all-way stop controlled intersection facility for **Lilac Road / Old Castle Road**, in accordance with the TIS, dated September 2019, and prepared by LSA.
- d. Prior to approval of the first Final Map, improve or agree to improve and provide security for **Street 'A' (east) / West Lilac Road (SC 270)**, and **Street 'A' (west) / West Lilac Road (SC 270) intersections** in accordance with the TIS, dated September 2019; and prepared by LSA to provide associated left-turn pockets with minimum storage lengths of two hundred feet (200') and minimum transition taper lengths of one hundred twenty feet (120') at both project intersections with **West Lilac Road (SC 270)**.
- e. Prior to approval of the first Final Map, improve or agree to improve and provide security for **West Lilac Road (SC 270)**, from STA. 50+00 to STA. 83+90, in accordance with Public Road Standards for a modified 2.2E Light Collector with a Class II Bike Lane to a minimum graded half-width of thirty-three feet (33') with seventeen feet (17') of asphalt concrete pavement over approved base, with asphalt concrete Type E dike with face of dike at seventeen feet (17') from centerline with a fifteen foot (15') wide parkway containing a ten foot (10') wide disintegrated granite (DG) pathway on the north side, to the satisfaction of the Director of Public Works.
- f. Prior to approval of the first Final Map, improve or agree to improve and provide security for **West Lilac Road (SC 270)**, from STA. 83+90 to STA. 93+80, in accordance with Public Road Standards for a modified 2.2E Light Collector with

a Class II Bike Lane to a minimum graded half-width of thirty-three (33') to thirty-nine feet (39') with seventeen feet (17') of asphalt concrete pavement over approved base, with asphalt concrete Type E dike with face of dike at seventeen feet (17') from centerline with a seven foot (7') to fifteen foot (15') wide disintegrated granite (DG) shoulder on the north side, to the satisfaction of the Director of Public Works.

- g. Prior to approval of the first Final Map, improve or agree to improve and provide security for **West Lilac Road (SC 270)**, from the east end of Sullivan Middle School property to the easterly project boundary, in accordance with Public Road Standards for a modified 2.2E Light Collector with a Class II Bike Lane to a minimum graded half-width of thirty-two feet (32') with twenty feet (20') of asphalt concrete pavement over approved base, PCC G-2 curb and gutter with face of curb at twenty feet (20') from centerline with a twelve foot (12') wide parkway containing a five foot (5') wide contiguous PCC sidewalk on the north side, to the satisfaction of the Director of Public Works.
- h. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve and provide security for **Dulin Road (public)**, to add a traffic calming feature such as a raised or elevated marked cross walk wide enough to accommodate golf carts that are used by the Rancho Monserate community including solar powered Light Emitting Diode (LED) flashing signals with pedestrian activated push buttons, to the satisfaction of the Directors of Public Works and PDS, the North County Fire Protection District, and the County Fire Authority.

All plans and improvements shall be completed pursuant to the [County of San Diego Public Road Standards](#), the [Land Development Improvement Plan Checking Manual](#) and the Community Trails Master Plan. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities.

DOCUMENTATION: The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve the intersections at **West Lilac Road (SC 270) / Camino Del Rey intersection, Old Highway 395 / West Lilac Road (SC 270) intersection, and Lilac Road / Old Castle Road intersection,**
- b. Process and obtain approval of Improvement Plans to improve **West Lilac Road (SC 270),**
- c. Obtain approval for the design and construction of all driveways, turnarounds, and private easement road improvements to the satisfaction of the North County Fire Protection District and the [PDS, LDR].

- d. Provide Secured agreements require posting security in accordance with [Subdivision Ordinance Sec. 81.408.](#)
- e. Upon approval of the plans, pay all applicable inspection fees with [PDS, PDCI].
- f. If the applicant is a representative, then a one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the approval of the Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

32. ROADS#3–MAJOR ONSITE PUBLIC ROAD & TRAIL IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the [Subdivision Ordinance Sec. 81.404](#) and the Community Trails Master Plan, the below listed roads shall be improved. **DESCRIPTION OF REQUIREMENT:**

- a. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve and provide security for **Street A**, from the STA. 8+00 (West Lilac Road intersection) to STA. 21+90, in accordance with Public Road Standards for a Residential Collector Road to a graded width of seventy feet (70') with forty feet (40') of asphalt concrete pavement over approved base, PCC curb and gutter with face of curb at twenty feet (20') from centerline with a ten foot (10') wide parkway on the west side and a twenty foot (20') wide parkway on the east side containing an eight foot (8') wide buffer zone, an eight foot (8') wide non-contiguous disintegrated granite (DG) pathway and a four foot (4') wide buffer zone, to the satisfaction of the Director of Public Works.
- b. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve and provide security for **Street A**, from the STA. 21+90 to STA. 29+20 and STA 35+70 to 56+60, in accordance with Public Road Standards for a Residential Collector Road to a graded width of seventy feet (70') with forty feet (40') of asphalt concrete pavement over approved base, PCC curb and gutter with face of curb at twenty feet (20') from centerline with a twenty foot (20') wide parkway on the west / north side containing a ten foot (10') wide buffer zone adjacent to curb and an eight foot (8') wide non-contiguous meandering DG pathway and a two foot (2') wide buffer zone, and a ten foot (10') wide parkway on the east / south side containing a five foot (5') wide buffer zone and a five

foot (5') wide non-contiguous PCC sidewalk. Improvements include transitions and intersection improvements to the existing Equestrian Facility Access Road to provide connectivity. All of the above to the satisfaction of the Director of Public Works.

- c. Prior to approval of the first Final Map, improve or agree to improve and provide security for **Street A** (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), from the STA. 29+20 to STA. 35+70 (northeast of Street E intersection), in accordance with Public Road Standards for a Residential Collector Road to a graded width of sixty-two feet (62') with forty feet (40') width of asphalt concrete pavement over approved base, PCC curb and gutter with face of curb at twenty feet (20') from centerline with a twelve foot (12') wide parkway on the north side containing a two foot (2') wide buffer zone, an eight foot (8'), wide non-contiguous meandering DG pathway and a two foot (2') wide buffer zone adjacent to curb, and a ten foot (10') wide parkway on the south side containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk. All the above shall be to the satisfaction of the Director of Public Works.
- d. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve and provide security for **Street A**, from the STA. 56+60 to STA. 68+20 (Street B intersection), in accordance with Public Road Standards for a Residential Collector Road to a graded width of seventy feet (70') with forty feet (40') width of asphalt concrete pavement over approved base, PCC curb and gutter with face of curb at twenty feet (20') from centerline with a ten foot (10') wide parkway on the west side, and a twenty foot (20') wide parkway on the east side containing a ten foot (10') wide buffer zone adjacent to curb, an eight foot (8') wide non-contiguous meandering DG pathway and a two foot (2') wide buffer zone. All of the above shall be to the satisfaction of the Director of Public Works.
- e. Prior to approval of the first Final Map, improve or agree to improve and provide security for **Street A** (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), from the STA. 68+20 to STA. 81+78 (West Lilac Road intersection), in accordance with Public Road Standards for a Residential Collector Road to a graded width of seventy feet (70') with forty feet (40') width of asphalt concrete pavement over approved base, PCC curb and gutter with face of curb at twenty feet (20') from centerline with a ten foot (10') wide parkway on the west side, and a twenty foot (20') wide parkway on the east side containing a seven foot (7') wide buffer zone adjacent to curb, an eight foot (8') wide non-contiguous DG pathway and a five foot (5') wide buffer zone, to the satisfaction of the Director of Public Works.
- f. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to

improve and provide security for **Street B** from STA. 10+00 (north Street A intersection) easterly to STA. 21+10 (north Street L intersection) in accordance with Public Road Standards for a Residential Collector Road, to a graded width of sixty-two (62') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb and gutter, with face of curb at eighteen feet (18') from centerline with a sixteen foot (16') wide parkway on the south side containing a six foot (6') wide buffer zone adjacent to curb, a five foot (5') wide non-contiguous PCC sidewalk and a five foot (5') buffer zone, and a ten foot (10') wide parkway on the north side containing a four foot (4') wide buffer zone and a six foot (6') wide non-contiguous DG pathway, to the satisfaction of the Director of Public Works.

- g. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve and provide security for **Street B** from STA. 21+10 (north Street L intersection) easterly thence southeasterly to STA. 38+00 (Dulin Road intersection) in accordance with Public Road Standards for a Residential Collector Road, to a graded width of sixty-two (62') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb and gutter, with face of curb at eighteen feet (18') from centerline with a sixteen foot (16') wide parkway on the south side containing a six foot (6') wide buffer zone adjacent to curb, a five foot (5') wide non-contiguous PCC sidewalk and a five foot (5') buffer zone, and a ten foot (10') wide parkway on the north side containing a four foot (4') wide buffer zone and a six foot (6') wide non-contiguous DG pathway, to the satisfaction of the Director of Public Works.
- h. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) , improve or agree to improve and provide security for **Street B** from STA. 38+00 (Dulin Road intersection) southwesterly thence westerly to STA. 54+50 (south Street L intersection) in accordance with Public Road Standards for a Residential Collector Road, to a graded width of sixty-two (62') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb and gutter, with face of curb at eighteen feet (18') from centerline with a sixteen foot (16') wide parkway on the north side containing a six foot (6') wide buffer zone adjacent to curb, a five foot (5') wide non-contiguous PCC sidewalk and a five foot (5') wide buffer zone, and a ten foot (10') wide parkway on the south side containing a four foot (4') wide buffer zone and a six foot (6') wide non-contiguous DG pathway, to the satisfaction of the Director of Public Works.
- i. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) , improve or agree to improve and provide security for **Street B** from STA. 54+50 (south Street L intersection) westerly to 62+80 (south Street A intersection) in accordance with Public Road Standards for a Residential Collector Road, to a graded width of sixty-two (62') with thirty-six feet (36') width of asphalt concrete pavement over

- approved base, PCC curb and gutter, with face of curb at eighteen feet (18') from centerline with a sixteen foot (16') wide parkway on the north side containing a six foot (6') wide buffer zone adjacent to curb, a five foot (5') wide non-contiguous PCC sidewalk and a five foot (5') wide buffer zone, and a ten foot (10') wide parkway on the south side containing a four foot (4') wide buffer zone and a six foot (6') wide non-contiguous DG pathway, to the satisfaction of the Director of Public Works.
- j. Where height of fill bank for a 2:1 slope is greater than twelve feet (12'); or where height of fill bank for a 1.5:1 slope is greater than ten feet (10'), guardrail shall be installed per CALTRANS standards to the satisfaction of the Director of Public Works.
 - k. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing.

All plans and improvements shall be completed pursuant to the [County of San Diego Public Road Standards](#), the [Land Development Improvement Plan Checking Manual](#) and the Community Trails Master Plan. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities.

DOCUMENTATION: The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans for **Streets A** and **B**, and **portions of West Lilac Road**.
- b. Obtain approval for the design and construction of all driveways, turnarounds, and private easement road improvements to the satisfaction of the North County Fire Protection District and the [PDS, LDR].
- c. Provide Secured agreements require posting security in accordance with [Subdivision Ordinance Sec. 81.408](#).
- d. Upon approval of the plans, pay all applicable inspection fees with [PDS, PDC].
- e. If the applicant is a representative, then a one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the approval of the Final Map the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement

agreements. The securities and improvement agreements shall be approved by the Director of PDS.

33. ROADS#4–ROAD DEDICATION (ONSITE ONLY)

INTENT: In order to promote orderly development and to comply with the [Subdivision Ordinance Sec. 81.402](#) and County of San Diego Public Road Standards, road right-of-way shall be dedicated to the County. **DESCRIPTION OF REQUIREMENT:**

- a. Dedicate with the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) to the County of San Diego an easement for road purposes that provides a minimum half right-of-way width of thirty-seven feet (37') along the project frontage of **West Lilac Hills Road** in accordance with [County of San Diego Public Road Standards](#) and the Community Trails Master Plan for a 2.2E Light Collector with a Class II bike lane and pathway together with right to construct and maintain slopes and drainage facilities to the satisfaction of the Director of PDS and the Director of DPW.
- b. Dedicate with the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) to the County of San Diego an easement for road purposes that provides a minimum right-of-way width of seventy feet (70') along **Street A** from STA. 8+00 to STA. 29+20 and STA. 35+70 to STA. 68+20 in accordance with [County of San Diego Public Road Standards](#) and the Community Trails Master Plan for a Residential Collector and pathway, as shown on the approved Tentative Map, together with right to construct and maintain slopes and drainage facilities to the satisfaction of the Director of PDS and the Director of DPW.
- c. Dedicate with the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) to the County of San Diego an easement for road purposes that provides a minimum right-of-way width sixty-two feet (62') along **Street A** from STA. 29+20 to STA. 35+70 in accordance with [County of San Diego Public Road Standards](#), and the Community Trails Master Plan for a Residential Collector together with right to construct and maintain slopes and drainage facilities to the satisfaction of the Director of PDS and the Director of DPW.
- d. Dedicate with the Final Map to the County of San Diego an easement for road purposes that provides a minimum right-of-way width fifty-six feet (56') along **Streets G, J, L and M** and a portion of **Streets C, D and E**, in accordance with [County of San Diego Public Road Standards](#), and the Community Trails Master Plan for a Residential Road together with right to construct and maintain slopes and drainage facilities, to the satisfaction of the Director of PDS and the Director of DPW.

- e. Dedicate on the Final Map to the County of San Diego an easement for road purposes that provides a minimum right of way width fifty-two feet (52') along **Streets F, H, I, K, N** and **O** and a portion of **Streets C, D** and **E**, in accordance with [County of San Diego Public Road Standards](#), and the Community Trails Master Plan for a Residential Cul-De-Sac together with right to construct and maintain slopes and drainage facilities to the satisfaction of the Director of PDS and the Director of DPW.
- f. Dedicate on-site and cause to be granted off-site all easements associated with the streets to be improved per the requirements above.
- g. With the recordation of the Final Map(s), dedicate corner roundings, cul-de-sacs and street knuckles as indicated in conditions, to the satisfaction of the Director of PDS and Director of DPW.

The dedications shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required and shall be accepted for public use. The affected utility company/district shall enter into a joint use agreement with the County of San Diego to the satisfaction of the County of San Diego, Director of Planning and Development Services. **DOCUMENTATION:** The applicant shall dedicate the easement(s) on the Final Map(s) and show it/them as accepted. **TIMING:** Prior to the approval of the Final Map the onsite dedication shall be provided for roads with the recordation of the Final Map. **MONITORING:** The [PDS, LDR] shall verify that the dedication is indicated on the Final Map and accepted by the County.

34. ROADS#5--PRIVATE ROAD MAINTENANCE AGREEMENT

INTENT: In order to ensure that the private roads approved with this subdivision are maintained, in accordance with Subdivision Ordinance Section 81.402(c), the applicant shall assume responsibility of the private roads. **DESCRIPTION OF REQUIREMENT:** A maintenance agreement shall be executed that indicates the following:

- a. Maintenance shall be provided through a private road maintenance agreement satisfactory to the Director of PDS.
- b. The Director of PDS shall be notified as to the final disposition of title (ownership) to **Interim Evacuation Route, Dulin Road** and **Street P** and place a note on the Final Map as to the final title status of said roads.
- c. Access to each lot shall be provided by private road easement not less than forty feet (40') wide.

DOCUMENTATION: The applicant shall sign the private road maintenance agreement to the satisfaction of the Director of PDS and indicate the ownership on the Final Map as indicated above. **TIMING:** Prior to the approval of the Final Map for the agreement shall be executed and the ownership shall be indicated on the

Final Map. **MONITORING:** The [PDS, LDR] shall review the executed agreement and the Final Map for compliance with this condition.

35. ROADS#6–PRIVATE ROAD EASEMENT

INTENT: In order to promote orderly development and to comply with the [County Subdivision Ordinance Section 81.702](#) the easement(s) shall be provided.

DESCRIPTION OF REQUIREMENT:

- a. The Final Map shall show twenty-foot (20') radius returns at the intersection of the road easements on-site.
- b. The Final Map shall show a minimum forty-foot (40') wide private road easement along *Interim Secondary Access Road, Dulin Road* and *Street P*.
- c. The private road easement language shall include: "In the event vehicle access gates cease operating correctly, non-operable vehicle access gates must remain in the open position until the repairs can be corrected".

DOCUMENTATION: The applicant shall show the easement on the Final Map.

TIMING: Prior to approval of the Final Map, the easement shall be indicated on the Final Map. **MONITORING:** The [PDS, LDR] shall review the Final Map to ensure that the fire turnout easement is indicated pursuant to this condition.

36. ROADS#7–CENTERLINE LOCATION

INTENT: In order to promote orderly development and to comply with the [Subdivision Ordinance Sec. 81.402](#), the centerline *West Lilac Road (SC 270)* shall be shown on the subdivision map. **DESCRIPTION OF REQUIREMENT:** The desired location of the centerline for roads shall be determined, which is classified as a 2.2E Light Collector. The following shall be shown on the Final Map:

- a. The centerline locations as approved by the Department of Planning and Development Services.
- b. The following shall be shown on the Final Map as "nontitle" information:
 1. The width of the right-of-way on *West Lilac Road (SC 270)* which varies from thirty-two feet (32') to forty-one feet (41') from the centerline and identified by a line drawn at the appropriate location and labeled, "Limit of Proposed Street Widening."
 2. A building line, per Ordinance, from the centerline of each road, identified by a line drawn at the appropriate location and labeled, "Limit of Building Line."

3. Show the ultimate slopes and drainage facilities on the Final Map. A profile and cross-sections sufficient to verify these limits shall be submitted to the County of San Diego Department of Planning and Development Services for review and approval.

DOCUMENTATION: The applicant shall indicate the centerlines on the Final Map as indicated above. **TIMING:** Prior to the approval of the Final Map the centerlines shall be indicated on the Final Map. **MONITORING:** The [PDS, LDR] shall verify that the centerlines are indicated on the Final Map.

37. ROADS#8–SIGHT DISTANCE

INTENT: In order to comply with the Design Standards of Section 6.1, Table 5, of the [County of San Diego Public Road Standards](#), an unobstructed view for safety while exiting the property and accessing a public road from the site, and unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:** Have a Registered Civil Engineer or a Licensed Land Surveyor provide the following certified signed statement:

"I, _____ (C ____ or LS ____) certify that there is _____ feet of unobstructed intersectional sight distance looking both directions from **Street A** along West Lilac Road (SC 270) at the intersection of Camino Del Cielo measured in accordance with the methodology described in Section 6.1.E Table 5 of the March 2012 County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of _____ as described in Table 5 based on a speed of _____, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification.

"I, _____ (C ____ or LS ____) certify that there is _____ feet of unobstructed intersectional sight distance looking both directions from **Street A** along West Lilac Road (SC270) at Parcel 27 per ROS 3834 measured in accordance with the methodology described in Table 5 of the March 2012 County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of _____ as described in Section 6.1.E Table 5 based on a speed of _____, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification.

I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."

DOCUMENTATION: The applicant shall complete the certifications and submit them to the [PDS, LDR] for review. **TIMING:** Prior to the approval of the Final Map the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight distance certifications.

38. ROADS#9—MINOR ONSITE PUBLIC ROAD IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the [Subdivision Ordinance Sec. 81.404](#) and the Community Trails Master Plan, the below listed roads shall be improved. **DESCRIPTION OF REQUIREMENT:**

Prior to approval of the Final Map for Planning Area 1 (“Phases 1 & 2”):

- a. Improve or agree to improve and provide security for **Streets L and M** in accordance with Public Road Standards for a Residential Road to a graded width of fifty-six (56') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at eighteen feet (18') from centerline, with a ten foot (10') wide parkway containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- b. Improve or agree to improve and provide security for **Streets K, N, and O** in accordance with Public Road Standards for a Residential Cul-De-Sac Road, to a graded half-width of fifty-two feet (52') with thirty-two feet (32') of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at sixteen feet (16') from centerline with a ten foot (10') wide parkway containing a five foot (5') wide buffer zone and five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- c. Improve or agree to improve and provide security for trails, of minimum width of six feet (6') with disintegrated granite as follows: (1) from the Street B / Dulin Road intersection first southwesterly approximately 350 feet, then northeasterly approximately 300 feet; (2) thence southeasterly roughly 2,600 feet until reaching the paved asphalt road which exists along the southerly property line of proposed Lot DD, (3) from terminus of existing asphalt paved road near West Lilac Road, southeasterly approximately 100 feet to West Lilac Road; (4) thence improve a five foot (5') wide disintegrated granite pathway or PCC concrete sidewalk 120 feet east to connect to the Sullivan Middle School sidewalk. In addition to the afore-mentioned trail improvements, a gate must be installed at both the westernmost and easternmost ends of this trail, to provide permanently open pedestrian access to the trail, while also providing limited vehicular access to parties requiring vehicular access.

Prior to approval of the Final Map for Planning Area 2 (Phases 3 & 4):

- a. Improve or agree to improve and provide security for **Street C** from the Tee intersection with Street J, westerly to the terminus cul-de-sac at Lot 252 and Lot 253, in accordance with Public Road Standards for a Residential Road to a graded width of fifty-six feet (56') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at eighteen feet (18') from centerline with a ten foot (10') wide

parkway, containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.

- b. Improve or agree to improve and provide security for **Street D** from the Tee intersection with Street I, westerly to the terminus cul-de-sac at Lot 318, in accordance with Public Road Standards for a Residential Road to a graded width of fifty-six feet (56') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at eighteen feet (18') from centerline with a ten foot (10') wide parkway, containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- c. Improve or agree to improve and provide security for **Street E** from the Tee intersection with Street A, southerly to the intersection with Street D, in accordance with Public Road Standards for a Residential Road to a graded width of fifty-six (56') feet with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at eighteen feet (18') from centerline with a ten foot (10') wide parkway, containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- d. Improve or agree to improve and provide security for **Street G** from the Tee intersection with Street A, southerly to the Tee intersection with Street C, in accordance with Public Road Standards for a Residential Road to a graded width of fifty-six feet (56') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at eighteen feet (18') from centerline with a ten foot (10') wide parkway, containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- e. Improve or agree to improve and provide security for **Street I** from the Tee intersection with Street C, southerly to the Tee intersection with Street D, in accordance with Public Road Standards for a Residential Road to a graded width of fifty-six feet (56') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at eighteen feet (18') from centerline with a ten foot (10') wide parkway, containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- f. Improve or agree to improve and provide security for **Street J** from the intersection with Street A, southerly to the Tee intersection with Street C, in

accordance with Public Road Standards for a Residential Road to a graded width of fifty-six feet (56') with thirty-six feet (36') width of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at eighteen feet (18') from centerline with a ten foot (10') wide parkway, containing a five foot (5') wide buffer zone and a five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.

- g. Improve or agree to improve and provide security for **Street C** from the Tee intersection with Street J, southerly to the terminus cul-de-sac at Lot 200 and Lot 201, in accordance with Public Road Standards for a Residential Cul-de-sac Road to a graded half-width of fifty-two feet (52') with thirty-two feet (32') of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at sixteen feet (16') from centerline with a ten foot (10') wide parkway containing a five foot (5') wide buffer zone and five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- h. Improve or agree to improve and provide security for **Street E** from the Tee intersection with Street D, southerly to the terminus cul-de-sac at Lot 329 and Lot 330, in accordance with Public Road Standards for a Residential Cul-de-sac Road to a graded half-width of fifty-two feet (52') with thirty-two feet (32') of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at sixteen feet (16') from centerline with a ten foot (10') wide parkway containing a five foot (5') wide buffer zone and five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- i. Improve or agree to improve and provide security for **Street F** from the Tee intersection with Street D, southerly to the terminus cul-de-sac at Lot 342 and Lot 343, in accordance with Public Road Standards for a Residential Cul-de-sac Road to a graded half-width of fifty-two feet (52') with thirty-two feet (32') of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at sixteen feet (16') from centerline with a ten foot (10') wide parkway containing a five foot (5') wide buffer zone and five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- j. Improve or agree to improve and provide security for **Street H** from the Tee intersection with Street D, southerly to the terminus cul-de-sac at Lot 359 and Lot 360, in accordance with Public Road Standards for a Residential Cul-de-sac Road to a graded half-width of fifty-two feet (52') with thirty-two feet (32') of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at sixteen feet (16') from centerline with a ten foot (10') wide parkway containing a five foot (5') wide buffer zone and five foot (5')

wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.

- k. Improve or agree to improve and provide security for **Street I** from the Tee intersection with Street D, southerly to the terminus cul-de-sac at Lot 372 and Lot 373, in accordance with Public Road Standards for a Residential Cul-de-sac Road to a graded half-width of fifty-two feet (52') with thirty-two feet (32') of asphalt concrete pavement over approved base, PCC curb, gutter and sidewalk, with face of curb at sixteen feet (16') from centerline with a ten foot (10') wide parkway containing a five foot (5') wide buffer zone and five foot (5') wide non-contiguous PCC sidewalk on both sides of the street, to the satisfaction of the Director of Public Works.
- l. Improve or agree to improve and provide security for **all road terminus cul-de-sacs** with a cul-de-sac graded to a radius of fifty-two feet (52') and improved to a radius of forty-two feet (42'), with asphalt concrete pavement over approved base, with Portland cement concrete curb, gutter and sidewalk, with face of curb at forty-two feet (42') from the center point. For those segments along those cul-de-sacs indicated where pathway is required instead of sidewalk, the sidewalk shall join the pathway.

Timing: Prior to the approval of the Final Maps within which said roads are shown on the TM 5615, the applicant shall improve or agree to improve the trail/pathways.

Monitoring: The [DPR, Trails Coordinator] and/or [DPW, LDR] shall review the plans for conformance with the [Community Trails Master Plan Design and Construction Guidelines](#), [County of San Diego Public Road Standards](#) and approve all financial securities for the construction of the trail/pathway facility.

- a. Where height of fill bank for a 2:1 slope is greater than twelve feet (12'); or where height of fill bank for a 1.5:1 slope is greater than ten feet (10'), guardrail shall be installed per CALTRANS standards to the satisfaction of the Director of Public Works.
- b. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing.

All plans and improvements shall be completed pursuant to the [County of San Diego Public Road Standards](#), the [Land Development Improvement Plan Checking Manual](#) and the Community Trails Master Plan. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities.

DOCUMENTATION: The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve the intersections at **West Lilac Road (SC 270) / Camino Del Rey intersection, Old Highway 395 / West Lilac Road (SC 270) intersection, and Lilac Road / Old Castle Road intersection, .**
- b. Process and obtain approval of Improvement Plans to improve **West Lilac Road (SC 270), Streets A, B, C, D, E, F, G, H, I, J, K, L, M, N and O.**
- c. Obtain approval for the design and construction of all driveways, turnarounds, and private easement road improvements to the satisfaction of the North County Fire Protection District and the [PDS, LDR].
- d. Provide Secured agreements require posting security in accordance with [Subdivision Ordinance Sec. 81.408.](#)
- e. Upon approval of the plans, pay all applicable inspection fees with [PDS, PDCI].
- f. If the applicant is a representative, then a one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the approval of the Final Map the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

39. ROADS#10–PRIVATE ROAD IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the [Subdivision Ordinance Sec. 81.404](#), the private roads shall be improved as described below, to the satisfaction of the North County Fire Protection District and the Director of PDS. **DESCRIPTION OF REQUIREMENT:**

- a. For the private easement road known as **Dulin Road** the following requirements (b) through (e) shall apply:
- b. The improvement and design standards of Section 3.1(C) of the County Standards for Private Roads for seven hundred fifty-one (751) to twenty-five hundred (2,500) trips per day shall apply to the road geometrics.
- c. Applicant shall improve, or agree to improve and provide security for **Dulin Road**, from STA 93+50 (located at the westerly boundary of Planning Area 3) to STA 193+80 (located at eastern boundary of the Ocean Breeze Ranch project) connecting to the existing public **Dulin Road** located within the Rancho

Monserate Country Club as shown on the approved Tentative Map, to the satisfaction of the Director of PDS and the North County Fire Protection District.

- d. Individual segments of **Dulin Road** shall be constructed to the following standards:
1. From STA. 93+50 to STA. 94+90 and from the proposed turnaround to STA. 95+20, to a graded width of fifty-six feet (56'), with thirty-six feet (36') width of asphalt concrete pavement over approved base, with PCC curb and gutter, with face of curb at eighteen feet (18') from centerline with a ten foot (10') wide parkway containing a four foot (4') wide buffer zone and six foot (6') wide non-contiguous DG pathway on both sides of road.
 2. From STA. 95+20 to STA. 106+30 to a graded width of thirty-four feet (34'), with twenty-four feet (24') width of asphalt concrete pavement over approved base, with face of AC dike at twelve feet (12') from centerline with a six foot (6') wide parkway containing a one foot (1') wide buffer zone and five foot (5') wide non-contiguous DG pathway on the north side and a four foot (4') wide parkway on the south side of the road.
 3. From STA. 106+30 to STA. 155+60 with an easement transition from STA. 155+60 to 158+40 to a graded width of thirty-four feet (34'), with twenty-four feet (24') width of asphalt concrete pavement over approved base, with face of AC dike at twelve feet (12') from centerline with a six foot (6') wide parkway containing a one foot (1') wide buffer zone and five foot (5') wide non-contiguous DG pathway on the north side and a four foot (4') wide parkway on the south side of the road.
 4. From STA. 158+40 to STA. 165+70 to a graded width of twenty-six and one-half feet (26.5'), with twenty-four feet (24') width of asphalt concrete pavement over approved base, with face of AC dike at twelve feet (12') from centerline with a one and one-half foot (1.5') wide parkway buffer zone on the north side and a one foot (1') wide parkway buffer zone on the south side of the road.
 5. From STA. 165+70 to STA. 193+80 to a graded width of thirty-two feet (32') with twenty-four feet (24') width of asphalt concrete pavement over approved base, with face of AC dike at twelve feet (12') from centerline with a four foot (4') parkway buffer zone on both sides of the road.
- e. Prior to issuance of the First building permit, Ocean Breeze Ranch ("OBR") shall record covenants, conditions, and restrictions ("CC&Rs") containing the following:
1. Residents of Planning Area 3 ("PA-3") shall direct all daily, customary traffic associated with equestrians or large animal uses, into and out of PA-3 to the west. This shall include horse trailers, deliveries of equipment, services or

supplies associated with such large animal uses. Customary traffic associated with such uses shall be prohibited from PA-3 to the eastern terminus of Dulin Road.

2. PA-3 residents shall not be limited in the use of Dulin Road to the west or the east, for daily or customary access by homeowners and their guests.
 3. Residents of PA-3 may use Dulin Road in the event of emergencies, traveling either to the east or to the west, as circumstances may dictate.
- f. Within forty-five (45) days of approval by the County of the OBR project and expiration of any appeals periods, OBR shall record a restrictive covenant over the Equestrian Parcel containing the following:
1. The Equestrian Facility shall direct all daily, customary traffic associated with equestrian or large animal uses, into and out of the Equestrian Facility to the west. This shall include employees, horse trucks or trailers, and deliveries of equipment, services or supplies associated with horses or other large animal uses.
 2. The Equestrian Facility may only use Dulin Road traveling to the east in the event of emergencies, when circumstances dictate.
- g. Prior to approval of Improvement Plans, include drawing and design for Traffic Calming Crosswalk across Dulin Road within Rancho Monserate:
1. A raised, asphalt concrete crosswalk ("Crossing") shall be installed on Dulin Road at a location acceptable to the County of San Diego and the Rancho Monserate Homeowners' Association. The Crossing width shall accommodate persons in wheelchairs, walkers and golf carts, with any required person or animal assistance. Each side traversing Dulin Road shall be marked with bright, high visibility striping acceptable to the County of San Diego Department of Public Works. In addition, flashing lights shall be installed at the Crossing, to be activated by pedestrian pushbuttons installed on both sides of the Crossing.
- h. Prior to issuance of a building permit for the 51st Lot, improve the ***Interim Evacuation Route*** through the Equestrian Facility, from the Equestrian Facility Access Road entry Located on Street A, to the Equestrian Facility east entry at Dulin Road; this portion of the ***Interim Evacuation Route*** shall be built to a graded width of twenty-eight feet (28') with twenty-four feet (24') of soil-cement with a minimum structural section of twelve inches (12"), or as needed to support a fire apparatus and Fire Protection Plan revised July 11, 2019. In addition to other approvals required, this shall be to the satisfaction of the DPW Materials Lab.

- i. Prior to issuance of a building permit for the 51st Lot, improve **Dulin Road** from STA 142+00 to STA 193+80, to include all gate systems; road improvements must be completed and available for use as an emergency evacuation route, to the satisfaction of PDS and NCFPD.
- j. Prior to issuance of a building permit for the 101st Lot of Planning Area 1, or the First Lot of Planning Area 2, all segments of **Dulin Road** as described in sections (a) through (e) of ROADS#11, must be completed and fully operational, to the satisfaction of PDS and NCFPD.
- k. Improve or agree to improve and provide security for the private easement road **Street P**, to a graded width of twenty-eight feet (28') with twenty-four feet (24') width of asphalt concrete pavement over approved base, with face of AC dike at twelve feet (12') from centerline with a one and four foot (4') parkway buffer zone on the north and south sides of the street as shown on the approved Tentative Map. The improvement and design standards of Section 3.1(C) of the County Standards for Private Roads for one hundred (100) or less trips per day shall apply to the road geometrics, to the satisfaction of the North County Fire Protection District and the Director of Planning and Development Services (PDS).
- l. **Street P** shall terminate with a cul-de-sac graded to a minimum radius width of forty-four feet (44') and surfaced to a radius width of forty feet (40') with asphalt concrete pavement over approved base to the satisfaction of North County Fire Protection District and the Director of PDS.
- m. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing.

All plans and improvements shall be completed pursuant to the San Diego County Standards for Private Roads, and the Land Development Improvement Plan Checking Manual. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities. **DOCUMENTATION:** The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve Private Roads **Dulin Road** and **Street P**.
- b. Obtain approval for the design and construction of all driveways, turnarounds, and private easement road improvements to the satisfaction of the North County Fire Protection District and the [PDS, LDR].

- c. Provide Secured agreements require posting security in accordance with [Subdivision Ordinance Sec. 81.408.](#)
- d. Upon approval of the plans, pay all applicable inspection fees with [DPW, PDCI].
- e. If the applicant is a representative, then a one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the approval of the Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), or the respective Building Permits described above, the corresponding plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

- a. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing. The above shall be done to the satisfaction of the Director of Public Works.
- b. Install Guardrail where height of down sloping bank for a 2:1 slope is greater than twelve feet (12'); or where height of down sloping bank for a 1.5:1 slope is greater than ten feet (10'), guardrail to meet CALTRANS standards; if required by and to the satisfaction of the Director of Public Works.
- c. Improve or agree to improve and provide security for trails (and pathways) to the satisfaction of the Department of Parks and Recreation.
- d. Unless stated otherwise, improve roads or agree to improve and provide security for them with the approval of the unit the road is within, abuts, or provides access, to the satisfaction of the Director of Public Works.
- e. Improve or agree to improve and provide security for trails (and pathways), to the satisfaction of the Department of Parks and Recreation Director. With the Final Map, the subdivider **shall dedicate and improve pedestrian & equestrian trails** to the County of San Diego which implement trail alignments as approved and shown on TM 5615, to the satisfaction of the Director of Parks & Recreation. The Final Map(s) shall provide and describe County access for

- maintenance of the pedestrian & equestrian trail easement, to the satisfaction of the Director of Parks & Recreation.
- f. Traffic signs denoting equestrian crossings will be located along applicable roadways to promote safety. Equestrian paths will be provided along as shown on the approved TM.
 - g. Equestrian push buttons for crossing will be provided at signalized intersections.
 - h. Regional trails crossing roads will be designed to cross at or near a right angle.
 - i. Project trails will be aligned on existing paths, roads, and utility easements, and within otherwise disturbed areas to the extent feasible in order to minimize impacts to sensitive resources.
 - j. Trails will avoid fragile root areas of trees and shrubs, where feasible. Where trails cross natural terrain, width may be reduced to four feet for a short distance to protect sensitive resources.

TIMING: Prior to the approval of the Final Maps within which said trails are shown on the TM 5615, the applicant shall improve or agree to improve the trail/pathways. **MONITORING:** The [DPR, Trails Coordinator] and/or [DPW, LDR] shall review the plans for conformance with the [Community Trails Master Plan Design and Construction Guidelines](#), [County of San Diego Public Road Standards](#) and approve all financial securities for the construction of the trail/pathway facility.

40. ROADS#11–PAVEMENT CUT POLICY

INTENT: In order to prohibit trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surface, and to comply with County Policy RO-7 adjacent property owners shall be notified and solicited for their participation in the extension of utilities. **DESCRIPTION OF REQUIREMENT:** All adjacent property owners shall be notified who may be affected by this policy and are considering development of applicable properties, this includes requesting their participation in the extension of utilities to comply with this policy. No trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surface. **DOCUMENTATION:** The applicant shall sign a statement that they are aware of the County of San Diego Pavement Cut Policy and submit it to the [PDS, LDR] for review. **TIMING:** Prior to the approval improvement plans and the approval of the Final Map the letters shall be submitted for approval. **MONITORING:** The [PDS, LDR] shall review the signed letters.

41. ROADS#12–COUNTY WATER AUTHORITY (CWA) ENCROACHMENT PERMIT

INTENT: In order to ensure that improvements within the County Water Authority (CWA) public utility easement comply with the [County of San Diego Public Road Standards/](#) or [County of San Diego Private Road Standards,](#) and [The County Water Authority Standards and Requirements,](#) an encroachment permit from CWA shall be obtained and implemented. **DESCRIPTION OF REQUIREMENT:** A permit shall be obtained from CWA for the improvements to be made within any road crossing over a CWA facility. A copy of the permit and evidence from the issuing agency that all requirements of the permit have been met shall be submitted to the [PDS, LDR]. **DOCUMENTATION:** The applicant shall obtain the encroachment permit and provide a copy of the permit, proof of payment, and evidence that all the requirements of the permit have been met, to the [PDS, LDR]. The developer shall obtain an encroachment permit from CWA authorizing access onto *the public utility easement*. This will allow CWA to set conditions such as road improvements. The applicant should contact the CWA Permit Office at for additional details. **TIMING:** Prior to the approval of any plan, issuance of any County permit, and prior to occupancy or use of the premises in reliance of this permit, the encroachment permit shall be obtained. **MONITORING:** The [PDS, LDR] shall review the permit for compliance with this condition and the applicable improvement plans and implement any conditions of the permit in the County improvement plans.

42. TRAILS#1–TRAIL/PATHWAY IMPROVEMENTS

INTENT: In order to promote orderly development by providing a trail/pathway connection pursuant to the County of San Diego General Plan, [Community Master Trails Plan](#) and to comply with the [Subdivision Ordinance Section 81.403. through 81.406.1,](#) the applicant shall improve the designated pathway. **DESCRIPTION OF REQUIREMENT:**

- a. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve to the satisfaction of DPR and PDS a designated pathway to a width of eight feet (8') within the designated easement along **Street A** as indicated on the approved Tentative Map.
- b. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve to the satisfaction of DPR and PDS a designated pathway to a width of six feet (6') within the designated easement along **Street B** as indicated on the approved Tentative Map.
- c. Prior to approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), improve or agree to improve to the satisfaction of DPR and PDS a designated pathway to a width of eight feet (8') within the designated easement width of fifteen feet (15') from

the proposed development to Sullivan Middle School as indicated on the approved Tentative Map.

DOCUMENTATION: The applicant shall prepare improvement plans and provide securities for the construction of the trail/pathway and all associated work. All plans and improvements shall be completed pursuant to the [Community Trails Master Plan Design and Construction Guidelines](#), the [County of San Diego Public Road Standards](#), and the [Land Development Improvement Plan Checking Manual](#). The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities. The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve a ten foot (10') pathway within the designated easement along **Street A** as indicated on the approved Tentative Map.
- b. Process and obtain approval of Improvement Plans to improve a six foot (6') pathway within the designated easement along **Street B** as indicated on the approved Tentative Map.
- c. Process and obtain approval of Improvement Plans to improve an eight foot (8') pathway within the designated fifteen foot (15') wide easement from the development project to Sullivan Middle School as indicated on the approved Tentative Map.
- d. Provide Secured agreements require posting security in accordance with [Subdivision Ordinance Sec. 81.405 through 81.406.1](#).
- e. Upon approval of the plans, pay all applicable inspection fees with [DPW, PDCI] and [DPR, TC]

The plans shall be submitted to [DPR, TC] and [PDS, LDR], for review and approval. **TIMING:** Prior to the approval of the Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), the applicant shall improve the trail/pathway. **MONITORING:** The [DPR, TC] and [PDS, LDR] shall review the plans for conformance and approve all financial securities for the construction of the trail/pathway facility.

43. TRAILS#2–TRAIL EASEMENT/PATHWAY

INTENT In order to promote orderly development by providing a trail connection pursuant to the County of San Diego General Plan, Community Trails Master Plan and to comply with the County Subdivision Ordinance Sections 81.401 (n) and 81.402.u, the applicant shall dedicate public non-motorized multi-use trail easements and designate pathways. **DESCRIPTION OF REQUIREMENT:** The applicant shall offer to dedicate to the County of San Diego, all the non-motorized multi-use trail easements and designate pathways, as shown on the approved Tentative Map 5615. **DOCUMENTATION:** The applicant shall offer to dedicate to the County of San Diego on the Final Map all non-motorized, multiuse trail easements and on a separate "Non-Title Information" sheet of the Final Map show

all designated pathways. The Offer of Dedication shall be shown as accepted on the Final Map. **TIMING:** Prior to the approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map) for Tentative Map 5615, the applicant shall offer to dedicate the trail easements to the County and show the designated pathways on the Final Map. **MONITORING:** The [DGS, RP] (DPR, TC) shall ensure the trail easements are offered for dedication and designated pathways are indicated on the map.

44. DRNG#1—ONSITE & OFFSITE DRAINAGE IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the [Subdivision Ordinance Sec. 81.404](#) and to comply with the [County Flood Damage Prevention Ordinance 10091 \(Title 8, Division 11\)](#), [County Watershed Protection Ordinance \(WPO\) No. 10410](#), [County Code Section 67.801 et seq.](#), and the [County Resource Protection Ordinance \(RPO\) No. 9842](#), drainage improvements shall be completed. **DESCRIPTION OF REQUIREMENT:** Improve or agree to improve and provide security for drainage facilities and structures, Extended Detention Basins and Bioretention basins.

All drainage plan improvements shall be prepared and completed pursuant to the following ordinances and current standards: [San Diego County Hydraulic Design Manual](#), [San Diego County Hydrology Manual](#), [County of San Diego Grading Ordinance](#), [Zoning Ordinance Sections 5300 through 5500](#), [County Resource Protection Ordinance \(RPO\) No. 9842](#), [Community Trails Master Plan and Parkland Dedication Ordinance](#), and [County Flood Damage Protection Ordinance 10091 \(Title 8, Division 11\)](#), Low Impact Development (LID) and Hydromodification requirements and the [Land Development Improvement Plan Checking Manual](#).

The improvements shall be completed within 24 months from the recordation of Final Map pursuant to [Subdivision Ordinance Sec. 81.405](#). The execution of the agreements and acceptance of the securities shall be completed before the approval of any final map. **DOCUMENTATION:** The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve Extended Detention Basins and Bioretention basins.
- b. Provide Secured agreements require posting security in accordance with [Subdivision Ordinance Sec. 81.408](#).
- c. Pay all applicable inspection fees with [DPW, PDC].
- d. If the applicant is a representative, then a one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the approval of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] [DPR TC, PP] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

PLAN CONDITIONS NOTES: [DPW, PDS]. INTENT: In order to implement the required mitigation measures which are the basis for approval of this project pursuant to the County Subdivision Ordinance Section 81.303, the condition notes shall be implemented on the grading and improvement plans and made conditions of the permit issuance. **DESCRIPTION OF REQUIREMENT:** The Grading and Improvement Plans shall include the following condition notes and made conditions of the issuance of said permit(s):

- a. **NOTE:** Prior to construction, a Conditional Letter of Map Revision (CLOMR) is required to be processed through the County and FEMA for this project that would, upon construction, affect the hydrologic or hydraulic characteristics of a flooding source and thus result in the modification of the existing regulatory floodway, the effective Base Flood Elevations (BFEs), or the Special Flood Hazard Area (SFHA). The CLOMR does not revise an effective FEMA Flood Insurance Rate Map (FIRM), it indicates whether the project, if built as proposed, would be recognized by FEMA. A Letter of Map Revision (LOMR) issued by FEMA is required at record plan stage and is FEMA's modification to an effective FIRM.
- b. **NOTE:** Any existing unpermitted work in the floodplain would need to be demonstrated as having been in place prior to the original floodplain mapping, be permitted as part of this project or be restored to pre-floodplain mapping condition.
- c. **NOTE:** Changes to effective maps shall be made in writing by the County Flood Plan Administrator / Director of Public Works, official designated by County Chief Executive Officer (CEO).

45. DRNG#2–LINES OF INUNDATION

INTENT: In order to comply with [Grading Ordinance No. 10179, Section 87.803 \(38\)](#) and prevent future development in flood-prone areas the Lines of Inundation shall be shown on the map. **DESCRIPTION OF REQUIREMENT:** Lines of inundation to the limits of the 100–year flood along the watercourse, which flows through the property, shall be shown and labeled "Subject to Inundation By The 100–Year Flood" on the Final Map. Each parcel shall have a flood free building site to the satisfaction of the Director of PDS. If any of the parcels are found to be devoid of a buildable, flood free site for residential and commercial uses the subdivider shall take appropriate action so that each parcel does have a buildable

flood free site. This pertains to watersheds having area of one hundred (100) or more acres. **DOCUMENTATION:** The applicant shall indicate the lines of inundation on the non-title sheet of the Final Map as indicated above. **TIMING:** Prior to the approval of the Final Map, the inundation lines shall be indicated and labeled on the map. **MONITORING:** The [PDS, LDR] shall verify that the inundation lines have been indicated pursuant to this condition.

46. DRNG#3—LINES OF INUNDATION

INTENT: In order to prevent future development in flood-prone areas the Lines of Inundation shall be shown on the map. **DESCRIPTION OF REQUIREMENT:** Lines of inundation to the limits of the 100-year flood over the entire property shall be shown and labeled "Flood-Prone Area" on the Final Map.

- a. A Civil Engineer shall provide this information through an analysis performed as part of a drainage study.
- b. Each parcel shall have a flood-free building site. Since all parcels are found to be devoid of a buildable flood-free site for residential and commercial uses, the subdivider shall construct graded pads pursuant to an L-Grading Plan. Proposed pads shall be elevated above the one hundred-year inundation elevation as determined by the applicant's Civil Engineer and to the satisfaction of the Director of PDS.

DOCUMENTATION: A Civil Engineer shall provide the necessary hydrology and hydraulics to define the 100-year floodplain inundation limits and indicate the lines of inundation on the non-title sheet of the Final Map as indicated above. **TIMING:** Prior to the approval of the Final Map, the inundation lines shall be indicated and labeled on the map. **MONITORING:** The [PDS, LDR] shall verify that the inundation lines have been indicated pursuant to this condition.

47. DRNG#4—FLOODPLAIN COMPLIANCE

INTENT: As required by the Code of Federal Regulations (CFR) and to protect persons and property from harm in an area of special flood hazard in the unincorporated County by ensuring compliance with the more restrictive of the [Flood Damage Prevention Ordinance \(FDPO\), Section 811.101](#), et seq. of the [San Diego County Code, of Regulatory Ordinances \(County Code\)](#) or the [National Flood Insurance Program requirements set forth at 44 Code of Federal Regulations, \(CFR\) Section 60.1 et seq.](#) References to the 44 CFR Section 60.1 et seq. are for convenience only and are not intended to limit the applicability of other federal laws or regulations that comprise the National Flood Insurance Program. **DESCRIPTION OF REQUIREMENT:** The project site is located within A and X FEMA Flood Zones as indicated on FEMA Flood Insurance Rate Map (FIRM) map panels 06073C, 0490G, 0485G and 0495G, and County Floodplain Maps 4101707, 4141707, 4141713, and 4181713. Zones are required to be developed and used in accordance with restrictions set forth in the County's Flood Damage Prevention Ordinance for "special flood hazard areas." These

requirements were developed to allow for continued County participation in the National Flood Insurance Program (NFIP) in accordance with 44 CFR 60.1 *et seq.* Consistent with these requirements, the following must be complied with:

- a. Demonstrate to the satisfaction of the County Flood Plain Administrator through hydraulic analyses performed by a licensed engineer in accordance with standard engineering practice that no encroachments, including fill, new construction, substantial improvements, or placement of structures, will be made in the FEMA or County mapped floodway for San Luis Rey River that would result in an increase in flood levels during the occurrence of the base flood on any public right-of-way or off-site property. Because the project will require a revision of the previously mapped floodway, an approved Conditional Letter of Map Revision (CLOMR) from FEMA including a floodway delineation will be required prior to any grading activities. Occupancy of structures and completion of the development, where a certificate of occupancy is not required, is prohibited until a subsequent Letter of Map Revision (LOMR) is obtained from FEMA. County Flood Damage Prevention Ordinance (Title 8, Division 11 Section 501 (b)), and in compliance with all NFIP and FDPO requirements to the satisfaction of the County Flood Plan Administer and Public Works Flood Control. If it is demonstrated that the post-project BFEs differ from the pre-project by more than 0.5 feet, or that the post floodplain delineation differs from the FEMA effective mapping, a Conditional Letter of Map Revision (CLOMR) and Letter of Map Revision (LOMR) from FEMA will be required. **NOTE:** If after hydraulic analysis and grading plan review it is determined that changes to lot design or pad elevations are needed or the design will impact off-site properties and/or necessitate obtaining off-site easements or waivers for drainage or grading purposes then the applicant may be required to revise their project and go through the discretionary approval process again. Demonstrate hydrologic and hydraulic analyses acceptable to DPW Flood Control and performed by a California licensed engineer in accordance with standard engineering practice, that all proposed structures will be reasonably safe from flooding of the one percent (1%) annual chance event as calculated following the methodology described in the County Hydrology Manual,
- b. All structures to be constructed, substantially improved or placed within the subdivision shall comply with the more restrictive of the County's Flood Damage Prevention Ordinance or the criteria set forth in 44 CFR 60.1 *et seq.*
- c. Show and label existing drainage easements on the plans.
- d. Elevation Certificates for structures located in the Special Flood Hazard Area (SFHA).

TIMING: Elevation Certificates required prior to Certificate of Occupancy, all other items required prior to the approval of any Final Map or any grading and/or

improvement plans (whichever comes first). **MONITORING:** The [PDS, LDR, DPW, FCE] shall review the hydraulic analysis, and associated plans and maps for compliance with this condition.

With regard to the placement of homes, the County Code and National Flood Insurance Program establish the following requirements:

- a. CLOMR and LOMR required (CLOMR prior to grading permit, LOMR prior to certificate of occupancy).
- b. CLOMR and LOMR submittal will possibly need to be based upon modified models when compared to those submitted for other purposes.
- c. The CLOMR will require proof of satisfaction of environmental requirements for all work.
- d. Because the submittal is based upon adjacent CLOMRs, revisions may be necessary if adjacent LOMRs are submitted.
- e. If the channel is to be maintained to justify the Manning's "n" values used, the maintenance details will need to be recorded with the deed.
- f. During final design, vegetation and associated Manning's "n" values for the channel section will need to be clearly defined and acceptable to Flood Control.

MAP DOCUMENTATION: The applicant shall execute a covenant satisfactory to the Director of DPW. The covenant shall be placed on the Map and recorded with the map. **MAP TIMING:** Prior to the recordation of the Final Map the covenant shall be executed and indicated on the Map. **COVENANT TIMING:** No Building permit for the development can be issued until the applicant completes the requirement. Prior to obtaining a building permit or occupancy, the applicant shall design the project per the condition and submit it to [POS, LOR] for review. **MONITORING:** The [POS, LOR] shall review the covenant and the Map for compliance with this condition.

GRADING PERMIT: (Prior to approval of any grading and/or improvement plans and issuance of any Grading or Construction Permits).

48. HAZ #1 - LEAD SURVEY

INTENT: In order to avoid hazards associated with lead based paint (LBP) and lead containing materials (LCM) to mitigate below levels of significance as established in the [County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance](#), the structure(s) identified on the approved plan set for demolition or remodel shall be surveyed for the presence of LBP/LCM because the structures were built prior to 1980.

DESCRIPTION OF REQUIREMENT: A facility survey shall be performed to

determine the presence or absence of ACMs in the structure(s) identified for demolition or remodel on the approved plan set. The survey shall be completed by a California Department of Health Services (DHS) certified lead inspector/risk assessor to determine the presence or absence of LBP and LCM located in the structure. The following conditions only apply if LBP and LCM are present:

- a. All LBP and LCM shall be managed in accordance with applicable regulations including, at a minimum, the hazardous waste disposal requirements (Title 22 California Code of Regulations [CCR] Division 4.5), the worker health and safety requirements (Title 8 California Code of Regulations Section 1532.1), and the State Lead Accreditation, Certification, and Work Practice Requirements (Title 17 CCR Division 1, Chapter 8).
- b. All LBP and LCM scheduled for demolition or disturbed during remodeling must comply with applicable regulations for demolition methods and dust suppression.

DOCUMENTATION: The applicant shall submit a letter or report prepared by a California DHS certified lead inspector/risk assessor to the [DEH HAZ MAT, APCD], which certifies that there was no LBP/LCM present, or all lead containing materials have been remediated pursuant to applicable regulations. **TIMING:** Prior to issuance of a grading or improvement permit (excluding demolition permit), the applicant shall comply with this condition. **MONITORING:** The [DEH HAZ MAT, APCD] shall review the report and any additional evidence for compliance with this condition. The [PDS, PPD] shall review the completed and stamped report and any additional evidence for compliance with this condition.

49. HAZ #2 - ASBESTOS SURVEY

INTENT: In order to avoid hazards associated with Asbestos Containing Materials (ACMs) and to mitigate below levels of significance as established by the [County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance](#), the structure(s) identified on the approved plan set for demolition or remodel shall be surveyed for the presence of ACMs because the structures were built prior to 1980. **DESCRIPTION OF REQUIREMENT:** A facility survey shall be performed to determine the presence or absence of ACMs in the structure(s) identified for demolition or remodel on the approved plan set. Suspect materials that will be disturbed by the demolition or renovation activities shall be sampled and analyzed for asbestos content or assumed to be asbestos containing. The survey shall be conducted by a person certified by Cal/OSHA pursuant to regulations implementing subdivision (b) of Section 9021.5 of the Labor Code and shall have taken and passed an EPA-approved Building Inspector Course.

- a. If ACMs are found present, they shall be handled and remediated in compliance with the San Diego County Air Pollution Control District Rule 361.145 – Standard for Demolition and Renovation.

DOCUMENTATION: The applicant shall submit to the [DEH HAZ MAT, APCD] a signed, stamped statement from the person certified to complete the facility survey indicating that the survey has been completed and that either regulated asbestos is present or absent. If regulated asbestos is present, the letter shall describe the procedures taken to remediate the hazard and certify that they have been remediated pursuant to code sections referenced above. **TIMING:** Prior to grading or improvement permit (excluding demolition permit), the applicant shall comply with this condition. **MONITORING:** The [DEH HAZ MAT, APCD] shall review the report and any additional evidence for compliance with this condition. The [PDS, PPD] shall review the completed and stamped report and any additional evidence for compliance with this condition.

50. HAZ #3 - STRUCTURE REMOVAL

INTENT: In order to comply with the proposed project design for PDS2016-TM-5615 the structure(s) identified on the approved plan set shall be removed or demolished. **DESCRIPTION OF REQUIREMENT:** The structure(s) as shown on the approved plan set shall be removed or demolished. A Demolition Permit shall be obtained from [PDS, BD]. Compliance with conditions HAZ #1 and HAZ #2 to determine the presence or absence of Lead Containing Materials and Asbestos Containing Materials shall be completed before the County can issue a Demolition Permit. **DOCUMENTATION:** The applicant shall submit to the [PDS, PPD] a signed stamped statement from a registered professional; Engineer, Surveyor, Contractor, which states, that the structures have been removed or demolished. The letter report shall also include before and after pictures of the area and structure. **TIMING** Prior to approval of any grading or improvement permit, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPD] shall review the statement and, photos, and any additional evidence for compliance with this condition.

51. HAZ#4 - DEBRIS REMOVAL AND SOIL TESTING

INTENT: In order to comply with the County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance, and to follow the recommendation identified in the Limited Phase II Environmental Site Assessment (ESA) for this project, the debris associated with removal of sheds, structures, and AST(s) shall be assessed. **DESCRIPTION OF REQUIREMENT:** A signed, stamped addendum to the Limited Phase II ESA shall be prepared by a Registered Engineer or Professional Geologist. The addendum shall include the following information or as modified by DEH:

- a. Documentation that the soil sampling occurred between six inches to 2-3 feet in depth.
- b. Findings which identify whether onsite soils in this location exceed regulatory screening levels for pesticides, petroleum, heavy metals, or other contaminants.

- c. If contaminated soils are detected, provide a letter from DEH stating that a VAP work plan has been prepared and approved to remediate contaminated soils.
- d. If contaminated soils are detected, provide a copy of the contract and a signed sealed statement from the Registered Engineer or Professional Geologist, which states that they will implement the VAP work plan. Grading required to implement the site remediation activities is permitted.
- e. Provide evidence that all required work has been fully incorporated into the Grading Plans if required to obtain a grading permit pursuant to the County Grading Ordinance 87.101 et. al.

DOCUMENTATION: Upon completion of the debris removal and soil test, the applicant shall submit copies of the assessment (and a work plan for soil remediation, if applicable) to the [PDS, PPD] for approval. **TIMING:** Prior to approval of any grading and/or improvement plans, issuance of any construction, building or any other permit, and prior to commencement of construction, or use of the property in reliance on this permit, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPD] shall review the report and any additional evidence for compliance with this condition. The work plan shall be approved by DEH.

IT IS FURTHER RESOLVED, THEREFORE, that the Planning Commission of the County of San Diego hereby makes the following findings as supported by the minutes, maps, exhibits, and documentation of said Tentative Map all of which are herein incorporated by reference:

1. The Tentative Map is consistent with all elements of the San Diego County General Plan and with the Village Residential (VR-4.3), Semi-Rural Residential (SR-10), Rural Lands (RL-20), and Rural Lands (RL-40) Plan Land Use Designations because it proposes Variable Family Residential (RV), Limited Agriculture (A70), and Open Space (S80) use types at densities of 2.1, 3.6 and .09 dwelling units an acre and complies with the provisions of the State Subdivision Map Act and the Subdivision Ordinance of the San Diego County Code;
2. The Tentative Map is consistent with The Zoning Ordinance because it proposes Major Use Permit Planned Residential Development to set minimum lot size and setback regulations for the project site;
3. The design and improvements of the proposed subdivision are consistent with all elements of the San Diego County General Plan and with the Bonsall Community Plan, and comply with the provisions of the State Subdivision Act and the Subdivision Ordinance of the San Diego County Code;

4. The site is physically suitable for the residential use type development because the site is large enough to accommodate the proposed development, and is located near existing infrastructure and development;
5. The site is physically suitable for the proposed density of development because water and sewer services are available from the Rainbow Municipal Water District;
6. The design of the subdivision and the type of improvements will not cause public health problems because adequate water supply and sewage disposal services have been found to be available or can be provided concurrent with need;
7. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat based upon CEQA Section 15183 Statement of Reasons dated September 19, 2019;
8. The design of the subdivision or the type of improvements do not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision, as defined under Section 66474 of the Government Code, State of California; and

The division and development of the property in the manner set forth on the approved Tentative Map will not unreasonably interfere with the free and complete exercise of the public entity or public utility right-of-way or easement;

9. The discharge of sewage waste from the subdivision into the Rainbow Municipal Water District sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the Water Code, as specified by Government Code Section 66474.6;
10. Because adequate facilities and services have been assured and adequate environmental review and documentation have been prepared, the regional housing opportunities afforded by the subdivision outweigh the impacts upon the public service needs of County residents and fiscal and environmental resources; and
11. Determinations and findings pursuant to the California Environmental Quality Act, the Resource Protection Ordinance, and the Watershed Protection, Stormwater Management, and Discharge Control Ordinance have been made by the Planning Commission.

WAIVERS AND EXCEPTIONS: This permit is hereby approved pursuant to the provisions of the County Public and Private Road Standards, and all other required ordinances of San Diego County except for a waiver or modification of the County Public and Private Road Standards requirements to permit:

1. The San Diego County Standards for Private Roads Section 3.1.C and Subdivision Ordinance Sec. 81.402 (a)(2) requires a minimum private road easement width of forty feet (40'). The applicant submitted a Design Exception Request (DER) to allow a minimum easement width of twenty-eight feet (28') along private easement road **Dulin Road**. The DER was approved by the North County Fire Protection District on July 10, 2019.
2. The County of San Diego 2017 Consolidated Fire Code Section 503.2.3 requires that the paving and sub-base of a fire apparatus access road shall be installed to the standards of the County of San Diego Parking Design Manual, unless a suitable alternative pavement design by a registered civil engineer is submitted and approved by the Director. The applicant submitted a DER to allow the use of soil-cement which is a mixture of native decomposed granite and minimum percentage of Portland cement concrete, mixed and compacted as per the recommendations of the registered civil engineer of soils engineering firm Geosoils, with a minimum structural section of twelve inches (12"); a minimum R-value of 40 or greater that will support the weight of a 75,000-pound fire apparatus. A DER was submitted for the **Interim Secondary Access Road** and approved by the North County Fire Protection District on July 10, 2019.
3. **West Lilac Road (SC 270)** is classified as a 2.2E Light Collector with Class II bike lanes from Camino Del Rey to Old Highway 395 under the Mobility Element Network (MEN) of the General Plan. The County of San Diego Public Road Standards Table 2A requires a minimum half-width right-of-way ("ROW") of thirty-seven feet (37') and minimum paved half-width of twenty-five feet (25'). The applicant submitted a DER to propose a parking restriction along West Lilac Road (SC 270) to allow a minimum paved half-width of twenty feet (20'). The DER was approved by the DPW Traffic Engineer on September 3, 2019.

MAP PROCESSING REQUIREMENTS: The final map shall comply with the following processing requirements pursuant to the [Sections 81.501 through 81.517 of the Subdivision Ordinance](#) and the [Subdivision Final Map Processing Manual](#).

- The Final map shall show an accurate and detailed vicinity map.
- The Basis of Bearings for the Final Map shall comply with [Section 81.507 of the Subdivision Ordinance](#).
- Prior to the approval of the Final Map by the Department of Public Works, the subdivider shall provide the Department of Public Works with a copy of the deed by which the subject property was acquired and a Final Map report from a qualified title insurance company.
- The following notes shall appear on the Final Map:

- All parcels within this subdivision have a minimum of 100 square feet of solar access for each future dwelling unit allowed by this subdivision as required by [Section 81.401\(m\) of the Subdivision Ordinance](#).
- At the time of recordation of the Final Map, the name of the person authorizing the map and whose name appears on the SURVEYOR'S CERTIFICATE as the person who requested the map, shall be the name of the owner of the subject property.
- The public and private easement roads serving this project shall be named. The responsible party shall contact the Street Address Section of Planning & Development Services (858-694-3797) to discuss the road naming requirements for the development. Naming of the roads is necessary for the health and safety of present and future residents.

ORDINANCE COMPLIANCE NOTIFICATIONS: The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(RWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control [Ordinance No. 10410](#) and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Quality Management Plan (SWQMP), all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that the property owner keep the Storm Water Pollution Prevention Plan (SWPPP) onsite and updated as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013 and amended in November 2015. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

[http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION PROGRAM/susmppdf/lid_handbook_2014sm.pdf](http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf)

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below

<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

STORMWATER COMPLIANCE NOTICE: Updated studies, including SQWMP and Hydromodification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to [County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410](#) (N.S.), dated February 26, 2016 and BMP Design Manual. These requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill pursuant to Section 87.201 of the County Code.

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact DPW Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate departmental requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to [County TIF Ordinance number 77.201 – 77.223](#). The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and

approved building plans associated with this permit. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the [County Noise Ordinance 36.401](#) et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

COMMITMENT FOR CAPACITY AND LIST OF FEES: A commitment for capacity to serve the proposed development and list of required fees (per County Ordinance Number 9146) will be provided by [SDCSD] at time of building permit issuance.

PAY DISTRICT FEES: The developer shall pay all [SDCSD] fees in effect at time of issuance of the Wastewater Discharge Permit.

PAY FAIR SHARE COSTS: Prior to issuance of the Wastewater Discharge Permit, the developer shall pay all fair share costs attributable to third party reimbursement agreement(s) associated with this project that may be in effect at time of permit issuance.

INDUSTRIAL WASTEWATER DISCHARGE PERMIT FROM CITY: If required, the developer shall obtain an Industrial Wastewater Discharge Permit from the City, as directed by [DPW WWM]. For information, contact Dan Gutierrez at (858) 654-4118.

NOTICE: The project will be required to pay Planning & Development Services Mitigation Monitoring and Condition Review Fee. The fee will be collected at the time of the first submittal for Condition Satisfaction to PDS, including Mitigation Monitoring requests. The amount of the fee will be determined by the Fee Ordinance in effect at the time of the first submittal and is based on the number of PDS conditions that need to be satisfied. The fee amount will only be paid one time for those conditions that are indicated with the **[PDS, FEE]** designator. The fee will not apply to subsequent project approvals that require a separate submittal fee, such as Revegetation and Landscape Plans, Resource

(Habitat) Management Plans, Habitat Loss Permits, Administrative Permits, Site Plans, and any other discretionary permit applications.

NOTICE: The subject property is known to contain Coastal sage scrub plant community. Such plant community is habitat for the coastal California gnatcatcher. The Federal government has listed the gnatcatcher as a threatened species under the Federal Endangered Species Act of 1973 (16 U.S.C. Section 1531 et seq.). THE LISTING MAY RESULT IN AN APPLICANT'S INABILITY TO PROCEED WITH HIS/HER PROJECT WITHOUT A PERMIT FROM THE FEDERAL GOVERNMENT IF THE SPECIES OR ITS HABITAT ARE PRESENT ON THE PROJECT SITE. It is advisable to contact the United States Fish and Wildlife Service to determine the applicability of the prohibitions under the Act to each applicant's property.

NOTICE: The subject property contains wetlands, a lake, a stream, and/or waters of the U.S. which may be subject to regulation by State and/or federal agencies, including, but not limited to, the Regional Water Quality Control Board, U.S. Army Corps of Engineers and the California Department of Fish and Wildlife. It is the applicant's responsibility to consult with each agency to determine if a permit, agreement or other approval is required and to obtain all necessary permits, agreements or approvals before commencing any activity which could impact the wetlands, lake, stream, and/or waters of the U.S. on the subject property. The agency contact information is provided below.

U.S. Army Corps of Engineers: 6010 Hidden Valley Rd, Suite 105, Carlsbad, CA 92011-4219; (858) 674-5386; <http://www.usace.army.mil/>

Regional Water Quality Control Board: 9174 Sky Park Court, Suite 100, San Diego, CA 92123-4340; (858) 467-2952; <http://www.waterboards.ca.gov/sandiego/>

California Department of Fish and Wildlife: 3883 Ruffin Rd., San Diego, CA 92123; (858) 467-4201; <http://www.dfg.ca.gov/>

NOTICE: The subject property contains habitat which may be used for nesting by migratory birds. Any grading, brushing or clearing conducted during the migratory bird breeding season, February 1 – August 31, has a potential to impact nesting or breeding birds in violation of the Migratory Bird Treaty Act. The applicant may submit evidence that nesting or breeding migratory birds will not be affected by the grading, brushing or clearing to these agencies: California Department of Fish and Wildlife, 3883 Ruffin Rd., San Diego, CA 92123, (858) 467-4201, <http://www.dfg.ca.gov/>; and United States Fish and Wildlife Service, 6010 Hidden Valley Rd, Carlsbad, CA 92011-4219, (760) 431-9440, <http://www.fws.gov/>.

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

NOTICE: Time Extension requests cannot be processed without updated project information including new Department of Environmental Health certification of septic systems. Since Department of Environmental Health review may take several months, applicants anticipating the need for Time Extensions for their projects are advised to submit applications for septic certification to the Department of Environmental Health several months prior to the expiration of their Tentative Maps.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmedehntal Services Unit Division	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten days after adoption of this Resolution, these findings and conditions may be appealed in accordance with [Section 81.310 of the Subdivision Ordinance](#) and as provided in Section 66452.5 of the Government Code. An appeal shall be filed with the appellant body and/or the Board of Supervisors within TEN CALENDAR DAYS of the date of this Resolution AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. No Final Map shall be approved, no grading permit issues, and no building permits for model homes or other temporary uses

as permitted by Section 6116 of the Zoning Ordinance shall be issued pursuant to said Tentative Map until after the expiration of the 10th day following adoption of this Resolution, or if an appeal is taken, until the appeal board has sustained the determination of this advisory body. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of adoption of this Resolution.

ON MOTION of Supervisor , seconded by Supervisor , this Resolution is passed and approved by the Board of Supervisors of the County of San Diego, State of California, at a regular meeting held on this _by the following vote:

AYES:

NOES:

ABSENT:

cc: Ocean Breeze Ranch LLC; 5820 W Lilac Rd, Bonsall, CA 92003; P: (949) 494-0200

email cc:

- Bronwyn Brown, Planning Manager, Planning & Development Services
- Ken Brazell, Land Development, Planning & Development Services
- Marcus Lubich Park Project Manager, Department of Parks and Recreation
- Bonsall Community Sponsor Group
- Fallbrook Community Planning Group & Design Review Group
- I-15 Design Review Group

Attachment C
FORM OF DECISION APPROVING
PDS2016-MUP-16-012



County of San Diego
PLANNING & DEVELOPMENT SERVICES

MARK WARDLAW
Director

KATHLEEN FLANNERY
Assistant Director

5510 OVERLAND AVENUE, SUITE 110, SAN DIEGO, CALIFORNIA 92123
INFORMATION (858) 694-2960
TOLL FREE (800) 411-0017
www.sdcounty.ca.gov/pds

COMMISSIONERS

Michael Seiler (Chairman)
Douglas Barnhart (Vice
Chairman)
Michael Beck
Yolanda Calvo
Michael Edwards
David Pallinger
Bryan Woods

December 13, 2019

PERMITEE: OCEAN BREEZE RANCH LLC
MAJOR USE PERMIT: PDS2016-MUP-16-012
SITE PLAN PERMIT: PDS2016-STP-16-052
E.R. NUMBER: PDS2016-ER-16-02-006
PROPERTY: 5820 WEST LILAC ROAD, BONSALE
APN: 124-150-28, 124-150-34, 124-150-35, 125-080-21, 125-131-48,
125-131-49, 125-131-54, 126-060-78, 127-191-20, 127-230-59,
127-271-01, 127-271-02

DECISION OF THE PLANNING COMMISSION

This Major Use Permit for MUP-18-012 consists of thirty-two (32) sheets including site plan, fire access plan, conceptual landscape plan, and elevations dated November 8, 2019. This permit authorizes a planned development project which will consist of 396 residential lots. This permit authorizes the proposed use pursuant to Section 6600 of the Zoning Ordinance.

Planning Area 3 is not subject to the Architectural Product Types for Planning Area 1 and Planning Area 2. To ensure conformance with the Special Area B Designator a Site Plan Modification or Waiver will be required at the discretion of the Director of Planning and Development Services. A Minor Deviation to the Planned Development Major Use Permit PDS016-MUP-15-012 will be required for Planning Area 3's single family residences.

The granting of this permit also approves the Preliminary Grading Plan dated November 8, 2019 consisting of eighteen (18) sheets. In accordance with the [Section 87.207 of the County Grading Ordinance](#), Environmental Mitigation Measures or other conditions of approval required and identified on this plan, shall be completed or implemented on the final engineering plan before any improvement or grading plan can be approved and any permit issued in reliance of the approved plan. Any Substantial deviation therefrom the Preliminary Grading Plan may cause the need for further environmental review. Additionally, approval of the preliminary plan does not constitute approval of a final engineering plan. A final engineering plan shall be approved pursuant to [County of San Diego Grading Ordinance \(Sec 87.701 et. al.\)](#).

MAJOR USE PERMIT EXPIRATION: This Major Use Permit shall expire on **December 13, 2021** at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The

Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Major Use Permit has commenced prior to said expiration date.

SPECIFIC CONDITIONS: Compliance with the following Specific Conditions shall be established before the property can be used in reliance upon this Major Use Permit. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: (Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).

1. GEN#1 - FINAL MAP RECORDATION

INTENT: In order to comply with the approved project requirements. **DESCRIPTION OF REQUIREMENT:** The applicant shall record the respective Final Map(s) for Planning Area 1, Planning Area 2, and Planning Area 3 of PDS2016-TM-5615. **DOCUMENTATION:** The applicant shall provide evidence to [PDS, PPD] that the respective Final Map(s) for Planning Area 1, Planning Area 2, and Planning Area 3 of PDS2016-TM-5615 have been recorded prior to use of the unit in reliance of this permit. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit, per Final Map Unit, and prior to use in reliance of this permit, the respective Final Map(s) of Planning Area 1, Planning Area 2, and Planning Area 3 of PDS2016-TM-5615 shall be recorded. **MONITORING:** The [PDS, PPD] shall verify that Final Map(s) for Planning Area 1, Planning Area 2, and Planning Area 3 of TM-5615 have been recorded.

2. GEN#2 - COST RECOVERY

INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide evidence to Planning & Development Services, Zoning Counter, which shows that all fees and trust account deficits have been paid. No permit can be issued if there are deficit trust accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and trust account deficits shall be paid. **MONITORING:** The [PDS, Zoning Counter] shall verify that all fees and trust account deficits have been paid.

3. GEN#3 - RECORDATION OF DECISION

INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an "all-purpose acknowledgement" and return the original recordation form to PDS. **DOCUMENTATION:** Signed and notarized original recordation form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The [PDS Zoning Counter] shall

verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

4. DEH#1–SEPTIC REVIEW

INTENT: In order to ensure that the on-site Supplemental Treatment System (STS) is adequate and complies with the [County Regulatory Code Section 68.311](#), the Final Map shall be reviewed by the Department of Environmental Health (DEH) to ensure the lot design, location, lot numbers, grading are consistent as shown on the approved Major Use Permit Plot Plan PDS216-MUP-16-013, Tentative Map and Preliminary Grading Plan. **DESCRIPTION OF REQUIREMENT:** The Final Map shall be reviewed by the Department of Environmental Health for consistency in regards to the individual [DEH, LWQ]. **DOCUMENTATION:** The applicant shall provide PDS a letter from DEH stating that the Maps/Plans have been reviewed for septic purposes, and have received approval. **TIMING:** Prior to the approval of the Final Map, and prior to the approval of any plan, issuance of any permit, the applicant shall have the septic system reviewed. **MONITORING:** The [PDS, PCC] shall review the documents provided for the satisfaction of this condition.

5. DEH#2–ONSITE WASTEWATER TREATMENT SYSTEM

INTENT: In order to ensure that the on-site Supplemental Treatment System (STS) is adequate and complies with the [County Regulatory Code Section 68.311](#), the following conditions must be enforced. **DESCRIPTION OF REQUIREMENT:**

- a. Pursuant to the approved Major Use Permit PDS2016-MUP-16-13 Plot Plan, proposed residences R7, R8 and the proposed shop B9 shall be connected to an appropriately sized septic tank and a Supplemental Treatment System (STS) approved for use (NSF Standard 40) within the County of San Diego.
- b. Pursuant to the approved Major Use Permit PDS2016-MUP-16-13 Plot Plan, proposed residences R7, R8 and the proposed shop B9 the property owner will be required to obtain an Annual Operating Permit from the Department of Environmental Health for the onsite wastewater treatment system prior to occupancy of the dwelling and/or commercial structure. The Annual Operating Permit must be renewed each year with the Department of Environmental Health.
- c. Pursuant to the approved Major Use Permit PDS2016-MUP-16-13 Plot Plan, proposed residences R7, R8 and the proposed shop B9 the property owner will be required to obtain and maintain an annual service contract, from a qualified service provider, for their onsite wastewater treatment system. This contract must include biannual inspections and reporting of all inspection results to DEH by the homeowner or their service provider.
- d. The applicant can provide additional piezometer monitoring prior to approval of Final Map and at the discretion of DEH they can decide if the use of conventional onsite wastewater treatment systems or supplemental treatment systems would be required for proposed residences R7, R8 and the proposed shop B9 outlined in the approved Major Use Permit PDS2016-MUP-16-13 Plot Plan.

DOCUMENTATION: The applicant shall provide PDS a letter from DEH stating that the Maps/Plans have been reviewed for septic purposes and have received approval. **TIMING:** Prior to the approval of any plan, issuance of any permit, the applicant shall have the septic system reviewed. **MONITORING:** The [PDS, PCC] shall review the documents provided for the satisfaction of this condition.

6. **AGR#1 - AGRICULTURAL PRESERVATION – PACE MITIGATION**

INTENT: To preserve agricultural resources, as defined by the Agricultural Resources Guidelines for Determining Significance. **DESCRIPTION OF REQUIREMENT:** To minimize impacts to agricultural resources that meet the Prime and Statewide soil criteria and/or to provide a project design where agricultural use could remain viable. The applicant shall acquire mitigation credits from the County of San Diego Purchase of Agricultural Conservation Easement (PACE) mitigation bank, and/or the conservation of agricultural resources. The applicant shall demonstrate accordance to this requirement for 244 acres of land using at least one or a combination of the following:

- a. **Option 1:** If purchasing PACE mitigation credits from the County of San Diego, through the payment of in lieu fees to the PACE Program mitigation bank, evidence of the purchase shall include the following information:
 1. A cashier's receipt of the in-lieu fee payment, referencing the project name and numbers, total fee payment amount and the represented amount of acreage mitigated for by the payment. One mitigation credit from the PACE Program would equate to one acre of land permanently protected with an agricultural conservation easement within the PACE Program mitigation bank.
 2. An accounting of the status of the County of San Diego PACE Program mitigation bank, which can be obtained from the PACE Program Manager. This shall include the total amount of credits available at the bank, the amount required by this project, and the amount remaining after utilization by this project (at time of in lieu fee payment).
- b. **Option 2:** In the event that PACE mitigation credits are not available or the applicant elects not to participate; the applicant shall grant an Agricultural Preservation Easement in perpetuity to the County of San Diego. The preservation easement shall be located within the cumulative project area, or, at a location approved by the Director of PDS. The purpose of the easement is for the preservation and protection of agricultural resources to ensure that the land remains available for potential agricultural use in the future. The easement limits shall prohibit the construction or placement of any accessory structure that is designed or intended for occupancy by humans, and the placement of any recreational amenities; such as tennis courts or swimming pools. The only exceptions to this prohibition include but are not limited to:
 1. One single-family residence.

2. Fences, walls, and similar structures, no higher than 6 feet or as regulated by zoning.
3. Landscaping and agricultural uses.
4. Roads, utilities, water wells, septic systems and leach lines
5. Percolation and observation test holes.
6. Irrigation water wells necessary for the support of the agriculture in the easement.
7. Grading or clearing for agricultural purposes only.

DOCUMENTATION: Under option 1, the applicant shall provide a cashier's receipt of the in-lieu fee payment to the [PDS] and an accounting of the status of the County of San Diego PACE Program mitigation bank. Under Option 2, the applicant shall prepare the draft plats and legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. The [DGS, RP] shall prepare and approve the easement documents and send them to [PDS] for pre-approval. The [PDS] shall pre-approve the language and estimated location of the easements before they are released to the applicant for signature and subsequent recordation. Upon Recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS] for satisfaction of the condition.

TIMING: Prior to approval of any plan or issuance of any permit, and prior to use of the premises in reliance of this permit. **MONITORING:** The [PDS] shall review the documents provided for the satisfaction of this condition.

7. **BIO#1 - BIOLOGICAL OPEN SPACE EASEMENT**

INTENT: In order to mitigate for project impacts and protect sensitive Biological and Cultural Resources, a Biological Open Space Easement shall be granted. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Biological Open Space Easement over portions of Tentative Map, PDS2016-TM-5615 as shown on the Biological Open Space Exhibit (Figure 20 of the Biological Resources Technical Report – August 7, 2019). This easement is for the protection of biological resources and also provides for the protection of archaeological sites CA-SDI-776 Locus A, CA-SDI-776 Locus B, and CA-SDI-8237 and prohibits all of the following on any portion of the land subject to said easement: grading; excavation; placement of soil, sand, rock, gravel, or other material; clearing of vegetation; construction, erection, or placement of any building or structure; vehicular activities; trash dumping; or use for any purpose other than as open space. The sole exceptions to this prohibition are:

- a. Selective clearing of vegetation by hand to the extent required by written order of the fire authorities for the express purpose of reducing an identified fire hazard. While clearing for fire management is not anticipated with the creation of this easement, such clearing may be deemed necessary in the future for the safety of lives and property. All fire clearing shall be pursuant to the applicable fire code of the Fire Authority Having Jurisdiction and the Memorandum of Understanding

- dated February 26, 1997, (<http://www.sdcounty.ca.gov/PDS/docs/MemoofUnder.pdf>) between the wildlife agencies and the fire districts and any subsequent amendments thereto. Activities conducted pursuant to a revegetation or habitat management plan approved by the Director of PDS, DPW or DPR.
- c. Vegetation removal or application of chemicals for vector control purposes where expressly required by written order of the DEH.
 - d. Construction, use, and maintenance of the access road on Lot RR in the location shown on Tentative Map PDS2016-TM-5615.
 - e. Construction, use and maintenance of multi-use, non-motorized trails.
 - f. Access to cultural sites shall be provided to culturally affiliated tribes.
 - g. Widening of the San Diego County Water Authority (SDCWA) easement in the eastern portion of the property by approximately 200 feet comprising approximately 6.4 acres.
 - h. Activities required for implementation of the project's Habitat Restoration/Revegetation Plans or other habitat revegetation or enhancement activities directed by the Resource Manager.
 - i. Maintenance and improvement of existing culverts.

DOCUMENTATION: The applicant shall show the easement on the Final Map with the appropriate granting language on the title sheet concurrent with the Final Map Review or the applicant shall prepare the legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. **TIMING:** Prior to approval of any plan or issuance of any permit, and prior to use of the premises in reliance of this permit. **MONITORING:** For recordation on the map, the [PDS, LDR] shall route the Final Map to [PDS, PPD] for approval prior to map recordation or for recordation by separate document, the [DGS, RP] shall prepare and approve the easement documents and send them to [PDS, PPD] and [DPR GPM] for pre-approval. The [PDS, PPD] shall pre-approve the language and estimated location of the easements prior to recordation. Upon Recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS, PPD] for satisfaction of the condition or if recorded on the Final Map, the [PDS LDR] shall satisfy the condition after map recordation.

8. BIO#2 - LBZ EASEMENT

INTENT: In order to protect sensitive biological resources, pursuant to the California Environmental Quality Act, a Limited Building Zone Easement shall be granted to limit the need to clear or modify vegetation for fire protection purposes within an adjacent biological resource area. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Limited Building Zone Easement as shown on the Biological Open Space Exhibit (Figure 20 of the Biological Technical Report – August 7, 2019). The purpose of

this easement is to limit the need to clear or modify vegetation for fire protection purposes within the adjacent biological open space easement and prohibit the construction or placement of any structure designed or intended for occupancy by humans or animals. The only exceptions to this prohibition are:

- a. Decking, fences, and similar facilities.
- b. Sheds, gazebos, and detached garages, less than 250 square feet in total floor area, that are designed, constructed and placed so that they do not require clearing or fuel modification within the biological open space easement, beyond the clearing/fuel modification required for the primary structures on the property.

DOCUMENTATION: The applicant shall show the easement on the Final Map with the appropriate granting language on the title sheet concurrent with Final Map Review - OR - The applicant shall prepare the draft plats and legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. **TIMING:** Prior to approval of any plan or issuance of any permit, and prior to use of the premises in reliance of this permit. **MONITORING:** For recordation on the map, the [PDS, LDR] shall route the Final Map to [PDS, PPD] for approval prior to map recordation OR for recordation by separate document, the [DGS, RP] shall prepare and approve the easement documents and send them to [PDS, PPD] and [DPR GPM] for preapproval. The [PDS, PPD] shall pre-approve the language and estimated location of the easements prior to recordation. Upon Recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS, PPD] for satisfaction of the condition - OR - if recorded on the map, the [PDS LDR] shall satisfy the condition after map recordation.

9. BIO#3 - RESOURCE MANAGEMENT PLAN

INTENT: In order to provide for the long-term management of the proposed open space preserve, a Resource Management Plan (RMP) shall be prepared and implemented. **DESCRIPTION OF REQUIREMENT:** Submit to and receive approval from the Director of PDS, a RMP. The RMP shall be for the perpetual management of environmentally sensitive open space. The RMP shall be consistent with the Conceptual Resource Management Plan – Biological Resources dated August 7, 2019 prepared by HELIX Environmental Planning on file with PDS as Environmental Review Number PDS2016-ER-16-02-006. The plan shall be prepared and approved pursuant to the most current version of the County of San Diego Biological Report Format and Content Requirements. The final RMP cannot be approved until the following has been completed to the satisfaction of the Director of PDS and in cases where DPR has agreed to be the owner and/or manager, to the satisfaction of the Director of DPR.

- a. The plan shall be prepared and approved pursuant to the most current version of the County of San Diego Biological Report Format and Content Requirements.
- b. The habitat land to be managed shall be completely purchased.
- c. The easements shall be dedicated to ensure that the land is protected in perpetuity.

- d. A Resource Manager shall be selected, and evidence provided by applicant as to the acceptance of this responsibility by the proposed Resource Manager.
- e. The RMP funding mechanism shall be identified and approved by the County to fund annual costs for basic stewardship. Evidence shall be provided that the RMP has been funded.
- f. A contract between the applicant and County shall be executed for the implementation of the RMP.

DOCUMENTATION: The applicant shall prepare the RMP and submit it to the [PDS, ZONING] and pay all applicable review fees. **TIMING:** Prior to approval of any plan or issuance of any permit, and prior to use of the premises in reliance of this permit. **MONITORING:** The [PDS, PPD] shall review the RMP for compliance with the content guidelines, the conceptual RMP, and this condition.

10. BIO#4 - REVEGETATION PLAN – WETLAND HABITAT AND JURISDICTIONAL WATERS

INTENT: In order to mitigate for the impacts to wetland habitat and jurisdictional waters (Southern willow scrub – 0.01 acre, Mule fat scrub – 0.17 acre, Tamarisk scrub 0.01 acre, non-wetland waters of the U.S. – 0.20 acre) which are sensitive biological resources pursuant to the California Environmental Quality Act and the Resource Protection Ordinance, revegetation shall occur. **DESCRIPTION OF REQUIREMENT:** A Revegetation Plan, shall be prepared, which mitigates impacts to wetland habitat and jurisdictional waters (Southern willow scrub – 0.01 acre, Mule fat scrub – 0.17 acre, Tamarisk scrub 0.01 acre, non-wetland waters of the U.S. – 0.20 acre). The revegetation shall occur onsite as identified on Figure 9 of the Conceptual Wetland Restoration Plan (August 7, 2019) prepared by Helix Environmental Planning. The revegetation plan shall conform to the Conceptual Revegetation Plan titled *Ocean Breeze Ranch Project – Conceptual Wetland Restoration Plan* (August 7, 2019), and the most current version of the County of San Diego Report Format and Content Requirements for Revegetation Plans. The Revegetation Plan shall include the following:

- a. The monitoring plan shall be for a length of five years and have a 70 percent success criterion.
- b. A preservation plan over the land to be revegetated shall be included in the Revegetation Plan. The preservation plan shall include evidence of dedication of an open space easement to the County of San Diego or evidence of protection in perpetuity by some other means to the satisfaction of the Director of PDS.
- c. The report shall be prepared by a County approved biologist and the construction plans shall be prepared by a State of California Licensed Landscape Architect.
- d. Revegetation objectives, revegetation site biological resource map, 24"x 36" landscape plan, map showing revegetation areas according to mitigation type and amount, site preparation information, type of planting materials (e.g. species ratios,

source, size material, etc.), planting program, 70 percent success criteria, and a detailed cost estimate.

- e. A cost estimate based on a 3% annual inflation rate shall be submitted and approved, which includes the cost of the plant stock and its installation, irrigation system and installation, cost of monitoring and maintenance of the revegetation area for the required monitoring period, and report preparation and staff time to review.

DOCUMENTATION: The applicant shall prepare the Revegetation Plan, submit it to the [PDS, ZONING] and pay all the applicable review fees and deposits. **TIMING:** Prior to the approval of any plan and issuance of any permit, the Revegetation Plan shall be approved by the County, USACE, CDFW, and RWQCB. **MONITORING:** The [PDS, LA] shall review the Revegetation Plan for conformance with this condition and the Report Format and Content Requirements for Revegetation Plans. Upon approval of the Plan, a Director's Decision of approval shall be issued to the applicant, and a request for compliance with condition BIO#5 shall be made to enter into a Secured Agreement for the implementation of the Plan.

11. BIO#5 - SECURED AGREEMENT – WETLAND HABITAT AND JURISDICTIONAL WATERS

INTENT: In order to assure project completion and success of the Revegetation Plan (Condition BIO#4), a surety shall be provided, and an agreement shall be executed.

DESCRIPTION OF REQUIREMENT: The applicant shall enter into a Secured Agreement with the County of San Diego as follows:

- a. The security shall consist of a letter of credit, bond, or cash for 100 percent of the estimated costs associated with the implementation of the Revegetation Plan and,
- b. Provide a 10 percent cash deposit of the cost of all improvements, but no less than \$3,000 and no more than \$30,000.
- c. The monitoring time and the length of time the Secured Agreement and cash deposit will be in effect starts at the time the installation is accepted by a County staff representative. The Secured Agreement and cash deposit shall be released upon completion of the Revegetation Plan implementation provided the installed vegetation is in a healthy condition and meets the 70 percent success criteria. Fifty-percent combined vegetative cover in the tree and shrub strata shall be considered satisfactory completion of the Revegetation Plan.

DOCUMENTATION: The applicant shall execute a Secured Agreement provided with the Revegetation Plan Final Decision and provide the approved securities and the cash deposit for County monitoring time. The executed Agreement, cash deposit, and the securities shall be submitted to the [PDS, LA] for final review and approval. **TIMING:** Prior to the approval of any plan and issuance of any permit, and after the approval of the Revegetation Plan, the agreement shall be executed, and the securities provided for the revegetation plan implementation. **MONITORING:** The [PDS, LA] shall review the Agreement cash deposit and securities provided are in compliance with this condition,

and the Revegetation Plan Final Decision. The [PDS, LA] shall sign the Agreement for the Director of PDS and ensure the cash deposit is collected. Upon acceptance of the Agreement, securities and cash deposit, the [PDS, LA], shall provide a confirmation letter-acknowledging acceptance of securities.

12. BIO#6 - REVEGETATION PLAN – UPLAND HABITAT

INTENT: In order to provide additional mitigation beyond habitat preservation for the impacts to upland habitat, which is a sensitive biological resource pursuant to the California Environmental Quality Act and the Resource Protection Ordinance, revegetation shall occur. **DESCRIPTION OF REQUIREMENT:** The project shall mitigate impacts to Coast live oak woodland – 0.4 acre, Diegan coastal sage scrub – 32.5 acres, Flat-topped buckwheat – 1.4 acres, and Non-native grassland – 37.6 acres through on-site habitat preservation at ratios identified in Table 5 of the in the 2010 County Guidelines for Determining Significance. In addition, a Revegetation Plan shall be prepared to provide further mitigation beyond habitat preservation. The revegetation shall occur onsite as identified on Figure 6 of the Conceptual Upland Restoration Plan (August 7, 2019) prepared by HELIX Environmental Planning. The revegetation plan shall conform to the Conceptual Revegetation Plan titled *Ocean Breeze Ranch Project – Conceptual Upland Restoration Plan* (August 7, 2019), and the most current version of the County of San Diego Report Format and Content Requirements for Revegetation Plans. The Revegetation Plan shall include the following:

- a. The monitoring plan shall be for a length of five years and have a 50 percent success criterion.
- b. A preservation plan over the land to be revegetated shall be included in the Revegetation Plan. The preservation plan shall include evidence of dedication of an open space easement to the County of San Diego or evidence of protection in perpetuity by some other means to the satisfaction of the Director of PDS.
- c. The report shall be prepared by a County approved biologist and the construction plans shall be prepared by a State of California Licensed Landscape Architect.
- d. Revegetation objectives, revegetation site biological resource map, 24"x 36" landscape plan, map showing revegetation areas according to mitigation type and amount, site preparation information, type of planting materials (e.g. species ratios, source, size material, etc.), planting program, 50 percent success criteria, and a detailed cost estimate.
- e. A cost estimate based on a 3% annual inflation rate shall be submitted and approved, which includes the cost of the plant stock and its installation, irrigation system and installation, cost of monitoring and maintenance of the revegetation area for the required monitoring period, and report preparation and staff time to review.

DOCUMENTATION: The applicant shall prepare the Revegetation Plan, submit it to the [PDS, ZONING] and pay all the applicable review fees and deposits. **TIMING:** Prior to the approval of the first Final Map, and prior to the approval of any plan and issuance of

any permit, the Revegetation Plan shall be approved by the County, and Wildlife Agencies (USFWS and CDFW). **MONITORING:** The [PDS, LA] shall review the Revegetation Plan for conformance with this condition and the Report Format and Content Requirements for Revegetation Plans. Upon approval of the Plan, a Director's Decision of approval shall be issued to the applicant, and a request for compliance with condition BIO#7 shall be made to enter into a Secured Agreement for the implementation of the Plan.

13. BIO#7 - SECURED AGREEMENT – UPLAND HABITAT

INTENT: In order to assure project completion and success of the Revegetation Plan (Condition BIO#6), a surety shall be provided and an agreement shall be executed.

DESCRIPTION OF REQUIREMENT: The applicant shall enter into a Secured Agreement with the County of San Diego as follows:

- a. The security shall consist of a letter of credit, bond, or cash for 100 percent of the estimated costs associated with the implementation of the Revegetation Plan and,
- b. Provide a 10 percent cash deposit of the cost of all improvements, but no less than \$3,000 and no more than \$30,000.
- c. The monitoring time and the length of time the Secured Agreement and cash deposit will be in effect starts at the time the installation is accepted by a County staff representative. The Secured Agreement and cash deposit shall be released upon completion of the Revegetation Plan implementation provided the installed vegetation is in a healthy condition and meets the 50 percent success criteria outlined in the Revegetation Plan, or is otherwise completed to the satisfaction of the County.

DOCUMENTATION: The applicant shall execute a Secured Agreement provided with the Revegetation Plan Final Decision and provide the approved securities and the cash deposit for County monitoring time. The executed Agreement, cash deposit, and the securities shall be submitted to the [PDS, LA] for final review and approval. **TIMING:** Prior to the approval of any plan and issuance of any permit, and after the approval of the Revegetation Plan, the agreement shall be executed and the securities provided for the revegetation plan implementation. **MONITORING:** The [PDS, LA] shall review the Agreement cash deposit and securities provided are in compliance with this condition, and the Revegetation Plan Final Decision. The [PDS, LA] shall sign the Agreement for the Director of PDS and ensure the cash deposit is collected. Upon acceptance of the Agreement, securities and cash deposit, the [PDS, LA], shall provide a confirmation letter-acknowledging acceptance of securities.

14. BIO#8 - OPEN SPACE SIGNAGE

INTENT: In order to protect the proposed open space easement from entry, informational signs shall be installed. **DESCRIPTION OF REQUIREMENT:** Open space signs shall be placed along the biological open space boundary as indicated on Figure 20 of the Biological Resources Technical Report (August 7, 2019) prepared by Helix Environmental Planning. The signs must be corrosion resistant, a minimum of 6" x 9" in size, on posts not less than three (3) feet in height from the ground surface, and must state the following:

**Sensitive Environmental Resources
Area Restricted by Easement**

Entry without express written permission from the County of San Diego is prohibited. To report a violation or for more information about easement restrictions and exceptions contact the County of San Diego,
Planning & Development Services

Reference: (Tentative Map, PDS2016-TM-5615, PDS2016-MUP-16-012)

DOCUMENTATION: The applicant shall install the signs as indicated above and provide site photos and a statement from a California Registered Engineer, or licensed surveyor, that the open space signs have been installed at the boundary of the open space easement(s). **TIMING:** Prior to the approval of any plan and issuance of any permit, the open space signs shall be installed. **MONITORING:** The [PDS, PPD] shall review the photos and statement for compliance with this condition.

15. BIO#9 - WETLAND PERMITS

INTENT: In order to comply with the State and Federal Regulations for wetlands and jurisdictional waters, the following agency permits, or verification that they are not required shall be obtained. **DESCRIPTION OF REQUIREMENT:** The following permit and agreement shall be obtained, or provide evidence from the respective resource agency satisfactory to the Director of PDS that such an agreement or permit is not required:

- a. A Clean Water Act, Section 401/404 permit issued by the California Regional Water Quality Control Board and the U.S. Army Corps of Engineers for all project related disturbances of waters of the U.S. and/or associated wetlands.
- b. A Section 1602 Streambed Alteration Agreement issued by the California Department of Fish and Wildlife for all project related disturbances of any streambed.

DOCUMENTATION: The applicant shall consult each agency to determine if a permit or agreement is required. Upon completion of the agency review of this project, the applicant shall provide a copy of the permit(s)/agreement(s), or evidence from each agency that such an agreement or permit is not required to the [PDS, PPD] for compliance. **TIMING:** Prior to the approval of any plan and issuance of any permit, the permits shall be obtained. **MONITORING:** The [PDS, PPD] shall review the permits/agreement for compliance with this condition. Copies of these permits should be transmitted to the [DPW, ESU], for implementation on the grading plans

16. BIO#10 - BIOLOGICAL MONITORING

INTENT: In order to prevent inadvertent disturbance to sensitive biological resources that are to be protected and preserved, a Biological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** A qualified biologist working under the direction of a County approved biologist shall be contracted to perform biological monitoring during all grading, clearing, grubbing, trenching, and construction activities. The monitoring program shall include the following:

- a. The Biologist shall perform the monitoring duties before, during and after construction pursuant to the most current version of the County of San Diego Biological Report Format and Requirement Guidelines and this permit.
- b. The Biologist shall perform pre-construction surveys for California gnatcatcher, nesting raptors, and Least Bell's vireo, consistent with BIO#GR-4.
- c. The Biologist shall supervise the installation of temporary fencing.
- d. The Biologist shall supervise the installation of permanent fencing and signage.
- e. The contract provided to the county shall include an agreement that this will be completed, and a [Memorandum of Understanding \(MOU\)](#) between the biological consulting company and the County of San Diego shall be executed. The contract shall include a cost estimate for the monitoring work and reporting.
- f. The cost of the monitoring shall be added to the grading bonds or bond separately with Planning & Development Services.

DOCUMENTATION: The applicant shall provide a copy of the biological monitoring contract, cost estimate, and MOU to the [PDS, PPD]. Additionally, the cost amount of the monitoring work shall be added to the grading bond cost estimate. **TIMING:** Prior to the approval of any plan, issuance of any permit, the requirement shall be completed. **MONITORING:** The [PDS, PPD] shall review the contract, MOU and cost estimate or separate bonds for compliance with this condition. The cost estimate should be forwarded to [PDS, LDR], for inclusion in the grading bond cost estimate, and grading bonds.

17. BIO#11–LIMITED USE OPEN SPACE EASEMENT [PDS, FEE X 2]

INTENT: In order to protect sensitive biological resources and to prevent development of the Equestrian Facility pastures, a Limited Use Open Space Easement shall be granted. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Limited Use Open Space Easement, as shown on the approved Tentative Map. This easement is for the protection of biological resources and wildlife corridor movement and prohibits all of the following on any portion of the land subject to said easement: grading; excavation; placement of soil, sand, rock, gravel, or other material; clearing of vegetation; construction, erection, or placement of any proposed building or structure; vehicular activities; trash dumping; or use for any purpose other than as limited use open space/pasture. Pastures cannot be converted to developed lands, landscaping, row crops, orchard or any other type of improved use. Pastures are to remain as pastures, with the only exception being restoration of pasture to native or naturalized habitat for the benefit of native wildlife, and then only with the prior written approval of the Director of Planning & Development Services and the Wildlife Agencies (USFWS and CDFW). Granting of this limited use open space authorizes the County and its agents to periodically access the land to perform management and monitoring activities for the purposes of species and habitat conservation. The permitted exception(s) to this prohibition are:

- a. Selective clearing of vegetation by hand to the extent required by written order of the fire authorities for the express purpose of reducing an identified fire hazard. While clearing for fire management is not anticipated with the creation of this easement, such clearing may be deemed necessary in the future for the safety of lives and property. All fire clearing shall be pursuant to the applicable fire code of the Fire Authority Having Jurisdiction and the Memorandum of Understanding dated February 26, 1997, between the wildlife agencies and the fire districts and any subsequent amendments thereto. Activities conducted pursuant to the approved Pasture Management Plan dated August 7, 2019.
- c. Uses, activities, and placement of structures expressly permitted by the Director of PDS, whose permission may be given only after following the procedures and complying with all requirements applicable to an Administrative Permit and/or Major Use Permit Minor Deviation and/or Major Use Permit Modification pursuant to The Zoning Ordinance of the County of San Diego.
- d. Construction, use, and maintenance of wells and septic systems, and structural Best Management Practices (BMP's) proposed as part of compliance with the Storm Water Quality Management Plan (SWQMP) requirement as shown on approved Tentative Map and Major Use Permit.
- e. Construction, use, and maintenance of a public street, private road, or driveway.
- f. Continued activities and maintenance of existing equestrian operations, including fertilizer, pest control and irrigation repairs. Any alterations of existing equestrian operations (including but not limited to equestrian uses and equestrian structures), shall not preclude wildlife movements.
- g. Gating, fences, and similar facilities.
- h. Replacement or relocation of existing equestrian sheds, less than 250 square feet in total floor area, that are designed, constructed and placed so that they do not require clearing or fuel modification within the limited use open space easement, beyond the clearing/fuel modification required for the primary structures on the property.
- i. Vegetation removal or application of chemicals for vector control purposes where expressly required by written order of the Department of Environmental Health of the County of San Diego, in a location and manner approved in writing by the Director of Planning and Development Services of the County of San Diego.

DOCUMENTATION: The applicant shall show the easement on the Final Map with the appropriate granting language on the title sheet concurrent with the Final Map Review or the applicant shall prepare the legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. **TIMING:** Prior to the approval of the Final Map and prior to the approval of any plan and issuance of any permit, the easements shall be executed and recorded. **MONITORING:** For recordation by separate document, the [DGS, RP] shall prepare and approve the easement documents and send them to [PDS,

PCC] and [*DPR GPM*] for pre-approval. The [*PDS, PCC*] shall preapprove the language and estimated location of the easements prior to recordation. Upon Recordation of the easements [*DGS, RP*] shall forward a copy of the recorded documents to [*PDS, PCC*] for satisfaction of the condition.

18. LNDSCP#1–LANDSCAPE DOCUMENTATION PACKAGE

INTENT: In order to provide adequate Landscaping that addresses defensible space, screening, erosion control, water conservation, and to comply with the Ocean Breeze Ranch Conceptual Landscape Plan, and Equestrian Center Entry Gate Conceptual Landscape Plan, a landscape plan shall be prepared. **DESCRIPTION OF**

REQUIREMENT: The Landscape Plans shall be prepared pursuant to the [COSD Water Efficient Landscape Design Manual](#) and the [COSD Water Conservation in Landscaping Ordinance](#), the [COSD Off-Street Parking Design Manual](#), the COSD Grading Ordinance, the Bonsall Design Guidelines, and the County's Climate Action Plan. All Plans shall be prepared by a California licensed Landscape Architect, Architect, or Civil Engineer, and include the following information:

- a. Indication of the proposed width of any adjacent public right-of-way, and the locations of any required improvements and any proposed plant materials to be installed or planted therein. The applicant shall also obtain an Encroachment Permit, and/or an Encroachment Maintenance and Removal Agreement permit approving the variety, location, and spacing of all trees and other landscape improvements proposed within said right(s)-of-way. A copy of these approved permits shall be submitted to PDS.
- b. A complete planting plan including the names, sizes, and locations of all plant materials, including trees, shrubs, and groundcover. Wherever appropriate, native or naturalizing plant materials shall be used which can thrive on natural moisture. These plants shall be irrigated only to establish the plantings. No non-native invasive plant species shall be used as identified by the California Invasive Plant Council, the California Exotic Pest Plant Council's List A-1, and those identified within Appendix H and J of the County's Water Efficient Landscape Design Manual.
- c. A complete watering system including the location, size, and type of all backflow prevention devices, pressure, and non-pressure water lines, valves, and sprinkler heads in those areas requiring a permanent, and/or temporary irrigation system.
- d. The watering system configuration shall indicate how water flow, including irrigation runoff, low head drainage, overspray or other similar conditions will not impact adjacent property, non-irrigated areas, structures, walkways, roadways or other paved areas, including trails and pathways by causing water to flow across, or onto these areas.
- e. Spot elevations of the hardscape, building and proposed fine grading of the installed landscape.
- f. The location and detail of all walls, fences, and walkways shall be shown on the plans, including height from grade and type of material. A lighting plan and light

- standard details shall be included in the plans (if applicable) and shall be in compliance with the [County's Light Pollution Code](#).
- g. No landscaping material or irrigation or other infrastructure shall be located within a proposed trail easement or designated pathway.
 - h. Additionally, the following items shall be addressed as part of the Landscape Documentation Package: Landscape Documentation Package submittals shall be compliant with all applicable components of the Conceptual Landscape Plan for Ocean Breeze Ranch, dated June 13, 2019, and submitted on August 5, September 6, 2019, and the Conceptual Landscape Plans for the Equestrian Center Entry Gates, dated June 27, 2019, and submitted on August 5, 2019. Plans shall be coordinated with and submitted based on the projects' phasing plan.
 - i. All common area and HOA Lot landscape irrigation shall be connected to dedicated landscape water service meters.
 - j. All Landscape Documentation Package submittals shall include on the title sheet, maintenance responsibilities, including brush management zones A and B, as described in Landscape Note 11 on Sheet L-2 of the Conceptual Landscape Plan.
 - k. Unless a letter from Rainbow Municipal Water District can be provided, indicating that their Reclamation Master Plan does not anticipate extending reclaimed water mains to within the basin containing the project site, irrigation plans shall show purple pipe for all common area landscapes with applicable District notes for future connection to a reclaimed system.
 - l. All applicable Landscape Documentation Package plans shall be compliant with the Tree Planting Summary shown on Sheet L-1 of the Conceptual Landscape Plans.
 - m. A Tree Preservation Plan shall be included as part of the Landscape Documentation Package plans to address methods of protecting existing vegetation to remain per the 'Existing Trees to Remain' notes on Sheet L-2 of the Conceptual Landscape Plans. Tree locations, based on a tree survey of existing trees to remain in conjunction with an arborist report (ISA-certified or ASCA registered), shall be identified on the plans.
 - n. All landscaping shall be compliant with the most current version of the projects' Fire Protection Plan, specifically Section 4.7 (Defensible Space and Vegetation Management).
 - o. Prior to final approval by PDS of all applicable Landscape Documentation Package plans, proof of North County Fire Protection Districts' approval of the most current set of plans, shall be provided.
 - p. All retaining walls and sound walls shall be screened from adjacent properties with a minimum 5' deep landscape buffer with vegetation appropriate to the surrounding area.

- q. All exterior slopes within HOA Lots, D, E J, K, Y, EE, and WW, and those created during road construction of Streets A, B, and improvements to West Lilac Road shall be planted to address the visual impacts to surrounding properties and as seen from public streets. Container stock shall be upsized one industry standard container size from that required by Section 87.418 of the Grading Ordinance and densities shall be increased by decreasing the 10' on center spacing identified in Section 87.418. Coordinate with Landscape Note 16 on Sheet L-2 of the Conceptual Landscape Plan. Densities shall be compliant with the Projects' Fire Protection Plan.
- r. Planting of County maintained storm water basins shall be compliant with County Flood Control requirements.
- s. All street trees shall be planted from a minimum 24" boxed container and located per Landscape Notes 8 and 9 on Sheet L-2 of the Conceptual Landscape Plan, and at quantities identified in the Tree Planting Summary on Sheet L-1.
- t. Brush management zones shall be shown on all landscape plans with notes, dimensions, and maintenance responsibilities as per Sheet L-2 of the Conceptual Landscape Plan.
- u. A Fencing and Wall plan shall be prepared for each applicable Landscape Documentation Package submitted per Sheet's L-9 and L-10 of the Conceptual Landscape Plan, dated June 13, 2019 and submitted on September 6, 2019, and the Conceptual Landscape Plan for the Equestrian Center Entry Gates, dated June 27, 2019, and submitted on August 5, 2019.
- v. All trails shall be shown on each applicable Landscape Documentation Package and shall be consistent with locations and landscape street sections shown on the Conceptual Landscape Plans, dated June 13, 2019 and submitted on August 5, 2019.
- w. Sight line distances shall be shown on all applicable Landscape Plans per Section 86.709 (c) (9) and 86.710 (a) (3) of the Water Conservation in Landscaping Ordinance. Maintenance notes and frequency of maintenance activities shall be shown on the plans and accounted for on the Certificate of Completion as required by Section 86.727 of the Ordinance.

DOCUMENTATION: The applicant shall prepare the Landscape Plans using the [Landscape Documentation Package Checklist](#) (PDS Form #404), and pay all applicable review fees. **TIMING:** Prior to approval of any plan, issuance of any permit, and prior to use of the premises in reliance of this permit, the Landscape Documentation Package shall be prepared and approved. **MONITORING:** The [PDS, LA] and [DPR, TC, PP] shall review the Landscape Documentation Package for compliance with this condition.

GRADING PERMIT: (Prior to approval of any grading and/or improvement plans and issuance of any Grading or Construction Permits).

19. PLN#1 - PLAN CONFORMANCE

INTENT: In order to implement the required mitigation measures for the project, the required Grading and Improvement Plans shall conform to the approved Conceptual Grading and Development Plan pursuant to [Section 87.207 of the County Grading Ordinance](#). **DESCRIPTION OF REQUIREMENT:** The Grading and Improvement Plans shall conform to the approved Conceptual Grading and Development Plan, which includes all of the following mitigation measures: Air Quality (Fugitive Dust, Blasting, Construction Architectural Coatings), Biological Resources (Biological Monitoring, Pre-Construction Surveys, Temporary Fencing, Open Space Signage & Permanent Fencing, Easement Avoidance, Breeding Season Avoidance), Cultural Resources (Temporary Fencing, Archaeological Site Capping, Pre-Grade Survey, Dust Control Plan, Archaeological Monitoring), Geological Resources (Soils Report, Stabilization Measures, Geotechnical Monitoring), Noise (Blasting Noise Plan, Temporary Construction Noise, Temporary Rock Crushing and Drilling, Vibration Impacts). All conditions, requirements, mitigation measures and information stated on the sheets of the plans shall be made conditions of the permit's issuance and shall be implemented pursuant to the adopted Mitigation Monitoring and Reporting Program (MMRP) of this Permit. No deviation of the requirements can be made without modification of this permit. **DOCUMENTATION:** The applicant shall submit the grading plans and improvement plans, which conform to the conceptual development plan for the project. **TIMING:** Prior to approval of any grading or improvement plan and prior to issuance of any grading or construction permit, the notes and items shall be placed on the plans as required. **MONITORING:** The [DPW, ESU, DPR, TC, or PDS, BD for Minor Grading] shall verify that the grading and/or improvement plan requirements have been implemented on the final grading and/or improvement plans as applicable. The environmental mitigation notes shall be made conditions of the issuance of said grading or construction permit.

20. AQ#1 - CONSTRUCTION EXHAUST EMISSIONS

INTENT: In order to mitigate for exhaust emissions during construction activities. **DESCRIPTION OF REQUIREMENT:** The project shall comply with the following Air Quality and Greenhouse Gas measures:

- a. The project shall require the construction contractor to provide a construction fleet that uses heavy-duty diesel-powered equipment equipped with Tier 3 diesel engines or better. An exemption from these requirements may be granted by the County in the event that the applicant documents that equipment with the required tier is not reasonably available and corresponding reductions in criteria air pollutant emissions are achieved from other construction equipment. Before an exemption may be considered by the County, the applicant shall be required to demonstrate that three construction fleet owners/operators in the San Diego Region were contacted and that those owners/operators confirmed Tier 3 equipment could not be located within the San Diego region.
- b. The project shall require the construction contractor to equip all heavy-duty diesel-powered construction equipment with diesel particulate filters (DPFs).

- c. Construction equipment shall be outfitted with best available control technology (BACT) devices certified by the California Air Resources Board. A copy of each unit's BACT documentation shall be provided to the County of San Diego at the time of mobilization of each applicable unit of equipment.

DOCUMENTATION: The applicant or designee shall comply with the Air Quality and Greenhouse Gas requirements of this condition. The applicant shall show compliance with this measure by providing the construction bid/estimate from the construction contractor that will be used. **TIMING:** Prior to approval of any grading and or improvement plans and issuance of any Grading or Construction Permits. **MONITORING:** The [DPW, PDCI] shall make sure that the grading contractor complies with the Air Quality requirements of this condition. The [DPW, PDCI] shall contact the [PDS, PPD] if the applicant fails to comply with this condition.

21. HAZ#1 - LEAD SURVEY

INTENT: In order to avoid hazards associated with lead based paint (LBP) and lead containing materials (LCM) to mitigate below levels of significance as established in the [County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance](#), the structure(s) identified on the approved plan set for demolition or remodel shall be surveyed for the presence of LBP/LCM because the structures were built prior to 1980. **DESCRIPTION OF REQUIREMENT:** A facility survey shall be performed to determine the presence or absence of ACMs in the structure(s) identified for demolition or remodel on the approved plan set. The survey shall be completed by a California Department of Health Services (DHS) certified lead inspector/risk assessor to determine the presence or absence of LBP and LCM located in the structure. The following conditions only apply if LBP and LCM are present:

- a. All LBP and LCM shall be managed in accordance with applicable regulations including, at a minimum, the hazardous waste disposal requirements (Title 22 California Code of Regulations [CCR] Division 4.5), the worker health and safety requirements (Title 8 California Code of Regulations Section 1532.1), and the State Lead Accreditation, Certification, and Work Practice Requirements (Title 17 CCR Division 1, Chapter 8).
- b. All LBP and LCM scheduled for demolition or disturbed during remodeling must comply with applicable regulations for demolition methods and dust suppression.

DOCUMENTATION: The applicant shall submit a letter or report prepared by a California DHS certified lead inspector/risk assessor to the [DEH HAZ MAT, APCD], which certifies that there was no LBP/LCM present, or all lead containing materials have been remediated pursuant to applicable regulations. **TIMING:** Prior to issuance of a grading or improvement permit (excluding demolition permit), the applicant shall comply with this condition. **MONITORING:** The [DEH HAZ MAT, APCD] shall review the report and any additional evidence for compliance with this condition. The [PDS, PPD] shall review the completed and stamped report and any additional evidence for compliance with this condition.

22. HAZ#2 - ASBESTOS SURVEY

INTENT: In order to avoid hazards associated with Asbestos Containing Materials (ACMs) and to mitigate below levels of significance as established by the [County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance](#), the structure(s) identified on the approved plan set for demolition or remodel shall be surveyed for the presence of ACMs because the structures were built prior to 1980. **DESCRIPTION OF REQUIREMENT:** A facility survey shall be performed to determine the presence or absence of ACMs in the structure(s) identified for demolition or remodel on the approved plan set. Suspect materials that will be disturbed by the demolition or renovation activities shall be sampled and analyzed for asbestos content or assumed to be asbestos containing. The survey shall be conducted by a person certified by Cal/OSHA pursuant to regulations implementing subdivision (b) of Section 9021.5 of the Labor Code and shall have taken and passed an EPA-approved Building Inspector Course.

- a. If ACMs are found present, they shall be handled and remediated in compliance with the San Diego County Air Pollution Control District Rule 361.145 – Standard for Demolition and Renovation.

DOCUMENTATION: The applicant shall submit to the [DEH HAZ MAT, APCD] a signed, stamped statement from the person certified to complete the facility survey indicating that the survey has been completed and that either regulated asbestos is present or absent. If regulated asbestos is present, the letter shall describe the procedures taken to remediate the hazard and certify that they have been remediated pursuant to code sections referenced above. **TIMING:** Prior to grading or improvement permit (excluding demolition permit), the applicant shall comply with this condition. **MONITORING:** The [DEH HAZ MAT, APCD] shall review the report and any additional evidence for compliance with this condition. The [PDS, PPD] shall review the completed and stamped report and any additional evidence for compliance with this condition.

23. HAZ#3 - STRUCTURE REMOVAL

INTENT: In order to comply with the proposed project design for PDS2016-TM-5615 the structure(s) identified on the approved plan set shall be removed or demolished. **DESCRIPTION OF REQUIREMENT:** The structure(s) as shown on the approved plan set shall be removed or demolished. A Demolition Permit shall be obtained from [PDS, BD]. Compliance with conditions HAZ#1 and HAZ#2 to determine the presence or absence of Lead Containing Materials and Asbestos Containing Materials shall be completed before the County can issue a Demolition Permit. **DOCUMENTATION:** The applicant shall submit to the [PDS, PPD] a signed stamped statement from a registered professional; Engineer, Surveyor, Contractor, which states, that the structures have been removed or demolished. The letter report shall also include before and after pictures of the area and structure. **TIMING:** Prior to grading or improvement permit, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPD] shall review the statement and, photos, and any additional evidence for compliance with this condition.

24. HAZ#4 - DEBRIS REMOVAL AND SOIL TESTING

INTENT: In order to comply with the County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance, and to follow the recommendation identified in the Limited Phase II Environmental Site Assessment (ESA)

for this project, the debris associated with removal of sheds, structures, and AST(s) shall be assessed. **DESCRIPTION OF REQUIREMENT:** A signed, stamped addendum to the Limited Phase II ESA shall be prepared by a Registered Engineer or Professional Geologist. The addendum shall include the following information or as modified by DEH:

- a. Documentation that the soil sampling occurred between six inches to 2-3 feet in depth.
- b. Findings which identify whether onsite soils in this location exceed regulatory screening levels for pesticides, petroleum, heavy metals, or other contaminants.
- c. If contaminated soils are detected, provide a letter from DEH stating that a VAP work plan has been prepared and approved to remediate contaminated soils.
- d. If contaminated soils are detected, provide a copy of the contract and a signed sealed statement from the Registered Engineer or Professional Geologist, which states that they will implement the VAP work plan. Grading required to implement the site remediation activities is permitted.
- e. Provide evidence that all required work has been fully incorporated into the Grading Plans if required to obtain a grading permit pursuant to the County Grading Ordinance 87.101 et. al.

DOCUMENTATION: Upon completion of the debris removal and soil test, the applicant shall submit copies of the assessment (and a work plan for soil remediation, if applicable) to the [PDS, PPD] for approval. **TIMING:** Prior to approval of any grading and/or improvement plans, issuance of any construction, building or any other permit, and prior to commencement of construction, or use of the property in reliance on this permit, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPD] shall review the report and any additional evidence for compliance with this condition. The work plan shall be approved by DEH.

BUILDING PERMIT: (Prior to approval of any building plan and the issuance of any building permit).

25. GHG#1 - SITE DESIGN

INTENT: In order to implement a sustainable project design that would minimize energy consumption, and air and greenhouse gas emissions. **DESCRIPTION OF REQUIREMENT:** The following design features shall be implemented on all Building Plans for the project.

- a. One Level 2 electric vehicle (EV) charging station shall be installed in all residential units (396 total stations installed).
- b. All street and area lighting installed shall be high-efficiency LED lighting or equivalent.

- c. The project shall install at least a 1,973 kilowatt solar photovoltaic (PV) system which is equivalent to 6,577 300-watt panels on residential buildings.
- d. The project shall provide areas for storage and collection of recyclables.
- e. The project will install only natural gas fireplaces within each residential unit.

DOCUMENTATION: The applicant shall comply with the requirements of this condition.

TIMING: Prior to approval of any building plan or the issuance of any building permit, these design measures shall be implemented on the building plans and landscape plans.

MONITORING: The [PDS, BPPR] shall make sure that the sustainable design measures are implemented on all building plans for the project.

26. GHG#2 - COUNTY CLIMATE ACTION PLAN

INTENT: In order to comply with the County's Climate Action Plan (CAP) measures, the project shall include the following features. **DESCRIPTION OF REQUIREMENT:** The project shall implement or install the following measures or features as required within Step 2 of the CAP Measure Consistency Checklist.

- a. **Measure 3:** Tankless electric or gas water heaters shall be installed at each residential unit.
- b. **Measure 4:** Low-flow faucets, kitchen faucets, toilets, and showers shall be installed at each residential unit with maximum flow rates of 1.5 gallons per minute at 60 psi. All appliances installed in residential units shall be ENERGY STAR certified.
- c. **Measure 5:** Rain barrels shall be installed at each residential unit if incentives or rebates are available, as determined through communication with County staff and the regional/local water district.
- d. **Measure 6:** A Landscape Document Package shall be submitted that complies with the County's *Water Conservation in Landscaping Ordinance* and demonstrates a 40 percent reduction in current Maximum Applied Water Allowance for outdoor use.
- e. **Measure 9:** Trees shall be planted on-site at a rate of two (2) trees per home. At a minimum, the project shall plant 792 total trees.

DOCUMENTATION: The applicant shall comply with the requirements of this condition.

TIMING: Prior to approval of any building plan or the issuance of any building permit.

MONITORING: The [PDS, LA] and [DPR, TC, PP] shall review the Landscape Plans for compliance with **Measure 6** of this condition. The [PDS, BPPR] shall verify that the Building Plans comply with **Measure 3, Measure 4, Measure 5, and Measure 9** of this condition.

27. PARKS#1 - PLDO COMPLIANCE - PRIVATE PARKS REVIEW

INTENT: Any private parks for which PLDO credit is to receive pursuant to PLDO Section 810.108 shall comply to park and recreational uses as defined within the County of San Diego PLDO. **DESCRIPTION OF REQUIREMENT:** Require the submittal of park plans associated with Private Linear Park (Lot L), Private Pocket Park (Lot I), Private Pocket Parks Lots (S/T) and Private Neighborhood Park (Lot W) to DPR for review and approval. **DOCUMENTATION:** Park plans associated with the Private Linear Park (Lot L), Private Pocket Park (Lot I), Private Pocket Parks Lots (S/T) and Private Neighborhood Park (Lot W) shall be submitted to DPR. Plans must include uses that are consistent with park and recreational uses as defined in the PLDO and with concept plans shown on the Ocean Breeze Ranch Conceptual Landscape Plans. **TIMING:** Prior to approval of any building plan or building permit in a particular Final Map unit and/or phase in which private park Private Linear Park (Lot L), Private Pocket Park (Lot I), Private Pocket Parks Lots (S/T) and Private Neighborhood Park (Lot W) are located. **MONITORING:** The [PDS, PPD] shall route the private park plans to [DPR, PP] for review. The [DPR, PP] shall review private park plans for compliance with this condition and make any recommendations that shall be implemented to ensure compliance. The [PDS, BPPR], shall verify that the building plans comply with this condition and the recommendations of [PDS, PPD] and [DPR, PP].

28. PARKS#2 - PUBLIC AND PRIVATE PARK PHASING

INTENT: In order to ensure that the public and private parks within each construction phase are constructed and operating prior to issuance of a building permit for 50 percent or more of the total number of dwelling units in a particular Final Map planning area, unit and/or phase. **DESCRIPTION OF REQUIREMENT:** No building permit shall be issued for any building that exceeds 50 percent of the total number of dwelling units in a particular Final Map planning area, unit and/or phase until the public and private parks within that particular Final Map planning area have been constructed and are operating. Pay the inspection fee(s) to [PDS, ZC] to cover the cost of DPR inspection(s) of the property to monitor compliance with this condition. In addition, submit a letter to [PDS, ZC] indicating who should be contacted to schedule the inspection(s). **DOCUMENTATION:** The applicant shall provide an accounting of the number of building permits issued within each Final Map planning area, unit and/or phase to [PDS, PPD] and [DPR, PP]. The applicant shall provide updated contact information and a receipt demonstrating payment of inspection fees [PDS, PPD]. **TIMING:** Prior to issuance of a building permit for 50 percent or more of the total number of dwelling units for a Final Map planning area, unit and/or phase. This condition shall be signed off on a permit-by-permit basis. **MONITORING:** The [PDS, ZC] shall process an invoice and collect the fees. The [DPR, PP], [PDS, PPD] shall review the evidence to verify compliance with this condition. [DPR, FEE].

OCCUPANCY: (Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).

29. GEN#4 - INSPECTION FEE

Intent: In order to comply with Zoning Ordinance Section 7362.e the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the [PDS, ZC] to cover the cost of inspection(s) of the property to monitor ongoing conditions associated

with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information [*PDS, PPD*]. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [*PDS, ZC*] shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

30. PLN#2 - SITE PLAN IMPLEMENTATION

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved Major Use Permit (PDS2016-MUP-16-012) plot plan and the building plans. This includes, but is not limited to: all parking areas trails, parks and driveways, installing all required design features, painting all structures with the approved colors, trash enclosures are properly screened, required and approved signage is installed and located properly, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [*PDS, BI*] and [*DPR TC, PP*] shall inspect the site for compliance with the approved Building Plans.

31. PLN#3 - PLOT PLAN IMPLEMENTATION

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved Major Use Permit (PDS2016-MUP-16-012) plot plan and the building plans. This includes, but is not limited to: improving all parking areas, trails, parks, and driveways; installing all required design features, painting all structures with the approved colors, trash enclosures are properly screened, required and approved signage is installed and located properly, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [*PDS, BI*] and [*DPR TC, PP*] shall inspect the site for compliance with the approved Building Plans.

32. BIO#12 - OPEN SPACE FENCING

INTENT: In order to protect the proposed open space easement from entry, and disturbance, permanent fencing shall be installed. **DESCRIPTION OF REQUIREMENT:** Open space fencing or walls shall be placed along the biological open space boundary as indicated on Figure 20 of the Biological Resources Technical Report (August 7, 2019) prepared by Helix Environmental Planning. The fencing design shall consist of three-strand wire fencing, split rail fencing or other fencing type approved by the Director of

Planning & Development Services. **DOCUMENTATION:** The applicant shall install the fencing as indicated above and provide site photos and a statement from a California Registered Engineer, or licensed surveyor that the open space fencing has been installed. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the fencing shall be installed. **MONITORING:** The [PDS, PPD] shall review the photos and statement for compliance with this condition.

33. BIO#13 - PERMANENT EXCLUSIONARY FENCING – ARROYO TOAD

INTENT: In order to protect the arroyo toad, permanent fencing shall be installed along the northern limits of Planning Area 2 and Planning Area 3, or as deemed appropriate by the agencies during Section 7 consultation for CWA Section 404 permitting. **DESCRIPTION OF REQUIREMENT:** Permanent exclusionary fencing for the protection of the arroyo toad shall be placed along the northern limits of Planning Area 2 and Planning Area 3, or as deemed appropriate by the agencies during Section 7 consultation for CWA Section 404 permitting. **DOCUMENTATION:** The applicant shall install the fencing as indicated above under the supervision of a County approved biologist and provide site photos and a statement from a California Registered Engineer, or licensed surveyor that the permanent exclusionary fencing has been installed along the northern limits of Planning Area 2 and Planning Area 3, or as deemed appropriate by the agencies during Section 7 consultation fo CWA Section 404 permitting. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, for Planning Area 2 and Planning Area 3, the fencing shall be installed. **MONITORING:** The [PDS, PPD] shall review the photos and statement for compliance with this condition.

34. CULT#1 - CULTURAL RESOURCES MONITORING REPORT

INTENT: In order to ensure that the Archaeological Monitoring occurred during the earth-disturbing activities, a final report shall be prepared. **DESCRIPTION OF REQUIREMENT:** A final Archaeological Monitoring and Data Recovery Report that documents the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program shall be prepared. The report shall include the following items:

- a. DPR Primary and Archaeological Site forms.
- b. Daily Monitoring Logs
- c. Evidence that all cultural materials collected during the survey, testing, pre-grade survey, and archaeological monitoring program have been conveyed as follows:
 1. All prehistoric cultural materials shall be curated at a San Diego curation facility or a culturally affiliated Tribal curation facility that meets federal standards per 36 CFR Part 79, and, therefore, would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records, including title, shall be transferred to the San Diego curation facility or culturally affiliated Tribal curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the prehistoric archaeological materials have been received and that all fees have been paid.

or

Evidence that all prehistoric materials collected during the archaeological monitoring program have been returned to a Native American group of appropriate tribal affinity. Evidence shall be in the form of a letter from the Native American tribe to whom the cultural resources have been repatriated identifying that the archaeological materials have been received.

2. Historic materials shall be curated at a San Diego curation facility as described above and shall not be curated at a Tribal curation facility or repatriated. The collections and associated records, including title, shall be transferred to the San Diego curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the historic materials have been received and that all fees have been paid.
- d. If no cultural resources are discovered, a Negative Monitoring Report must be submitted stating that the grading monitoring activities have been completed. Grading Monitoring Logs must be submitted with the negative monitoring report.

DOCUMENTATION: The applicant's archaeologist shall prepare the final report and submit it to the [PDS, PPD] for approval. Once approved, a final copy of the report shall be submitted to the South Coastal Information Center (SCIC) and any culturally-affiliated Tribe who requests a copy. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance on this permit, the final report shall be prepared. **MONITORING:** The [PDS, PPD] shall review the final report for compliance this condition and the report format guidelines. Upon acceptance of the report, [PDS, PPD] shall inform [PDS, LDR] and [DPW, PDCI], that the requirement is complete, and the bond amount can be relinquished. If the monitoring was bonded separately, then [PDS, PPD] shall inform [PDS or DPW FISCAL] to release the bond back to the applicant.

35. FIRE#1 - FIRE PROTECTION PLAN

INTENT: In order to assure fire safety in compliance with the [County of San Diego Fire Code Sections 96.1.4703 and 96.1.4707](#), the site shall be maintained in conformance with the approved Residential Fire Protection Plan 7/11/19. **DESCRIPTION OF REQUIREMENT:** The following measures approved in the Residential Fire Protection Plan (FPP) shall be implemented and maintained:

- a. The stipulation that the Interim Evacuation Route (IER) will only be used for secondary access for a period of no greater than three (3) years after the first permit, after which, Dulin Road will be improved to its intersection located at the easterly boundary of Planning Area 3, to a graded width of twenty-eight feet (28') with twenty-four feet (24') of soil-cement with a minimum structural section of twelve inches (12"), per Geosoils Report and as shown on the approved TM/PGP and Fire Protection Plan revised July 11, 2019. All of the above to the satisfaction of the DPW Materials Lab, Director of PDS, and North County Fire Protection District.

- b. No additional gates or speed control devices are permitted for the Interim Evacuation Route and Dulin Road within the project site, except for the gates depicted on the approved Tentative Map and Preliminary Grading Plan, unless waived and approved by the North County Fire Protection District and by the Director of Planning and Development Services.
- c. Development shall install a redundant or looped water supply with a minimum of 2500 GPM in the main and 1500 GPM at the hydrant to be certified by the water purveyor.
- d. Vegetation management zones of 100 feet from all structures shall always be maintained
- e. A 20-foot-wide clearance of flammable vegetation, up to six inches high, be provided on sides of all roads and driveways.
- f. A 30-foot-wide clearance of flammable vegetation, up to six inches high, be provided along the looped access Road A.
- g. Fallow orchards shall be removed.
- h. Interior access roads, as noted in this fire protection plan, shall conform to San Diego County Private or Public Road Standards, to include design standards for cul-de-sac turn arounds and dead-end roadway length. Remote activation shall include an Opticom strobe sensor and a secondary means of remote activation to the satisfaction of the North County Fire Protection District.
- i. A remote means of activation of gates installed across this secondary access road, capable of remote activation/operation by emergency service personnel, will be required.
- j. The water supply shall be public, redundant or looped, with the capacities specified in the fire protection plan. Hydrant spacing to conform to current California Fire Code Requirements.
- k. Fire Department access roads and fire hydrants must be installed and serviceable prior to issuance of building permits.

DOCUMENTATION: The applicant shall provide documentation (inspection report or photographs) that demonstrates compliance with the Residential FPP. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Residential FPP requirements shall be implemented. **MONITORING:** The [PDS, PPD] shall verify that the mitigation measures have been initially implemented pursuant to the approved building plans and the fire protection plan.

36. HAZ#5 - CERTIFICATION OF COMPLETION

INTENT: In order to verify that all of the site remediation work was completed pursuant to the [Site Assessment and Mitigation Program \(SAM\)](#), a closure letter shall be provided.

DESCRIPTION OF REQUIREMENT: All soil remediation and shall be completed, and all

contamination hazards removed pursuant to the Department of Environmental Health (DEH), [Voluntary Assistance Program \(VAP\)](#) or the DEH, [Local Oversight Program \(LOP\)](#) as determined. **DOCUMENTATION:** The applicant shall provide the "Closure Letter, or Concurrence Letter," to the [PDS, PPD] that the soil remediation has been completed to the satisfaction of the [DEH, SAM]. If the Director of PDS determines the remediation work will take an enormous amount of time that would be detrimental to ultimate project implementation, approval of other engineering plans and/or issuance of other project permits may be permitted as long as there is no risk of effects to public health and safety. Concurrence from the [DEH, SAM] is required, and the applicant shall enter into a secured agreement for the completion of the remediation work. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the applicant shall comply with this condition. **MONITORING:** The [DEH, SAM], shall verify completion of the required remediation, and shall issue a Closure Letter to the applicant and a copy to the [PDS, PPD]. The [PDS, PPD] shall review the "Closure Letter," for compliance with this condition.

37. LNDSCP#2 - CERTIFICATION OF INSTALLATION

INTENT: In order to provide adequate Landscaping that carries through with the approved plans, and to comply with the [COSD Water Efficient Landscape Design Manual](#), the [COSD Water Conservation in Landscaping Ordinance](#), the [COSD Parking Design Manual](#), the COSD Grading ordinance, the Bonsall Design Guidelines, and the requirements of the Climate Action Plan, all landscaping shall be installed. **DESCRIPTION OF REQUIREMENT:** All of the landscaping shall be installed pursuant to each of the approved Landscape Documentation Package's for the Project. This does not supersede any erosion control plantings that may be applied pursuant to [Section 87.417 and 87.418 of the County Grading Ordinance](#). These areas may be overlapping, but any requirements of a grading plan shall be complied with separately. The installation of the landscaping can be phased pursuant to construction of specific buildings or phases to the satisfaction of the [PDS, LA, PPD] [DPR, TC, PP]. **DOCUMENTATION:** The applicant shall submit to the [PDS LA, PPD], a Landscape Certificate of Completion from the project California licensed Landscape Architect, Architect, or Civil Engineer, that all landscaping has been installed as shown on the approved Landscape Documentation Package. The applicant shall prepare the Landscape Certificate of Completion using the Landscape Certificate of Completion Checklist, PDS Form #406. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the landscaping shall be installed. **MONITORING:** The [PDS, LA] shall verify the landscape installation upon notification of occupancy or use of the property, and notify the [PDS, PPD] [DPR, TC, PP] of compliance with the approved Landscape Documentation Package.

PHASE 2 - DULIN ROAD: *(Prior to Development and/or Improvement of Dulin Road)*

38. CULT#2 - FAIR SHARE CONTRIBUTION TOWARDS REGIONAL ETHNO-HISTORIC STUDY

INTENT: In order to mitigate for impacts to CA-SDI-776 Locus A and CA-SDI-8237, that are sensitive resources to the Native American community, make a fair share contribution towards a regional ethno-historic study. **DESCRIPTION OF REQUIREMENT:** A fair

share contribution in the amount of \$50,000 shall be made into an account held in trust by a third-party manager. The fund shall include the following:

- a. An agreement for the preparation of a regional study for the Morro Hill area when funding is 100 percent available. The agreement must identify the entity responsible for the management of the fund, rate of return, and annual management fees. The agreement must be reviewed and approved by the County of San Diego prior to implementation.
- b. Annual reporting to the County of San Diego on the status of the fund is required. The annual report shall include the balance of the fund and an accounting of projects that have contributed to the fund. Project information shall include the project name, project number, condition number and when fair share contributions were made.

DOCUMENTATION: A copy of the implemented agreement shall be submitted to the [PDS, PPD] for approval. **TIMING:** Prior to development and/or improvement of Dulin Road. **MONITORING:** The [PDS, PPD] shall review the implemented agreement for compliance this condition.

ONGOING: *(Upon establishment of use the following conditions shall apply during the term of this permit).*

39. AQ#2 - INFORMATION DISCLOSURE

INTENT: In order to notify future residents of existing adverse effects and sustainable practices. **DESCRIPTION OF REQUIREMENT:** The following design features shall be implemented throughout the duration of the project.

- a. Disclosure statements shall be provided to all new or future residents that the existing Equestrian Facility operations may generate adverse odors typical of an equestrian or agricultural use.
- b. Provide literature to new residents promoting recycling and discussing the recycling options provided on-site.

DOCUMENTATION: The applicant shall comply with the requirements of this condition. **TIMING:** Disclosure statements shall be provided to all prospective residents; all new residents shall be provided with information material upon move-in. **MONITORING:** The [DEH, LEA] shall make sure that the project complies with this condition.

40. NOISE#1 - ON-GOING SOUND LEVEL COMPLIANCE

INTENT: In order to comply with the applicable sections of Title 3, Division 6, Chapter 4 (County of San Diego Noise Ordinance), the site shall comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements:

- a. Major Use Permit associated activities shall comply with the one-hour average sound level limit property line requirement pursuant to the County Noise Ordinance, Section 36.404.
- b. The operations of any mechanical unit associated with this Major Use Permit shall conform to the daytime and nighttime sound level limits for uses pursuant to Section 36.404.
- c. All mechanical equipment may incorporate (if needed for noise ordinance compliance) noise reducing measures such as, but not limited to, screen walls, noise barriers, increased setbacks to the property line, placement of equipment behind structures, etc.

DOCUMENTATION: The property owner(s) and applicant shall conform to the ongoing requirements of this condition. Failure to conform to this condition may result in disturbing, excessive or offensive noise interfering with a person's right to enjoy life and property and is detrimental to the public health and safety pursuant to the applicable sections of Chapter 4. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, CODES] is responsible for enforcement of this permit.

41. PLN#4 - SITE CONFORMANCE

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s). This includes but is not limited to maintaining the following: all parking, trails, parks and driveways areas, watering all landscaping at all times, painting all necessary aesthetics design features, and all lighting wall/fencing and required signage. Failure to conform to the approved plot plan(s); is an unlawful use of the land and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

42. PLN#5 - ACCESSORY USES

INTENT: A Minor Deviation or Modification to a Site Plan is not required for any building, structure or projection listed in Section 4835 or any use listed in the Accessory Use Regulations, section 6150-6199 (or as otherwise referenced), provided the building, structure, or projection or use meets the specific accessory use setbacks in the Site Plan and meets all other conditions and restriction in the Site Plan. This condition is intended to comply with Zoning Ordinance Section 7175, ensuring the ability to allow for structures as detailed in this section without Minor Deviation or Modification. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s); should any accessory uses be proposed that do not meet the

requirements as detailed in the Zoning Ordinance sections listed above, the property owner shall be responsible for obtaining all necessary permits. **DOCUMENTATION:** None. The property owner and permittee shall conform to the Zoning Ordinance requirements for Accessory Uses as detailed above and within the County Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

43. FIRE#2 - ON-GOING FIRE PROTECTION

INTENT: In order to comply with the [County of San Diego Fire Code Sections 96.1.4703 and 96.1.4707](#), the site shall comply with the approved Fire Protection Plan (FPP) 7/11/19. **DESCRIPTION OF REQUIREMENT:** The following measures approved in the Residential FPP shall be implemented and maintained:

- a. All vegetated areas on the project site shall be maintained.
- b. Maintenance of vegetation management zones throughout entire community to maintain the required 100' of defensible space" and "maintenance of prescribed clearance along roadways, as outlined in the approved Residential Fire Protection Plan dated 7/11/19 .

DOCUMENTATION: The applicant shall comply with the requirements of the Residential FPP and this condition for the life of this permit. **TIMING:** Upon establishment of the use, the conditions of the Residential FPP shall be complied with for the term of this permit. **MONITORING:** The [PDS, PPD] shall verify that the mitigation measures have been implemented pursuant to the approved building plans and the Residential FPP. The [PDS, Code Enforcement Division] is responsible for enforcement of this permit. The [fire agency] shall be responsible for long-term implementation of fire clearing requirements.

SITE PLAN FINDINGS

- a. That the proposed development meets the intent and specific standards and criteria prescribed in Sections 5750 to 5799 of the Zoning Ordinance because the development is compatible with adjacent land uses and meets the intent of the Bonsall Design Guidelines.
- b. That any applicable standards or criteria waived by the Director pursuant to Section 7158d. have been or will be fulfilled by the condition or conditions of a Use Permit or Variance. No standards or criteria have been waived.

MAJOR USE PERMIT FINDINGS

Pursuant to Section 6600 Planned Development Standards of the Zoning Ordinance, the following findings in support of the granting of the Major Use Permit are made:

(a) *The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to*

1. *Harmony in scale, bulk, coverage, and density*

The Ocean Breeze Ranch project proposes 396 units on a site that is designated by the County of San Diego General Plan for a maximum of 402 dwelling units. Regulatory and environmental constraints, including the County's planned Draft North County MSCP, Resource Protection Ordinance, and Conservation Subdivision requirements of the Subdivision Ordinance preclude a development plan which would impact the entire site. The Project will preserve 953 acres of the 1,403-acre project site within a limited use easement and a biological open space easement. Both easements will be preserved in perpetuity. To conform with Planned Development Area and the Conservation Subdivision regulations the project is designed to be clustered to avoid biological and natural resources. The project is required to conserve approximately 789 acres of the approximately 1,403 site. The project will set aside a total of 953 acres (68 percent) of the project site for the protection of biological and natural resources. 833 acres will be preserved by a biological open space easement and 120 acres will be protected by a limited use easement within the existing equestrian facility and within areas of PA 3 To accomplish a lot count similar to what is allowed by General Plan and to meet the Conservation Subdivision requirements, the project's design calls for a consolidated development footprint of 311 acres (22% of the overall property). The General Plan allowed density of the proposed project is 402 dwelling units and the project proposes 396 dwelling units.

The project proposes preservation of 833 acres as biological open space. A large portion of this open space occurs adjacent to West Lilac Road, the project's most significant frontage onto an existing roadway. As a result, the project includes a wide buffer between existing adjacent properties and the new project. In addition to the buffering effect of preserved open space, all ridges and the property's south-facing slopes along West Lilac will not be developed. The result is substantial screening of the project's primary development massing in Planning Areas 1 and 2 from public views along West Lilac. North of the site, the San Luis Rey River valley contains contiguous vegetation and tree cover, which serves to almost entirely shield the proposed project from view for drivers travelling along SR-76.

Properties in the nearby community represent a wide mix of single-family residences, agricultural properties and smaller equestrian facilities. Houses vary widely, ranging from small homes on small lots, to larger homes on estate-sized lots. The Ocean Breeze Ranch residential project proposes three separate single-family housing types with a range of house and lots sizes, along with multiple architectural designs, resulting in an overall project design which complies with the Bonsall Design Guidelines.

The proposed project incorporates 15.7 acres of public and private park areas for active and passive recreation, 45 acres of common open space areas, and 5.1 miles of trails and walkways, and approximately 4 miles of pedestrian sidewalks to promote walkability. Where possible, existing mature trees will be retained. In addition, new landscaping is proposed along project roadways, in parks, on slopes between homes and at the project perimeter. The retained trees and new landscaping will assist in softening the visual effects of the newly built community after construction, helping the new landforms to blend with the existing topography and community.

2. *The availability of public facilities, services, and utilities*

The Rainbow Municipal Water District provided water and sewer Service Availability Forms for the proposed project which indicates that there is adequate water and sewer capacity and service for the proposed project. The North County Fire Protection District has indicated that there are adequate services and acceptable response time for the proposed project. The Bonsall Unified School District provided a Service Availability Form, indicating that schools of the district can accept the additional students which would be generated by the project.

3. *The harmful effect, if any, upon desirable neighborhood character:*

The project's development footprint has been intentionally placed in locations which will be largely shielded from public view by existing topography including hillsides and ridges. The entirety of Planning Areas 2 and 3, which represent 220.1 acres (70% of the development footprint) cannot be seen from West Lilac, the nearest public roadway, due to intervening ridges. Planning Area 1 is only partially visible from West Lilac, also due to ridges which block views of this area of the project. The placement of development areas of the project using screening provided by natural topography has been deliberate, in order to assist in screening the project from the surrounding vicinity.

Measures which have been applied to avoid or reduce visual impacts to the nearby community include: varied residential architectural styles; integration of rural design elements such as wood, wrought iron, and stone building materials; preservation of 833 acres of biological open space which buffers existing properties from the new project; 15.7 acres of park and 45 acres of common open space dispersed throughout the site to promote recreational and walkable activities. A Visual Impact Analysis was prepared and concluded that with the incorporation of design measures, visual impacts would be less than significant. Views of the site from surrounding public vantage points would not be significantly impacted.

4. *The generation of traffic and the capacity and physical character of surrounding streets:*

The Traffic Impact Study (TIS) determined the project will generate 3,990 average daily trips (ADT). The TIS analyzed 20 intersections, 18 county road segments, and six state highway segments in the vicinity to evaluate the Level of Service (LOS) for existing, existing plus project, and cumulative conditions (Figure 25). The TIS determined the project will not result in any direct significant impacts beyond what was included in the GPU EIR to intersections or road segments with the implementation of improvements and mitigation measures.

The project's direct and cumulative traffic impacts and recommended mitigation measures are summarized below.

A Traffic Impact Analysis was prepared and concluded that the project will not have a significant impact to surrounding roads with the proposed mitigation measures. The project will form a Road Maintenance Agreement to ensure the private roads are maintained; improve W. Lilac Road to public road standards; and install a traffic signal at the intersection of Old Highway 395 and W. Lilac Road. The project will pay the Transportation Impact Fee (TIF) to mitigate cumulative traffic impacts. As of 2019, the current estimated amount of TIF payment and San Diego Association of Governments (SANDAG) Regional Transportation Congestion Improvement Program (RTCIP) payment for the project is \$2,200,235.

The applicant has included a design feature at West Lilac Road and Camino Del Rey that will extend the existing right turn lane to allow for more vehicles to queue and is included as a condition of approval. The applicant has also volunteered to install a traffic calming device, consisting of a paved raised crosswalk wide enough to accommodate a golf cart to provide for safe crossing of Dulin Road by members of the Rancho Monserrate community. This design feature has been added as a condition of approval.

The proposed public and private roadways would include pathways and bicycle lanes which are compatible with the physical character of the surrounding streets.

5. *The suitability of the site for the type and intensity of use or development, which is proposed:*

The General Plan considered and approved the suitability of this site for the maximum number of units. The proposed project respects the maximum allowable number of units projected for the site by the General Plan. Therefore, the site is considered suitable for the type and intensity of the proposed development project.

In addition to the foregoing, the proposed development intensity is consistent with other recently approved and built projects in the general vicinity.

6. *Any other relevant impact of the proposed use:*

None.

- (b) *The impacts, as described in Findings (a) above, and the location of the proposed use will be consistent with the San Diego County General Plan:*

A residential development located within the Bonsall Community Plan is consistent with the goals and policies of the County of San Diego General Plan. The project provides public and private recreational amenities, connects with existing and proposed infrastructure, promotes walkability through the proposed trail network, has adequate services to serve the project, and is within the density requirements of the General Plan.

- (c) *That the requirements of the California Environmental Quality Act have been complied with:*

The project has been reviewed for compliance with CEQA Guidelines and the project qualifies for an exemption from additional environmental review pursuant to CEQA Guidelines Section 15183 (Attachment I). CEQA Section Guidelines Section 15183 provides an exemption from additional environmental review for projects that are consistent with the development density established by the General Plan and as long as there are no project-specific impacts beyond those analyzed in the GPU EIR that was certified (i.e., peculiar impacts). For the proposed project, the planning level document is the General Plan Update EIR, certified by the Board of Supervisors on August 3, 2011. Additional environmental review is only for project-specific significant effects which are specific to the project or its site. Once certain mitigation measures from the GPU EIR are incorporated, there will not be any new significant effects on the environment. Ocean Breeze Ranch would not cause any significant effects on the environment with mitigation measures incorporated.



ORDINANCE COMPLIANCE NOTIFICATIONS: The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(RWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control [Ordinance No. 10410](#) and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Quality Control Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below:

<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

STORMWATER COMPLIANCE NOTICE: Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to [County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410](#) (N.S.), dated February 26, 2016 and BMP Design Manual. These requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

DRAINAGE: The project shall be in compliance with the County of San Diego [Flood Damage Prevention Ordinance](#) No. 10091, adopted December 8, 2010.

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill, pursuant to [Section 87.201 of Grading Ordinance](#).

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact PDS Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate County requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. **Deer Springs Road, Buena Creek Road South, Santa Fe Avenue, Twin Oaks Valley Road, Monte Vista Drive and Mountain Meadow Road** are shown as roads on the Mobility Element of the County General Plan. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to [County TIF Ordinance number 77.201 – 77.223](#). The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

COMMITMENT FOR CAPACITY AND LIST OF FEES: A commitment for capacity to serve the proposed development and list of required fees (per County Ordinance Number 9146) will be provided by [SDCSD] at time of building permit issuance.

PAY DISTRICT FEES: The developer shall pay all [SDCSD] fees in effect at time of issuance of the Wastewater Discharge Permit.

PAY FAIR SHARE COSTS: Prior to issuance of the Wastewater Discharge Permit, the developer shall pay all fair share costs attributable to third party reimbursement agreement(s) associated with this project that may be in effect at time of permit issuance.

INDUSTRIAL WASTEWATER DISCHARGE PERMIT FROM CITY: If required, the developer shall obtain an Industrial Wastewater Discharge Permit from the City, as directed by [DPW WWM]. For information, contact Dan Gutierrez at (858) 654-4118.

NOTICE: The subject property is known to contain Coastal sage scrub plant community. Such plant community is habitat for the coastal California gnatcatcher. The Federal government has listed the gnatcatcher as a threatened species under the Federal Endangered Species Act of 1973 (16 U.S.C. Section 1531 et seq.). THE LISTING MAY RESULT IN AN APPLICANT'S INABILITY TO PROCEED WITH HIS/HER PROJECT WITHOUT A PERMIT FROM THE FEDERAL GOVERNMENT IF THE SPECIES OR ITS HABITAT ARE PRESENT ON THE PROJECT SITE. It is advisable to contact the United States Fish and Wildlife Service to determine the applicability of the prohibitions under the Act to each applicant's property.

NOTICE: The subject property contains wetlands, a lake, a stream, and/or waters of the U.S. which may be subject to regulation by State and/or federal agencies, including, but not limited to, the Regional Water Quality Control Board, U.S. Army Corps of Engineers and the California Department of Fish and Wildlife. It is the applicant's responsibility to consult with each agency to determine if a permit, agreement or other approval is required and to obtain all necessary permits, agreements or approvals before commencing any activity which could impact the wetlands, lake, stream, and/or waters of the U.S. on the subject property. The agency contact information is provided below.

U.S. Army Corps of Engineers: 6010 Hidden Valley Rd, Suite 105, Carlsbad, CA 92011-4219; (858) 674-5386; <http://www.usace.army.mil/>

Regional Water Quality Control Board: 9174 Sky Park Court, Suite 100, San Diego, CA 92123-4340; (858) 467-2952; <http://www.waterboards.ca.gov/sandiego/>

California Department of Fish and Wildlife: 3883 Ruffin Rd., San Diego, CA 92123; (858) 467-4201; <http://www.dfg.ca.gov/>

NOTICE: The subject property contains habitat which may be used for nesting by migratory birds. Any grading, brushing or clearing conducted during the migratory bird breeding season, February 1 – August 31, has a potential to impact nesting or breeding birds in violation of the Migratory Bird Treaty Act. The applicant may submit evidence that nesting or breeding migratory birds will not be affected by the grading, brushing or clearing to these agencies: California Department of Fish and Wildlife, 3883 Ruffin Rd., San Diego, CA 92123, (858) 467-4201, <http://www.dfg.ca.gov/>; and United States Fish and Wildlife Service, 6010 Hidden Valley Rd, Carlsbad, CA 92011-4219, (760) 431-9440, <http://www.fws.gov/>.

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

NOTICE: The project will be required to pay Planning & Development Services Mitigation Monitoring and Condition Review Fee. The fee will be collected at the time of the first submittal for Condition Satisfaction to PDS, including Mitigation Monitoring requests. The amount of the fee will be determined by the Fee Ordinance in effect at the time of the first submittal and is based on the number of PDS conditions that need to be satisfied. The fee amount will only be paid one time for those conditions that are indicated with the **[PDS, FEE]** designator. The fee will not apply to subsequent project approvals that require a separate submittal fee, such as Revegetation and Landscape Plans, Resource (Habitat) Management Plans, Habitat Loss Permits, Administrative Permits, Site Plans, and any other discretionary permit applications.

NOTICE: Time Extension requests cannot be processed without updated project information including new Department of Environmental Health certification of septic systems. Since Department of Environmental Health review may take several months, applicants anticipating the need for Time Extensions for their projects are advised to submit applications for septic certification to the Department of Environmental Health several months prior to the expiration of their Tentative Maps.

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the [County Noise Ordinance 36.401](#) et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-

1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

COMPLIANCE INSPECTION: In order to comply with Zoning Ordinance Section 7362.e the County shall inspect the Use Permit property for compliance with the terms of this Use Permit. The County Permit Compliance Officer will perform a site inspection and review the on-going conditions associated with this permit. The inspection shall be scheduled no later than the six months subsequent to establishing the intended use of the permit. If the County determines the applicant is not complying with the Major Use Permit terms and conditions the applicant shall allow the County to conduct follow up inspections more frequently than once every twelve months until the County determines the applicant is in compliance. The Property Owner/Permittee shall allow the County to inspect the property for which the Major Use Permit has been granted, at least once every twelve months, to determine if the Property Owner/Permittee is complying with all terms and conditions of the Use Permit. This requirement shall apply during the term of this permit.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			

Real Property Division	RP		
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APPEAL PROCEDURE: Within ten calendar days after the date of this Decision of the Planning Commission, the decision may be appealed to the Board of Supervisors in accordance with [Section 7366 of the County Zoning Ordinance](#). An appeal shall be filed with the Director of Planning & Development Services or by mail with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Director until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

COUNTY OF SAN DIEGO PLANNING COMMISSION
 MARK WARDLAW, SECRETARY

BY:

Darin Neufeld, Chief
 Project Planning Division
 Planning & Development Services

cc:

Ocean Breeze Ranch LLC; 5820 W Lilac Rd, Bonsall, CA 92003; P: (949) 494-0200

email cc:

Bronwyn Brown, Planning Manager, Project Planning, PDS
 Ken Brazell, Team Leader, Land Development/Engineering, PDS
 Marcus Lubich Park Project Manager, DPR
 Bonsall Community Sponsor Group
 Fallbrook Community Planning Group & Design Review Group
 I-15 Design Review Group

Attachment D
FORM OF DECISION APPROVING
PDS2016-MUP-16-013



County of San Diego
PLANNING & DEVELOPMENT SERVICES

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December 13, 2019

PERMITEE: OCEAN BREEZE RANCH LLC
MAJOR USE PERMIT: PDS2016-MUP-16-013
E.R. NUMBER: PDS2016-ER-16-02-006
PROPERTY: 5820 WEST LILAC ROAD, BONSALE
APN: 124-150-34, 127-271-02

DECISION OF THE PLANNING COMMISSION

This Major Use Permit for PDS2016-MUP-16-013 consists of seventeen (17) sheets including site plan, and elevations dated November 8, 2019. This permit authorizes a private equestrian facility consisting primarily of previously constructed buildings and structures with a maximum of 400 horses allowed at any one time. No public use of the equestrian center is authorized under this permit. The equestrian facility will consist of 203.61 acres and will include barns, farm employee housing, wells, animal enclosures/shade structures, pastures, exercise arenas, training arenas, a therapy pool, and an equipment maintenance shop. This permit authorizes the proposed use pursuant to Section 3130 of the Zoning Ordinance.

The granting of this permit also approves the Preliminary Grading Plan dated November 8, 2019 consisting of eighteen (18) sheets. In accordance with the [Section 87.207 of the County Grading Ordinance](#), Environmental Mitigation Measures or other conditions of approval required and identified on this plan, shall be completed or implemented on the final engineering plan before any improvement or grading plan can be approved and any permit issued in reliance of the approved plan. Any Substantial deviation therefrom the Preliminary Grading Plan may cause the need for further environmental review. Additionally, approval of the preliminary plan does not constitute approval of a final engineering plan. A final engineering plan shall be approved pursuant to [County of San Diego Grading Ordinance \(Sec 87.701 et. al.\)](#).

MAJOR USE PERMIT EXPIRATION: This Major Use Permit shall expire on **December 13, 2021** at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Major Use Permit has commenced prior to said expiration date.

SPECIFIC CONDITIONS: Compliance with the following Specific Conditions shall be established before the property can be used in reliance upon this Major Use Permit. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: *(Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).*

1. GEN#1 - FINAL MAP RECORDATION

INTENT: In order to comply with the approved project requirements. **DESCRIPTION OF REQUIREMENT:** The applicant shall record the respective Final Map(s) for Planning Area 1, Planning Area 2, and Planning Area 3 of PDS2016-TM-5615. **DOCUMENTATION:** The applicant shall provide evidence to *[PDS, PPD]* that the respective Final Map(s) for Planning Area 1, Planning Area 2, and Planning Area 3 of PDS2016-TM-5615 have been recorded prior to use of the unit in reliance of this permit. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit, per Final Map Planning Area, and prior to use in reliance of this permit, the respective Final Map(s) of Planning Area 1, Planning Area 2, and Planning Area 3 of PDS2016-TM-5615 shall be recorded. **MONITORING:** The *[PDS, PPD]* shall verify that Final Map(s) for Planning Area 1, Planning Area 2, and Planning Area 3 of PDS2016-TM-5615 have been recorded.

2. GEN#2 - COST RECOVERY

INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide evidence to Planning & Development Services, Zoning Counter, which shows that all fees and trust account deficits have been paid. No permit can be issued if there are deficit trust accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and trust account deficits shall be paid. **MONITORING:** The *[PDS Zoning Counter]* shall verify that all fees and trust account deficits have been paid.

3. GEN#3 - RECORDATION OF DECISION

INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an "all-purpose acknowledgement" and return the original recordation form to PDS. **DOCUMENTATION:** Signed and notarized original recordation form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The *[PDS Zoning Counter]* shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

4. HAZ#1. MANURE MANAGEMENT AND FLY/VECTOR CONTROL PLAN

INTENT: In order to manage manure and avoid hazards associated with vectors and to comply with the project design, a Manure Management and Fly/Vector Control Plan shall be prepared. **DESCRIPTION OF REQUIREMENT:** A Manure Management and Fly/Vector Control Plan shall be prepared and shall include but is not limited to the following:

- a. Daily removal of manure from stables;
- b. Non-leak valves for troughs;
- c. Properly graded earth surfaces in paddocks and corrals for proper drainage;
- d. Weed control for sun penetration;
- e. Rodent baits; and
- f. Rodent-proof feed containers.
- g. *Define standing water as ½" or greater.*
- h. Keep trash dumpsters in shady locations and/or be prepared to increase trash collection to twice weekly during periods of hot weather when fly development occurs faster.

DOCUMENTATION: The property owner or their representative shall submit a Manure Management and Fly/Vector Control Plan for compliance with this condition. **TIMING:** Prior to approval of the Final Map, or prior to the approval of any plan or issuance of any permit the Manure Management and Fly/Vector Control Plan shall be approved. **MONITORING:** The [PDS, PPD] shall review the Manure Management and Fly/Vector Control Plan for compliance with this condition.

5. CULT#1 - USE, MAINTENANCE AND REPAIR EASEMENT

INTENT: In order to protect the Canfield-Lighton Ranch Complex (P-37-035850), which is a significant historical resource, a restrictive easement shall be placed over the resource. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Use, Maintenance, and Repair Easement over the Canfield-Lighton Ranch Complex, as shown in the Major Use Permit, PDS2016-MUP-16-013 Plot Plan and identified as R1(E, *1, *2), R2(E, *1, *2), R3(E, *1, *2), R4(E, *1, *2), and R5(E, *1, *2). This easement is for the protection of the historic Canfield-Lighton Ranch Complex and prohibits demolition or alteration of the building. The sole exception to this prohibition is the repair, restoration, or rehabilitation of the house in accordance with the "Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Weeks and Grimmer 1995)". Any plan for such activities shall be designed by a qualified historical architect and approved by the Director of PDS and implemented by a building contractor with demonstrated experience in the renovation and rehabilitation of historic buildings.

DOCUMENTATION: The applicant shall prepare the legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. Upon recordation of the easements, the applicant shall provide copies of the recorded easement documents to [PDS, PPD] for approval. **TIMING:** Prior to approval of any plan or issuance of any permit associated with Major Use Permit, PDS2016-MUP-16-013, and prior to use of the premises in reliance of this permit, the easements shall be recorded. **MONITORING:** The [DGS, RP], shall prepare and approve the easement documents and send them to [PDS, PPD] for preapproval. The [PDS, PPD] shall pre-approve the language and estimated location of the easements before they are released to the applicant for signature and subsequent recordation. Upon recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS, PPD] for satisfaction of the condition.

6. BLD#1–BUILDING PERMIT APPLICATION

INTENT: In order to ensure the as-built structures are permitted. **DESCRIPTION OF REQUIREMENT:** The applicant shall submit building permit application(s) and any required plans to the Building Counter. **DOCUMENTATION:** A building permit application shall be submitted to the Building Division. **TIMING:** Within 140 days of MUP approval and prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a building permit application shall be submitted. **MONITORING:** The PDS Building Division shall verify that the building permit application has been submitted for the as-built structure (s).

GRADING PERMIT: (Prior to approval of any grading and/or improvement plans and issuance of any Grading or Construction Permits).

7. PLN#1 - PLAN CONFORMANCE

INTENT: In order to implement the required mitigation measures for the project, the required Grading and Improvement Plans shall conform to the approved Conceptual Grading and Development Plan pursuant to [Section 87.207 of the County Grading Ordinance](#). **DESCRIPTION OF REQUIREMENT:** The Grading and Improvement Plans shall conform to the approved Conceptual Grading and Development Plan, which includes all of the following mitigation measures: Air Quality (Fugitive Dust, Blasting, Construction Architectural Coatings), Biological Resources (Biological Monitoring, Pre-construction Surveys, Temporary Fencing, Open Space Signage and Permanent Fencing, Easement Avoidance, Breeding Season Avoidance), Cultural Resources (Temporary Fencing, Archaeological Site Capping, Pre-Grade Survey, Dust Control Plan, Archaeological Monitoring), Geological Resources (Soils Report, Stabilization Measures, Geotechnical Monitoring), Noise (Blasting Noise Plan, Temporary Construction Noise, Temporary Rock Crushing and Drilling, Vibration Impacts). All conditions, requirements, mitigation measures and information stated on the sheets of the plans shall be made conditions of the permit's issuance and shall be implemented pursuant to the adopted Mitigation Monitoring and Reporting Program (MMRP) of this Permit. No deviation of the requirements can be made without modification of this permit. **DOCUMENTATION:** The applicant shall submit the grading plans and improvement plans, which conform to the conceptual development plan for the project. **TIMING:** Prior to approval of any grading or improvement plan and prior to issuance of any grading or construction permit, the notes and items shall be placed on the plans as required. **MONITORING:** The [DPW, ESU,

DPR, TC, or PDS, BD for Minor Grading] shall verify that the grading and/or improvement plan requirements have been implemented on the final grading and/or improvement plans as applicable. The environmental mitigation notes shall be made conditions of the issuance of said grading or construction permit.

OCCUPANCY: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

8. GEN#4 - INSPECTION FEE

Intent: In order to comply with Zoning Ordinance Section 7362.e the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the *[PDS, ZC]* to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information *[PDS, PPD]*. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The *[PDS, ZC]* shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

9. BLD#2–BUILDING PERMIT COMPLETION

INTENT: In order to ensure the permitted work for as-built structures is completed. **DESCRIPTION OF REQUIREMENT:** The applicant shall pass final inspections and finalize the building permit for new and as-built structures and any required site improvements. **DOCUMENTATION:** Evidence that the building permit has been issued. **TIMING:** Prior to occupancy of the first proposed new structure built in association with this permit or within 12 months of date of permit issuance for any existing structure, the building permits for the new and as-built structures shall be finalized, and final inspections shall be passed. **MONITORING:** The *[PDS, BI]* shall inspect the site for compliance with the approved Building Plans.

10. PLN#2 - SITE PLAN IMPLEMENTATION

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved Major Use Permit (PDS2016-MUP-16-013) plot plan and the building plans. This includes, but is not limited to: all parking areas trails, parks and driveways, installing all required design features, painting all structures with the approved colors, trash enclosures are properly screened, required and approved signage is installed and located properly, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The *[PDS, BI]* and *[DPR TC, PP]* shall inspect the site for compliance with the approved Building Plans.

11. PLN#3 - PLOT PLAN IMPLEMENTATION

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved Major Use Permit (PDS2016-MUP-16-013) plot plan and the building plans. This includes, but is not limited to: improving all parking areas, trails, parks, and driveways; installing all required design features, painting all structures with the approved colors, trash enclosures are properly screened, required and approved signage is installed and located properly, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, BI] and [DPR TC, PP] shall inspect the site for compliance with the approved Building Plans.

12. FIRE#1 - FIRE PROTECTION PLAN

INTENT: In order to assure fire safety in compliance with the [County of San Diego Fire Code Sections 96.1.4703 and 96.1.4707](#), the site shall be maintained in conformance with the approved Equestrian Fire Protection Plan 6/25/19. **DESCRIPTION OF REQUIREMENT:** The following measures approved in the Fire Protection Plan (FPP) shall be implemented and maintained:

- a. Vegetation management zones of 100 feet from all structures shall be maintained at all times.
- b. A 20-foot-wide clearance of flammable vegetation, up to six inches high, be provided on sides of all roads and driveways.
- c. Fallow orchards shall be removed.
- d. Interior access roads, as noted in this fire protection plan, shall conform to San Diego County Private or Public Road Standards, to include design standards for cul-de-sac turn arounds and dead-end roadway length.
- e. The water supply shall be public, redundant or looped, with the capacities specified in the fire protection plan. Hydrant spacing to conform to current California Fire Code Requirements.
- g. Fire Department access roads and fire hydrants must be installed and serviceable prior to issuance of building permits.

DOCUMENTATION: The applicant shall provide documentation (inspection report or photographs) that demonstrates compliance with the Equestrian FPP. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Equestrian FPP requirements shall be implemented. **MONITORING:** The [PDS, PPD] shall verify that the mitigation measures have been initially implemented pursuant to the approved building plans and the equestrian fire protection plan.

ONGOING: (Upon establishment of use the following conditions shall apply during the term of this permit).

13. PLN#4 - SITE CONFORMANCE

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s). This includes but is not limited to maintaining the following: all parking, trails, parks and driveways areas, watering all landscaping at all times, painting all necessary aesthetics design features, and all lighting wall/fencing and required signage. Failure to conform to the approved plot plan(s); is an unlawful use of the land and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

14. PLN#5 - ACCESSORY USES

INTENT: A Minor Deviation or Modification to a Site Plan is not required for any building, structure or projection listed in Section 4835 or any use listed in the Accessory Use Regulations, section 6150-6199 (or as otherwise referenced), provided the building, structure, or projection or use meets the specific accessory use setbacks in the Site Plan and meets all other conditions and restriction in the Site Plan. This condition is intended to comply with Zoning Ordinance Section 7175, ensuring the ability to allow for structures as detailed in this section without Minor Deviation or Modification. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s); should any accessory uses be proposed that do not meet the requirements as detailed in the Zoning Ordinance sections listed above, the property owner shall be responsible for obtaining all necessary permits. **DOCUMENTATION:** None. The property owner and permittee shall conform to the Zoning Ordinance requirements for Accessory Uses as detailed above and within the County Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

15. FIRE#2 - ON-GOING FIRE PROTECTION

INTENT: In order to comply with the [County of San Diego Fire Code Sections 96.1.4703 and 96.1.4707](#), the site shall comply with the approved Equestrian Fire Protection Plan (FPP) dated 6/25/19. **DESCRIPTION OF REQUIREMENT:** The following measures approved in the FPP shall be implemented and maintained:

- a. Vegetation management zones as indicated in the approved FPP shall be maintained at all times.
- b. All vegetated areas on the project site shall be maintained.

DOCUMENTATION: The applicant shall comply with the requirements of the FPP and this condition for the life of this permit. **TIMING:** Upon establishment of the use, the conditions of the FPP shall be complied with for the term of this permit. **MONITORING:** The [PDS, PPD] shall verify that the mitigation measures have been implemented pursuant to the approved building plans and the FPP. The [PDS, Code Enforcement Division] is responsible for enforcement of this permit. The [fire agency] shall be responsible for long-term implementation of fire clearing requirements.

16. ROADS#1—PRIVATE ROAD MAINTENANCE

INTENT: In order to ensure that the offsite private roads are maintained and not damaged during construction, the applicant shall assume responsibility. **DESCRIPTION OF REQUIREMENT:** The applicant is responsible for maintenance and repair, in case of damage caused by this project to the on-site and offsite private roads that serve the property during either construction or subsequent operations. **DOCUMENTATION:** The applicant shall assume responsibility pursuant to this condition. **TIMING:** Upon establishment of use, the following conditions shall apply during the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

17. NOISE#1 - ON-GOING SOUND LEVEL COMPLIANCE

INTENT: In order to comply with the applicable sections of Title 3, Division 6, Chapter 4 (County of San Diego Noise Ordinance), the site shall comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements:

- a. Major Use Permit associated activities shall comply with the one-hour average sound level limit property line requirement pursuant to the County Noise Ordinance, Section 36.404.
- b. The operations of any mechanical unit associated with this Major Use Permit shall conform to the daytime and nighttime sound level limits for uses pursuant to Section 36.404.
- c. All mechanical equipment may incorporate (if needed for noise ordinance compliance) noise reducing measures such as, but not limited to, screen walls, noise barriers, increased setbacks to the property line, placement of equipment behind structures, etc.

DOCUMENTATION: The property owner(s) and applicant shall conform to the ongoing requirements of this condition. Failure to conform to this condition may result in disturbing, excessive or offensive noise interfering with a person's right to enjoy life and property and is detrimental to the public health and safety pursuant to the applicable sections of Chapter 4. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, CODES] is responsible for enforcement of this permit.

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MAJOR USE PERMIT FINDINGS (PDS2016-MUP-16-013)

Pursuant to Section 7358 of the Zoning Ordinance, the following findings in support of the granting of the Major Use Permit PDS2016-MUP-16-013 are made:

(a) *The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to*

1. *Harmony in scale, bulk, coverage, and density;*

Scale and Bulk

The existing, private equestrian facility is bordered by PA 1 to the south, PA 2 to the southwest, and PA 3 to the southeast. The equestrian facility is an existing unpermitted use on the Project site, which includes approximately 165 horses on approximately 375 acres of land. The proposed equestrian facility will be reduced in acreage and will be subject to a MUP to permit a maximum of 400 horses on 203 acres of land. The remaining 172 acres will be part of PA 1, PA 2 and dedicated as biological open space. The MUP will be conditioned to require building permits for unpermitted structures to be submitted within 140 days of the MUP approval. The equestrian facility will include a total of 204,433 square feet of existing and proposed structures.

The plans and elevations of both existing and proposed structures demonstrate the proposed equestrian facility will have a reduced, minimal footprint and would be in harmony with the character of surrounding land uses. The project site is relatively flat and blends in with the rural nature of the community. Existing natural land features immediately surrounding the project site consist of hills and ridges, which predominantly block views into the equestrian facility from West Lilac Road, the nearest public road, and State Route 76. As a result of distance from nearby public roads and existing topography, there is no portion of the future equestrian facility which would be visible from nearby public roads. Furthermore, the equestrian facility structures will be separated from future proposed homes via setbacks, retained existing mature trees, and proposed future landscaping. These buffering elements will result in harmonious existence of the future reduced equestrian facility, with homes proposed under the adjacent Planned Residential Development.

Coverage

The equestrian facility will be reduced in size from approximately 375 acres to 204 acres as a result of the project. This results in an approximate 172-acre reduction in overall land area being dedicated for equestrian uses and activities. Moreover, the equestrian facility will include a total of 204,433 square feet of existing and proposed structures including barns, employee housing, horse pens, shade

structures, and utility buildings, which equates to approximately 2.3% coverage within the 204-acre equestrian facility. The proposed lot coverage of the project would be compatible with surrounding lot coverage in the area.

Density

The project is for the continued use of an existing equestrian facility and does not have a residential component subject to density regulations.

2. *The availability of public facilities, services, and utilities;*

All necessary public facilities and services are available as detailed in the service availability letters submitted for the project. The project will be served by onsite septic systems to the satisfaction of the Department of Environmental Health and water service from the Rainbow Municipal Water District. The project has been reviewed and accepted by the North County Fire Protection District. All required utilities are therefore available for the project.

3. *The harmful effect, if any, upon desirable neighborhood character;*

The project would not adversely affect the character of the surrounding land uses because the proposed project is permitting and proposing minor additional improvements to an existing equestrian facility on the property. The character of the surrounding area can be described as rural residential and agricultural; the permitting of, and minor additions to the existing equestrian facility will not have a harmful effect on the community character of the area and is compatible with the rural nature of surrounding land uses.

4. *The generation of traffic and the capacity and physical character of surrounding streets;*

The equestrian facility is not expected to be a significant generator of traffic. The facility employs 20 people, approximately 6 of whom live onsite in employee housing. The remaining employees arrive from locations outside the facility. In addition to employee vehicle trips, vendors arriving at the property account for roughly 20 trips per week. In the aggregate, the traffic generated to and from the equestrian facility will not create an impact on nearby roads.

5. *The suitability of the site for the type and intensity of use or development which is proposed;*

The project proposes a Major Use Permit to authorize the use of, and minor additional improvements to an existing equestrian facility. Adequate access to the project site is available and the 204-acre project footprint is suitable to accommodate the proposed equestrian uses. The project will be allowed a maximum of up to 400 horses onsite.

The equestrian facility is a suitable use for the property, taking the General Plan and local context of land uses into consideration. Other nearby uses include residential houses, agricultural producers, equestrian facilities, and light commercial businesses such as horseback riding and hay sales.

The equestrian facility represents a low intensity land use, with building coverage equating to a 2.3% coverage ratio.

6. *Any other relevant impact of the proposed use;*

No other relevant impacts were identified.

(b) *The impacts, as described in Findings (a) above, and the location of the proposed use will be consistent with the San Diego County General Plan:*

The project site is located in the Bonsall Community Plan Area. The location of the proposed use as an equestrian facility is consistent with the General Plan.

(c) *That the requirements under the California Environmental Quality Act have been complied with.*

The project has been reviewed for compliance with CEQA Guidelines and the project qualifies for an exemption from additional environmental review pursuant to CEQA Guidelines Section 15183 (Attachment I). CEQA Section Guidelines Section 15183 provides an exemption from additional environmental review for projects that are consistent with the development density established by the General Plan and as long as there are no project-specific impacts beyond those analyzed in the GPU EIR that was certified (i.e., peculiar impacts). For the proposed project, the planning level document is the General Plan Update EIR, certified by the Board of Supervisors on August 3, 2011. Additional environmental review is only for project-specific significant effects which are specific to the project or its site. Once certain mitigation measures from the GPU EIR are incorporated, there will not be any new significant effects on the environment. The equestrian facility would not cause any significant effects on the environment with mitigation measures incorporated.

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ORDINANCE COMPLIANCE NOTIFICATIONS: The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(RWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control [Ordinance No. 10410](#) and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID),

Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below:

<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

STORMWATER COMPLIANCE NOTICE: Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to [County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410](#) (N.S.), dated February 26, 2016 and BMP Design Manual. These requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

DRAINAGE: The project shall be in compliance with the County of San Diego [Flood Damage Prevention Ordinance](#) No. 10091, adopted December 8, 2010.

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill, pursuant to [Section 87.201 of Grading Ordinance](#).

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact PDS Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate County requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. **Deer Springs Road, Buena Creek Road South, Santa Fe Avenue, Twin Oaks Valley Road, Monte Vista Drive and Mountain Meadow Road** are shown as roads on the Mobility Element of the County General Plan. At the

time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the [County Noise Ordinance 36.401](#) et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to [County TIF Ordinance number 77.201 – 77.223](#). The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

COMMITMENT FOR CAPACITY AND LIST OF FEES: A commitment for capacity to serve the proposed development and list of required fees (per County Ordinance Number 9146) will be provided by [SDCSD] at time of building permit issuance.

PAY DISTRICT FEES: The developer shall pay all [SDCSD] fees in effect at time of issuance of the Wastewater Discharge Permit.

PAY FAIR SHARE COSTS: Prior to issuance of the Wastewater Discharge Permit, the developer shall pay all fair share costs attributable to third party reimbursement agreement(s) associated with this project that may be in effect at time of permit issuance.

INDUSTRIAL WASTEWATER DISCHARGE PERMIT FROM CITY: If required, the developer shall obtain an Industrial Wastewater Discharge Permit from the City, as directed by [DPW WWM]. For information, contact Dan Gutierrez at (858) 654-4118.

NOTICE: The subject property is known to contain Coastal sage scrub plant community. Such plant community is habitat for the coastal California gnatcatcher. The Federal government has listed the gnatcatcher as a threatened species under the Federal Endangered Species Act of 1973 (16 U.S.C. Section 1531 et seq.). THE LISTING MAY RESULT IN AN APPLICANT'S INABILITY TO PROCEED WITH HIS/HER PROJECT WITHOUT A PERMIT FROM THE FEDERAL GOVERNMENT IF THE SPECIES OR ITS HABITAT ARE PRESENT ON THE PROJECT SITE. It is advisable to contact the United States Fish and Wildlife Service to determine the applicability of the prohibitions under the Act to each applicant's property.

NOTICE: The subject property contains wetlands, a lake, a stream, and/or waters of the U.S. which may be subject to regulation by State and/or federal agencies, including, but not limited to, the Regional Water Quality Control Board, U.S. Army Corps of Engineers and the California Department of Fish and Wildlife. It is the applicant's responsibility to consult with each agency to determine if a permit, agreement or other approval is required and to obtain all necessary permits, agreements or approvals before commencing any activity which could impact the wetlands, lake, stream, and/or waters of the U.S. on the subject property. The agency contact information is provided below.

U.S. Army Corps of Engineers: 6010 Hidden Valley Rd, Suite 105, Carlsbad, CA 92011-4219; (858) 674-5386; <http://www.usace.army.mil/>

Regional Water Quality Control Board: 9174 Sky Park Court, Suite 100, San Diego, CA 92123-4340; (858) 467-2952; <http://www.waterboards.ca.gov/sandiego/>

California Department of Fish and Wildlife: 3883 Ruffin Rd., San Diego, CA 92123; (858) 467-4201; <http://www.dfg.ca.gov/>

NOTICE: The subject property contains habitat which may be used for nesting by migratory birds. Any grading, brushing or clearing conducted during the migratory bird breeding season, February 1 – August 31, has a potential to impact nesting or breeding birds in violation of the Migratory Bird Treaty Act. The applicant may submit evidence that nesting or breeding migratory birds will not be affected by the grading, brushing or clearing to these agencies: California Department of Fish and Wildlife, 3883 Ruffin Rd., San Diego, CA 92123, (858) 467-4201, <http://www.dfg.ca.gov/>; and United States Fish and Wildlife Service, 6010 Hidden Valley Rd, Carlsbad, CA 92011-4219, (760) 431-9440, <http://www.fws.gov/>.

NOTICE: The project will be required to pay Planning & Development Services mitigation Monitoring and Condition Review Fee. The fee will be collected at the time of the first submittal for Condition Satisfaction to PDS, including Mitigation Monitoring requests. The amount of the fee will be determined by the Fee Ordinance in effect at the time of the first submittal and is based on the number of PDS conditions that need to be satisfied. The fee amount will only be paid one time for those conditions that are indicated with the **[PDS, FEE]** designator. The fee will not apply to subsequent project approvals that require a separate submittal fee, such as Revegetation and Landscape Plans, Resource (Habitat) Management Plans, Habitat Loss Permits, Administrative Permits, Site Plans, and any other discretionary permit applications.

NOTICE: Time Extension requests cannot be processed without updated project information including new Department of Environmental Health certification of septic systems. Since Department of Environmental Health review may take several months, applicants anticipating the need for Time Extensions for their projects are advised to submit applications for septic certification to the Department of Environmental Health several months prior to the expiration of their Tentative Maps.

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

COMPLIANCE INSPECTION: In order to comply with Zoning Ordinance Section 7362.e the County shall inspect the Use Permit property for compliance with the terms of this Use Permit. The County Permit Compliance Officer will perform a site inspection and review the on-going conditions associated with this permit. The inspection shall be scheduled no later than the six months subsequent to establishing the intended use of the permit. If the County determines the applicant is not complying with the Major Use Permit terms and conditions the applicant shall allow the County to conduct follow up inspections more frequently than once every twelve months until the County determines the applicant is in compliance. The Property Owner/Permittee shall allow the County to inspect the property for which the Major Use Permit has been granted, at least once every twelve months, to determine if the Property Owner/Permittee is complying with all terms and conditions of the Use Permit. This requirement shall apply during the term of this permit.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			

Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten calendar days after the date of this Decision of the Planning Commission, the decision may be appealed to the Board of Supervisors in accordance with [Section 7366 of the County Zoning Ordinance](#). An appeal shall be filed with the Director of Planning & Development Services or by mail with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Director until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

COUNTY OF SAN DIEGO PLANNING COMMISSION
 MARK WARDLAW, SECRETARY

BY:
 Darin Neufeld, Chief
 Project Planning Division
 Planning & Development Services

cc:
 Ocean Breeze Ranch LLC; 5820 W Lilac Rd, Bonsall, CA 92003; P: (949) 494-0200

email cc:
 Bronwyn Brown, Planning Manager, Project Planning, PDS
 Ken Brazell, Team Leader, Land Development/Engineering, PDS
 Marcus Lubich Park Project Manager, DPR
 Bonsall Community Sponsor Group
 Fallbrook Community Planning Group & Design Review Group
 I-15 Design Review Group

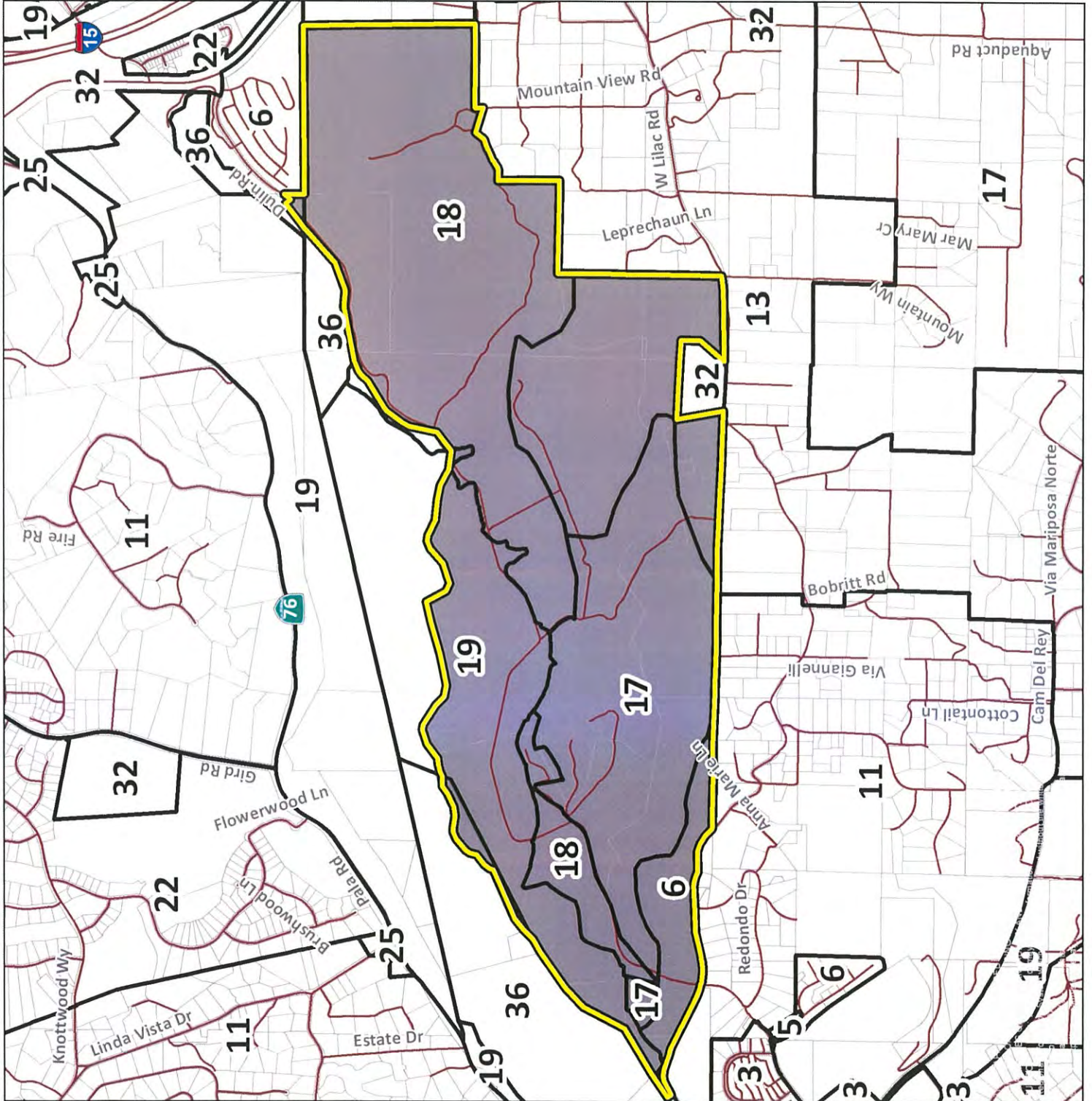
Attachment E
PLANNING DOCUMENTATION

Ocean Breeze Ranch General Plan Map

Bonsall Community Plan Area

- (3) Village Residential (VR-15)
- (5) Village Residential (VR-7.3)
- (6) Village Residential (VR-4.3)
- (11) Semi-Rural Residential (SR-2)
- (13) Semi-Rural Residential (SR-4)
- (17) Semi-Rural Residential (SR-10)
- (18) Rural Lands (RL-20)
- (19) Rural Lands (RL-40)
- (22) Specific Plan Area
- (25) General Commercial
- (32) Public/Semi-Public Facilities
- (36) Open Space (Recreation)

	Proposed Ocean Breeze Ranch
	Community Plan/Sponsor Group Area
	General Plan
	Parcels







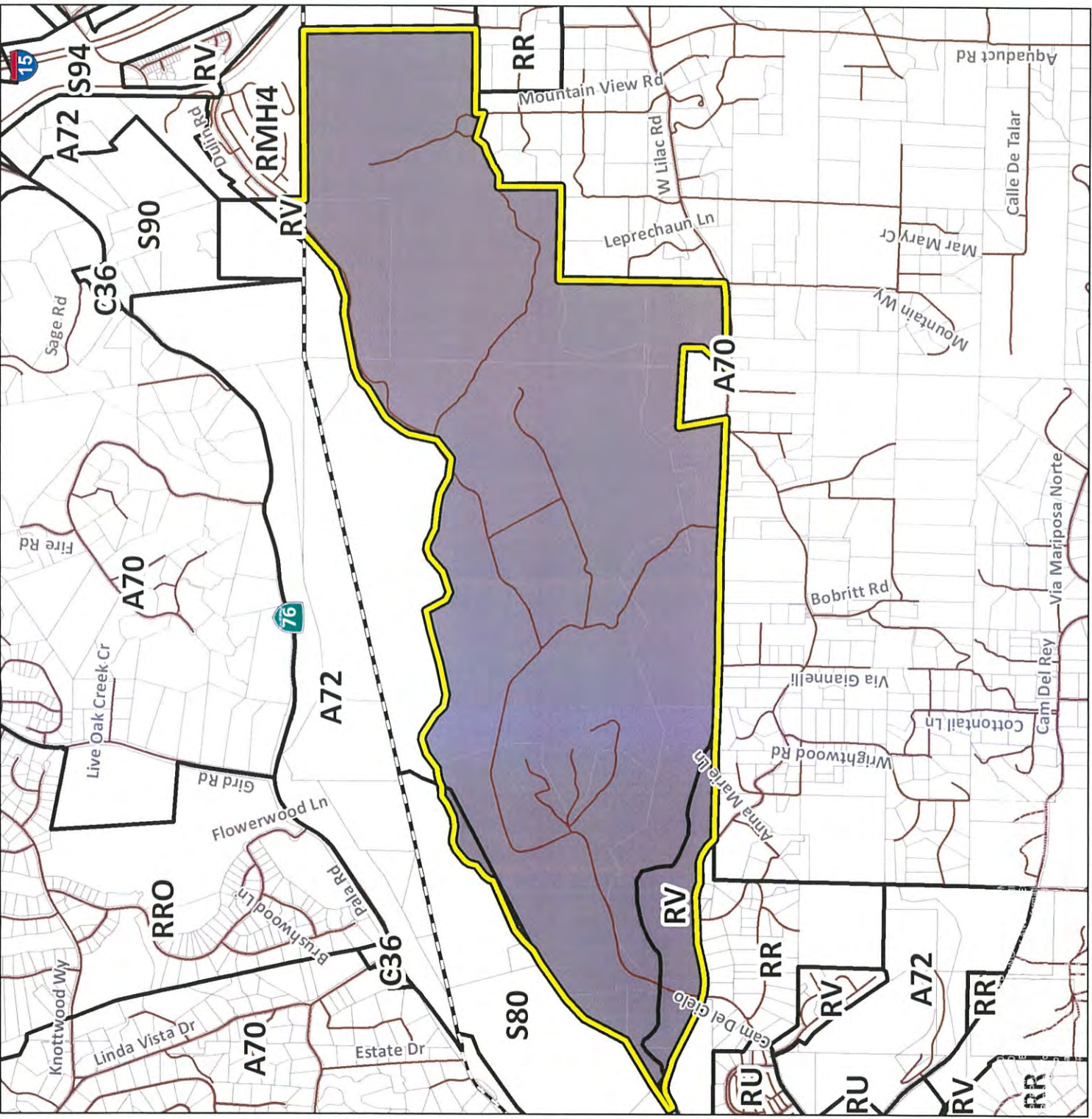
Ocean Breeze Ranch

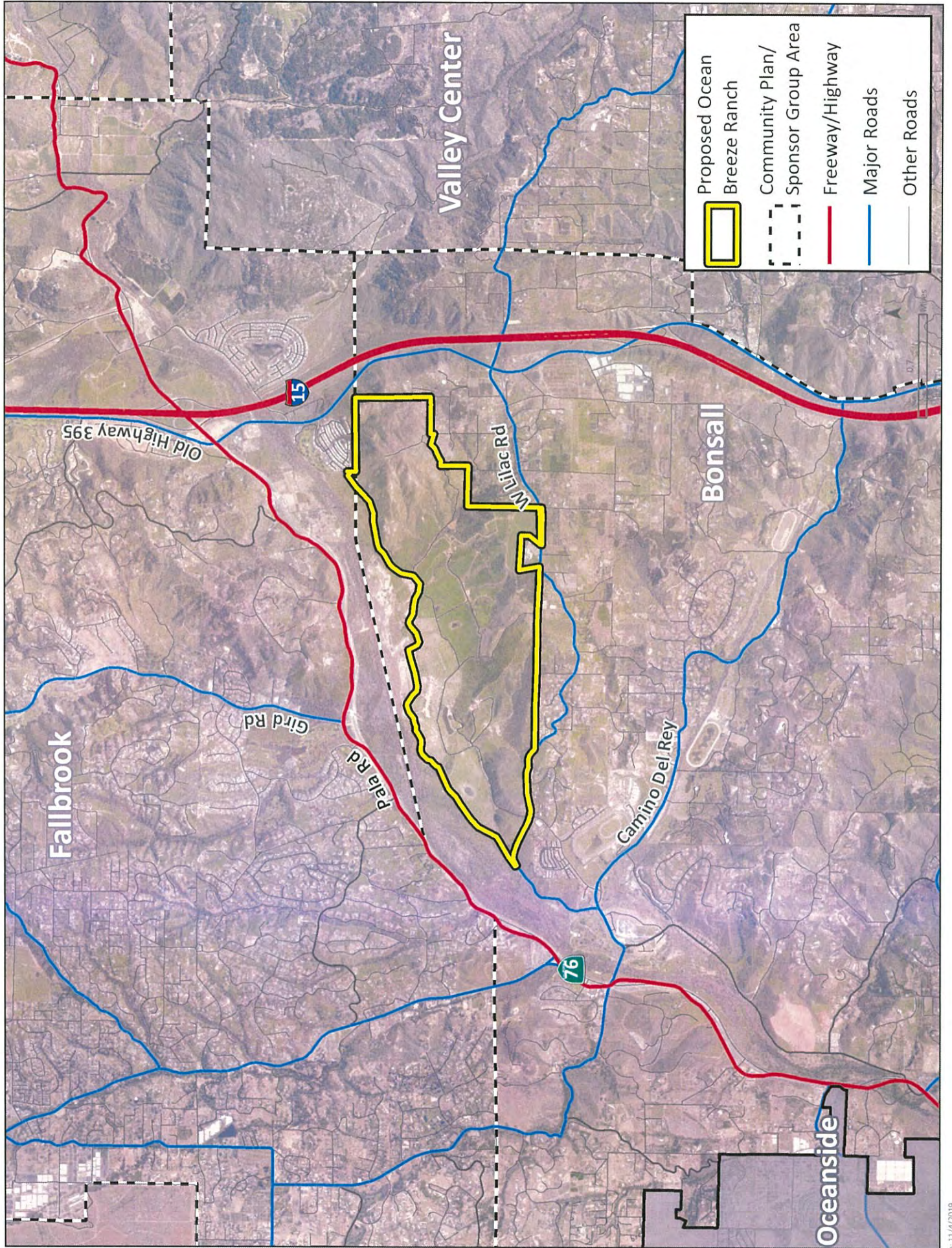
Zoning Map

Bonsall
Community Plan Area

- A70 - Limited Agriculture
- A72 - General Agriculture
- C36 - General Commercial
- RMH - Mobilehome Residential
- RR - Rural Residential
- RRO - Residential Recreation
- RV - Variable Family Residential
- S80 - Open Space
- S90 - Holding Area
- S94 - Transportation and Utility

	Proposed Ocean Breeze Ranch
	Community Plan/Sponsor Group Area
	Zoning
	Parcels





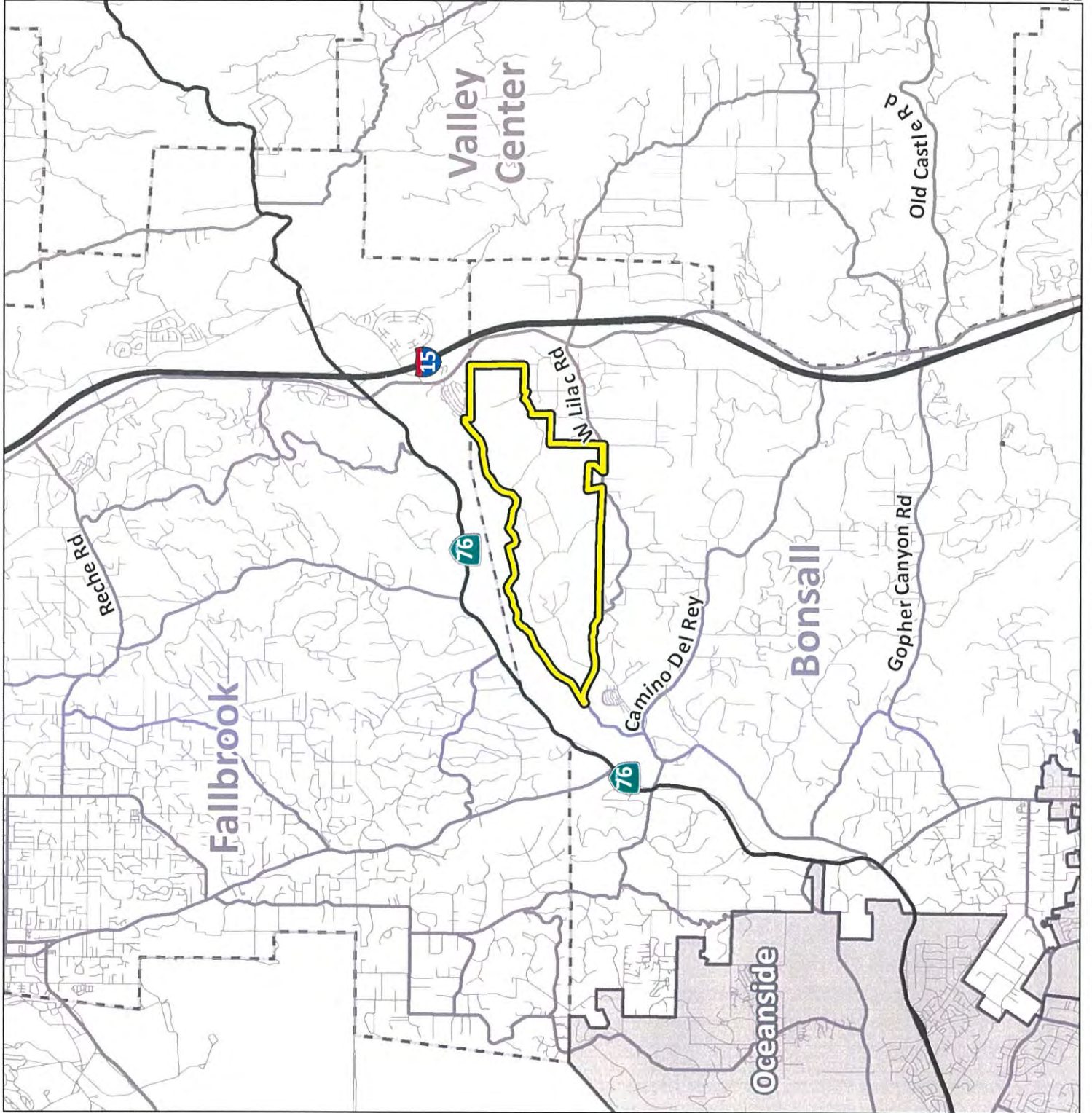
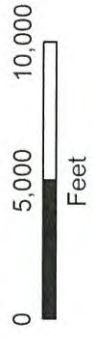
Ocean Breeze Ranch Vicinity Map

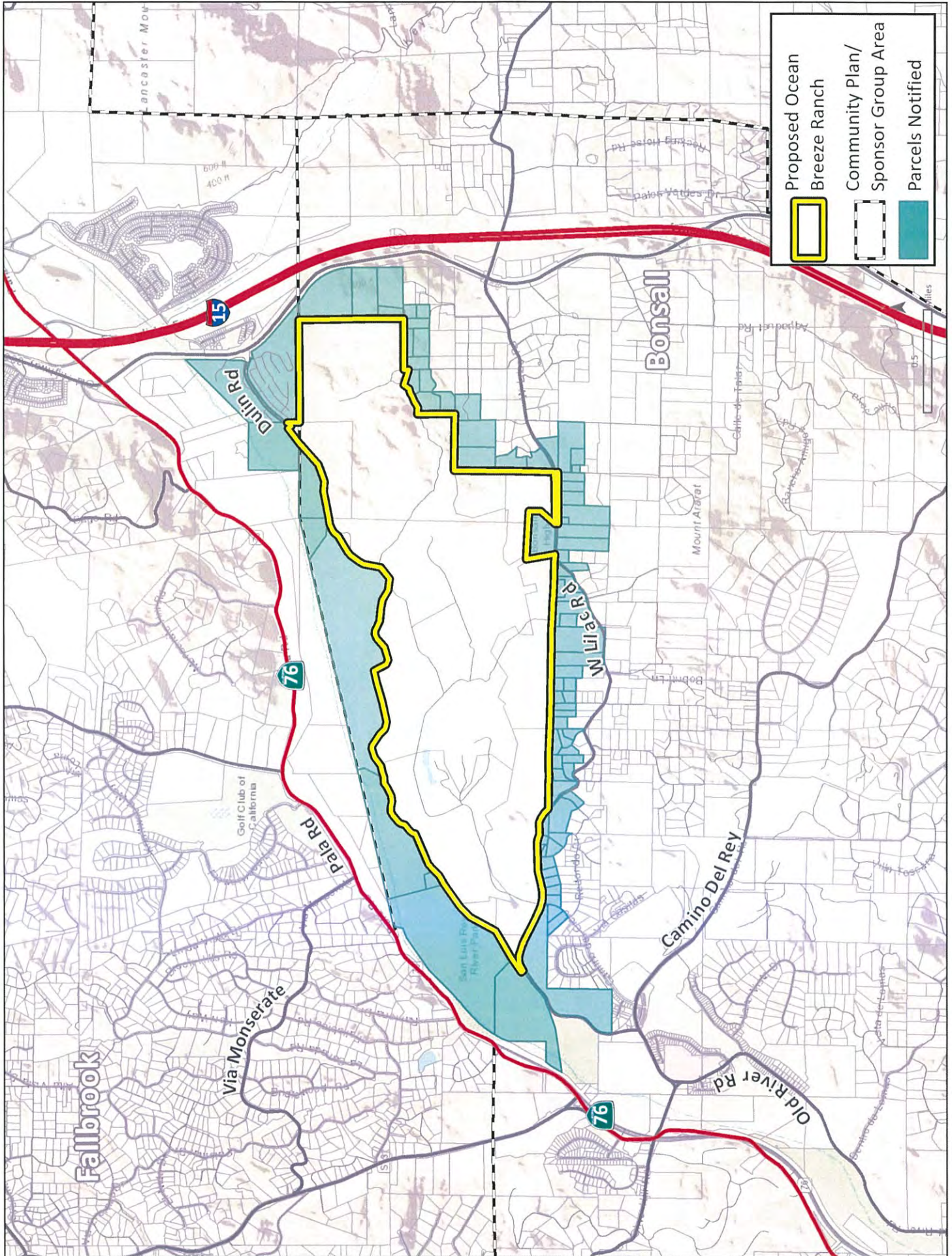
Bonsall
Community Plan Area

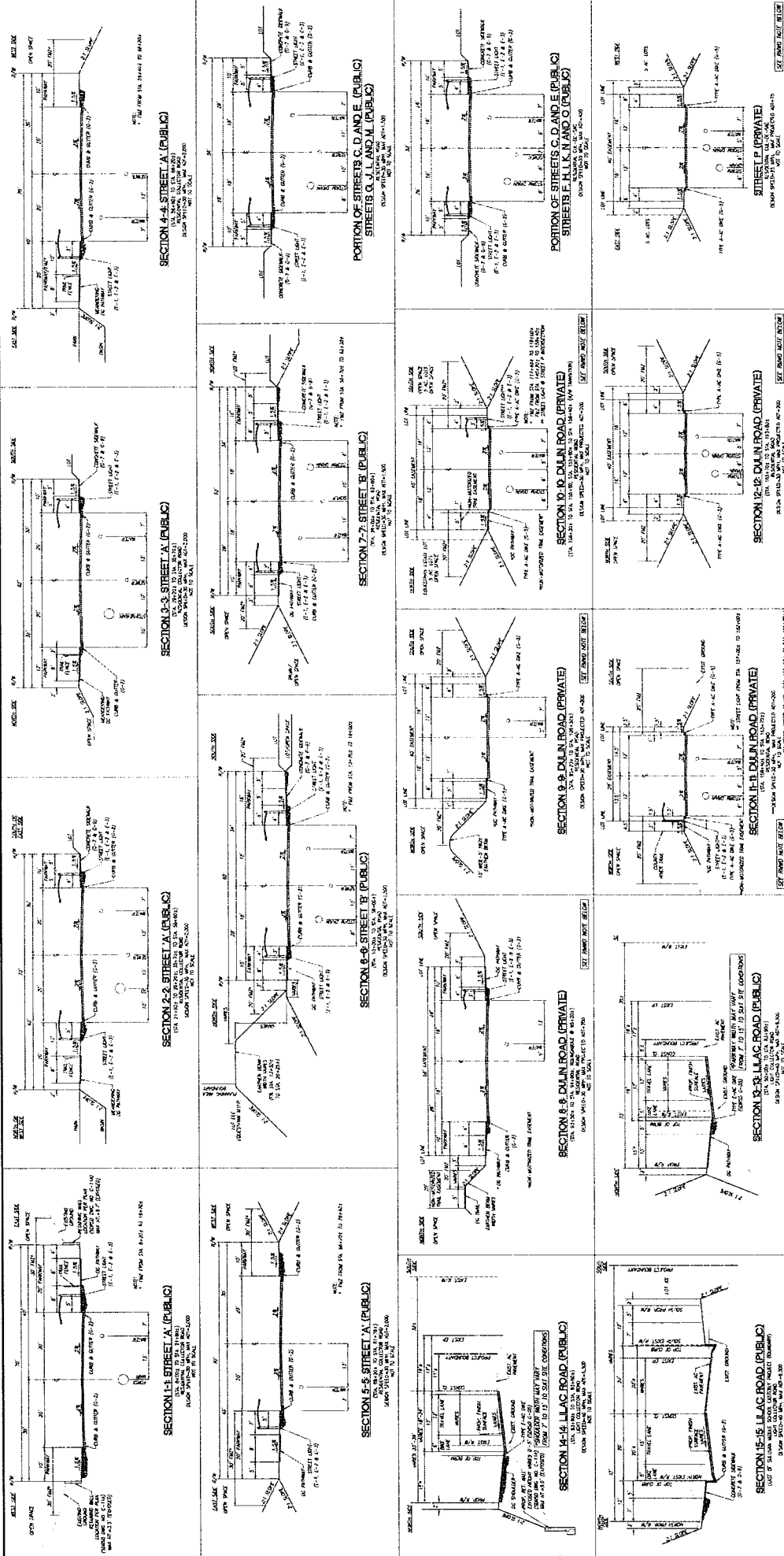


1:3,500,000

	Proposed Ocean Breeze Ranch
	Community Plan/ Sponsor Group Area
	Roads







PLANNED DEVELOPMENT REGULATIONS

PLANNING AREA 1A & 1B	PLANNING AREA 2A	PLANNING AREA 2B
MINIMUM LOT AREA	10,000 SQ. FT.	10,000 SQ. FT.
MINIMUM LOT WIDTH	30 FT.	30 FT.
MINIMUM FRONT YARD SETBACK	10 FT.	10 FT.
MINIMUM SIDE YARD SETBACK	5 FT.	5 FT.
MINIMUM REAR YARD SETBACK	5 FT.	5 FT.
MINIMUM FRONT SETBACK	10 FT.	10 FT.
MINIMUM SIDE SETBACK	5 FT.	5 FT.
MINIMUM REAR SETBACK	5 FT.	5 FT.
MINIMUM FRONT SETBACK	10 FT.	10 FT.
MINIMUM SIDE SETBACK	5 FT.	5 FT.
MINIMUM REAR SETBACK	5 FT.	5 FT.

TEMPORARY ACCESS ROAD

10' MIN. WIDE AT ALL TIMES

10' MIN. WIDE AT ALL TIMES

10' MIN. WIDE AT ALL TIMES

PLANNING AREA 1A & 1B

MINIMUM LOT AREA = 10,000 SQ. FT.

MINIMUM LOT WIDTH = 30 FT.

MINIMUM FRONT YARD SETBACK = 10 FT.

MINIMUM SIDE YARD SETBACK = 5 FT.

MINIMUM REAR YARD SETBACK = 5 FT.

MINIMUM FRONT SETBACK = 10 FT.

MINIMUM SIDE SETBACK = 5 FT.

MINIMUM REAR SETBACK = 5 FT.

PLANNING AREA 2A

MINIMUM LOT AREA = 10,000 SQ. FT.

MINIMUM LOT WIDTH = 30 FT.

MINIMUM FRONT YARD SETBACK = 10 FT.

MINIMUM SIDE YARD SETBACK = 5 FT.

MINIMUM REAR YARD SETBACK = 5 FT.

MINIMUM FRONT SETBACK = 10 FT.

MINIMUM SIDE SETBACK = 5 FT.

MINIMUM REAR SETBACK = 5 FT.

PLANNING AREA 2B

MINIMUM LOT AREA = 10,000 SQ. FT.

MINIMUM LOT WIDTH = 30 FT.

MINIMUM FRONT YARD SETBACK = 10 FT.

MINIMUM SIDE YARD SETBACK = 5 FT.

MINIMUM REAR YARD SETBACK = 5 FT.

MINIMUM FRONT SETBACK = 10 FT.

MINIMUM SIDE SETBACK = 5 FT.

MINIMUM REAR SETBACK = 5 FT.

PLANNING AREA 1A & 1B

MINIMUM LOT AREA = 10,000 SQ. FT.

MINIMUM LOT WIDTH = 30 FT.

MINIMUM FRONT YARD SETBACK = 10 FT.

MINIMUM SIDE YARD SETBACK = 5 FT.

MINIMUM REAR YARD SETBACK = 5 FT.

MINIMUM FRONT SETBACK = 10 FT.

MINIMUM SIDE SETBACK = 5 FT.

MINIMUM REAR SETBACK = 5 FT.

PLANNING AREA 2A

MINIMUM LOT AREA = 10,000 SQ. FT.

MINIMUM LOT WIDTH = 30 FT.

MINIMUM FRONT YARD SETBACK = 10 FT.

MINIMUM SIDE YARD SETBACK = 5 FT.

MINIMUM REAR YARD SETBACK = 5 FT.

MINIMUM FRONT SETBACK = 10 FT.

MINIMUM SIDE SETBACK = 5 FT.

MINIMUM REAR SETBACK = 5 FT.

PLANNING AREA 2B

MINIMUM LOT AREA = 10,000 SQ. FT.

MINIMUM LOT WIDTH = 30 FT.

MINIMUM FRONT YARD SETBACK = 10 FT.

MINIMUM SIDE YARD SETBACK = 5 FT.

MINIMUM REAR YARD SETBACK = 5 FT.

MINIMUM FRONT SETBACK = 10 FT.

MINIMUM SIDE SETBACK = 5 FT.

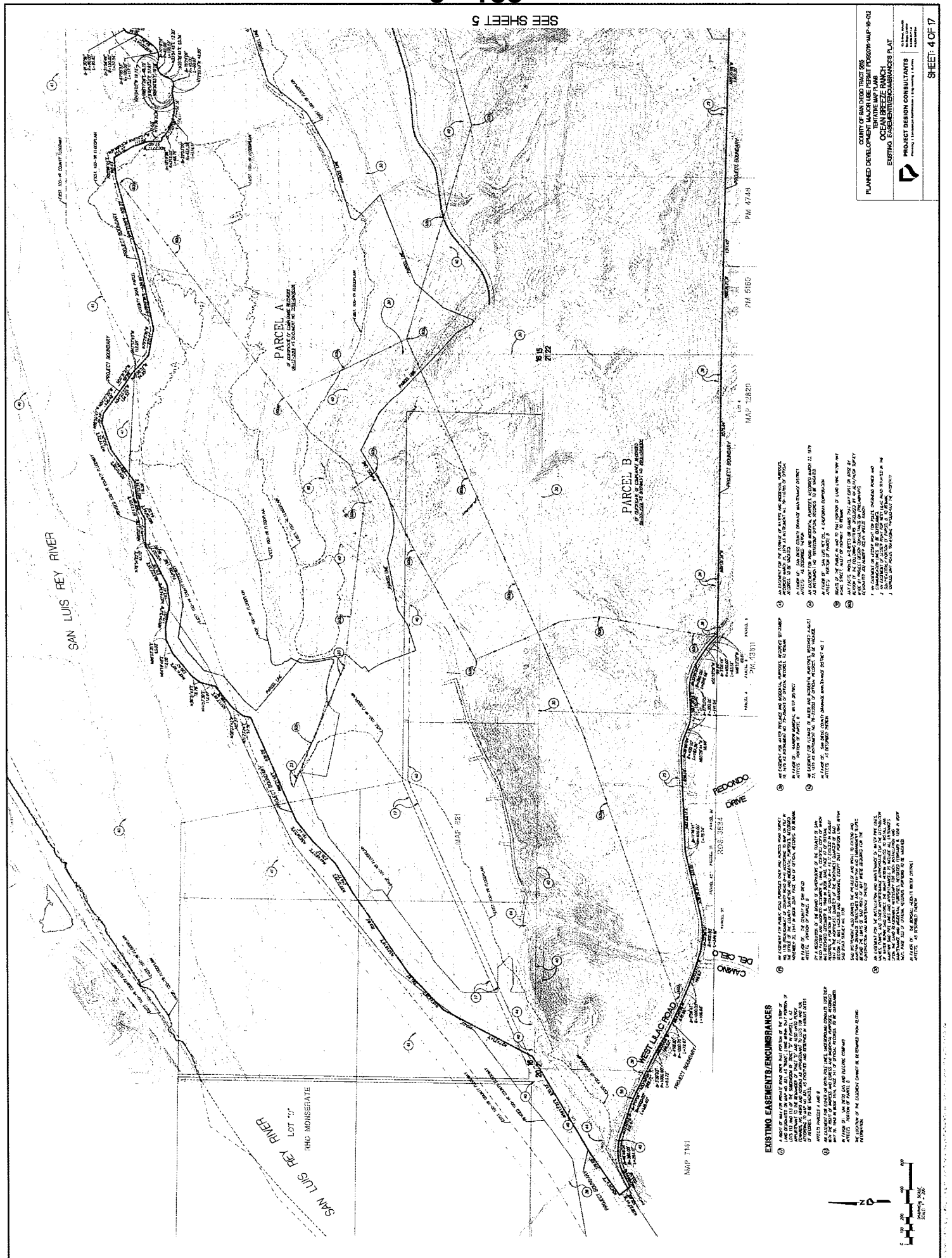
MINIMUM REAR SETBACK = 5 FT.

TYPICAL LAYOUT AND SETBACKS

10' MIN. WIDE AT ALL TIMES

10' MIN. WIDE AT ALL TIMES

10' MIN. WIDE AT ALL TIMES



COUNTY OF SAN DIEGO TRACT ONE
 TENTATIVE MAP PLAN
 OCCASION DEVELOPMENT
 EXISTING EASEMENTS/ENCUMBRANCES PLAT

PROJECT DESIGN CONSULTANTS
 Planning | Transportation | Engineering | Surveying

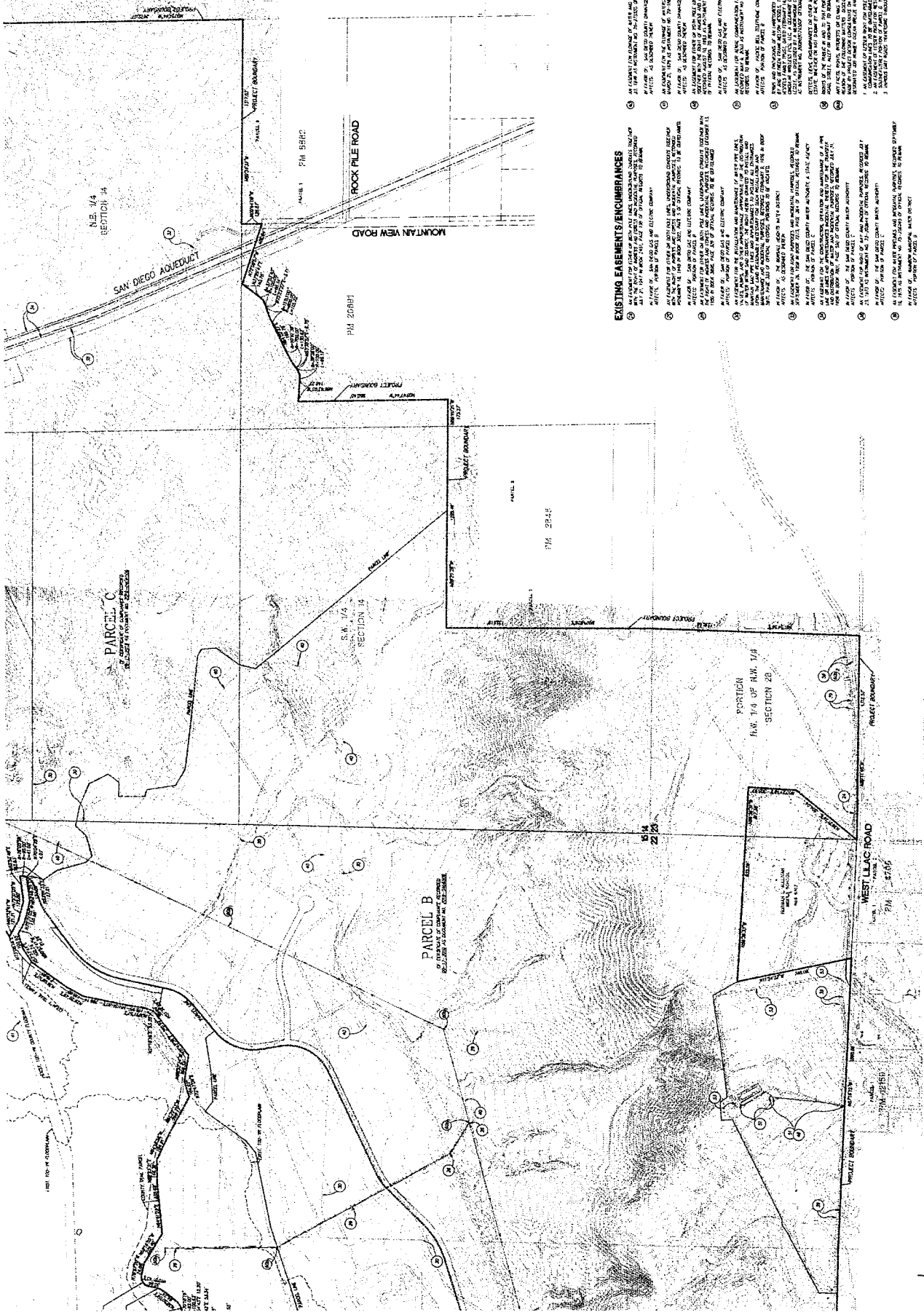
SHEET 4 OF 17

- EXISTING EASEMENTS/ENCUMBRANCES**
- 1. AS SHOWN ON THE EXISTING EASEMENTS/ENCUMBRANCES PLAT, THE EXISTING EASEMENTS/ENCUMBRANCES ARE AS FOLLOWS:
 - (a) EASEMENT FOR WATER SERVICE AND SEWERAGE SERVICE TO PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



SEE SHEET 6

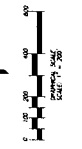
SEE SHEET 4



S.W. 1/4 OF R.M. 1/4 SECTION 28

EXISTING EASEMENTS/ENCUMBRANCES

- 1. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 2. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 3. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 4. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 5. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 6. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 7. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 8. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 9. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 10. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 11. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.
- 12. AN EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, IS LOCATED ON THE WEST SIDE OF THE SAN DIEGO AQUEDUCT, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP, AND IS SUBJECT TO THE EASEMENT FOR THE CONVEYANCE OF WATER AND SEWERAGE SERVICES, AS SHOWN ON THE SAN DIEGO AQUEDUCT MAP.

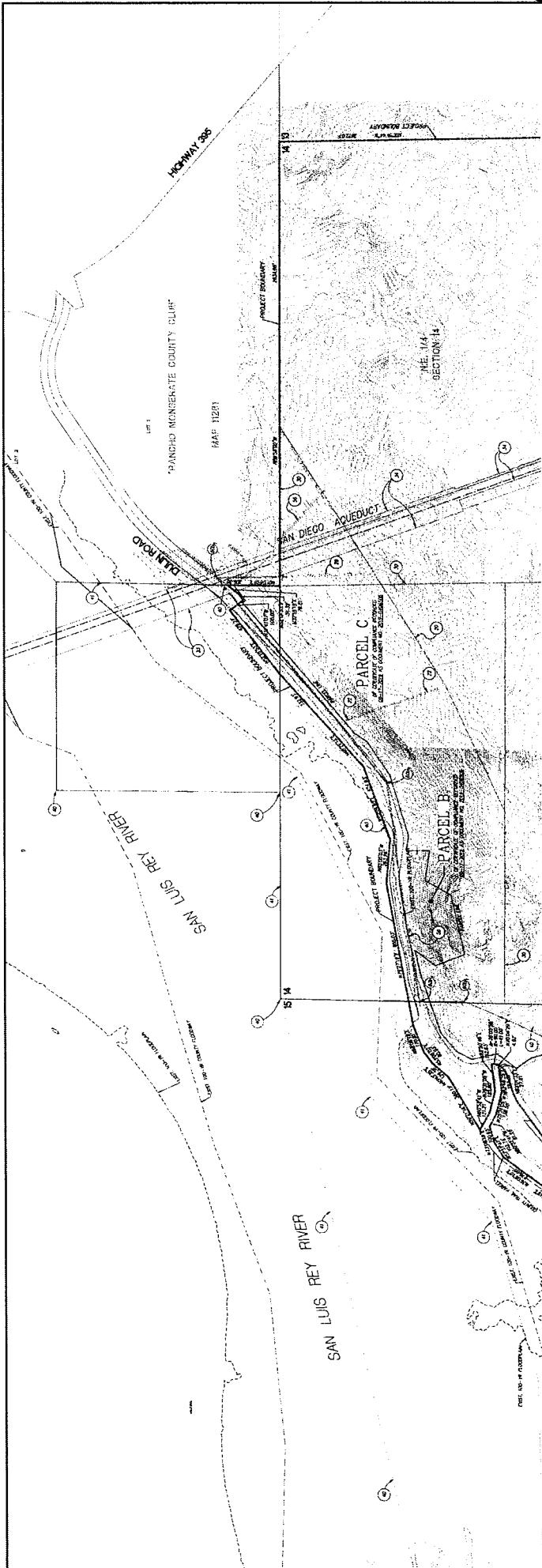


COUNTY OF SAN DIEGO TRACT 198
 PLANNED DEVELOPMENT MAJOR USE PERMIT PD05096-MUP-18-02
 OCCUPANCY MAP PLANS
 OCCUPANCY MAP PLANS
 EXISTING EASEMENTS/ENCUMBRANCES PLAT

PROJECT DESIGN CONSULTANTS
 PROJECT: 18-02-000000-000000-000000-000000

DATE: 11/15/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

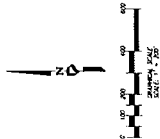
SHEET: 5 OF 17

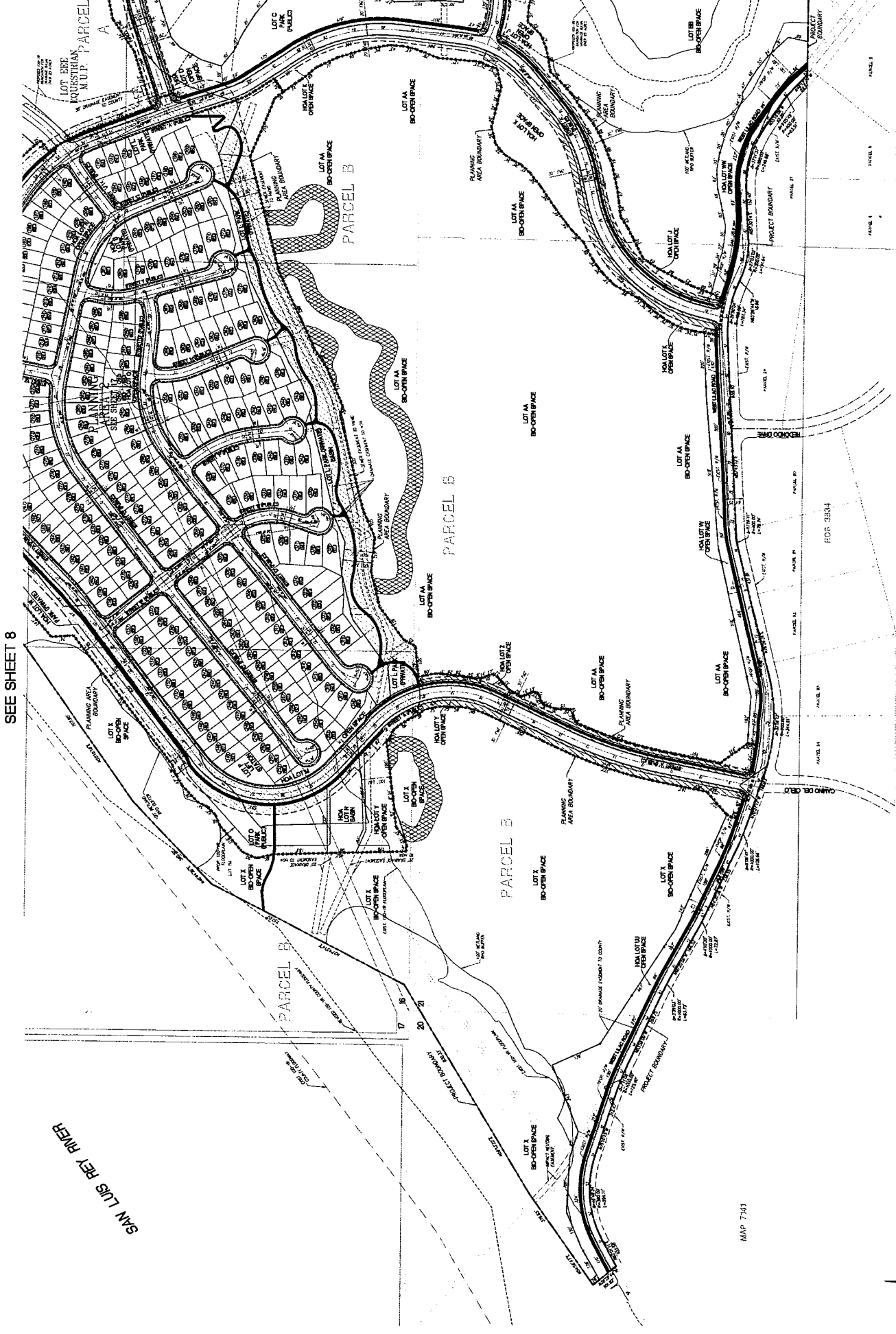


SEE SHEET 5

EXISTING EASEMENTS/ENCUMBRANCES

- 1. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 2. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 3. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 4. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 5. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 6. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 7. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 8. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 9. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 10. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 11. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 12. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 13. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 14. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 15. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 16. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 17. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 18. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 19. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.
- 20. EASEMENT FOR PARCELS B AND C TO BE MAINTAINED AS SHOWN ON SHEET 5 OF THIS SET OF PLANS AND TO BE SUBJECT TO THE RIGHTS OF THE PUBLIC AS SHOWN ON SHEET 5 OF THIS SET OF PLANS.





SEE SHEET 8

COUNTY OF SAN DIEGO TRUST FOR
PLANNED DEVELOPMENT MAJOR USE PERMIT FOR 2020-21-002
OCCEAN CENTER PLANNING
TECHNICAL DRAWING

PROJECT DESIGN CONSULTANTS
1000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100
SAN DIEGO, CA 92161
TEL: 619.451.1000 FAX: 619.451.1001

PM 33871

PANEL 1
PANEL 2
PANEL 3
PANEL 4
PANEL 5
PANEL 6
PANEL 7
PANEL 8
PANEL 9
PANEL 10
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PANEL 48
PANEL 49
PANEL 50



SAN LUIS REY RIVER

PARCEL A

PARCEL B

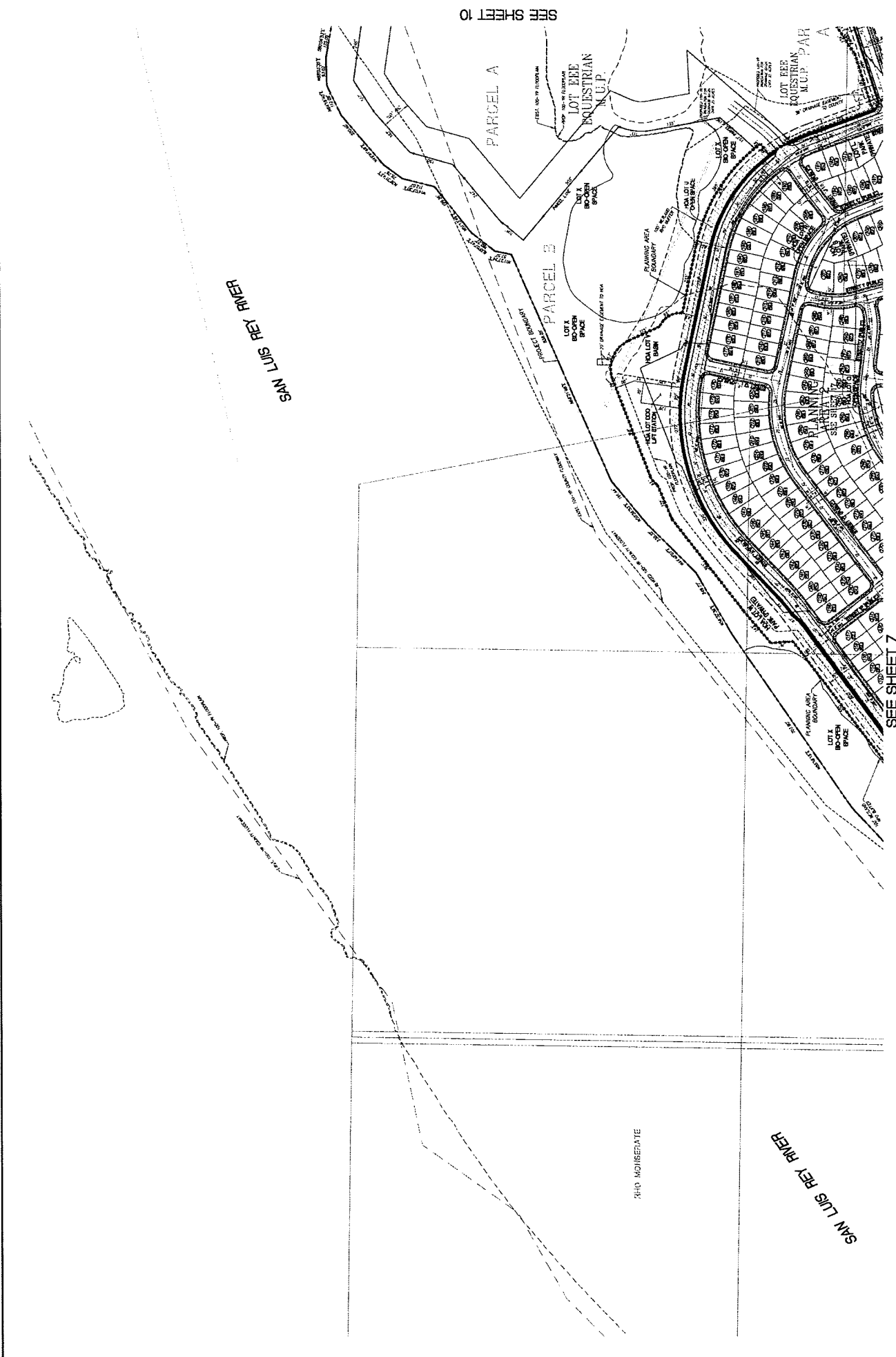
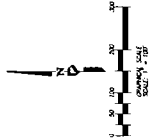
SEE SHEET 7

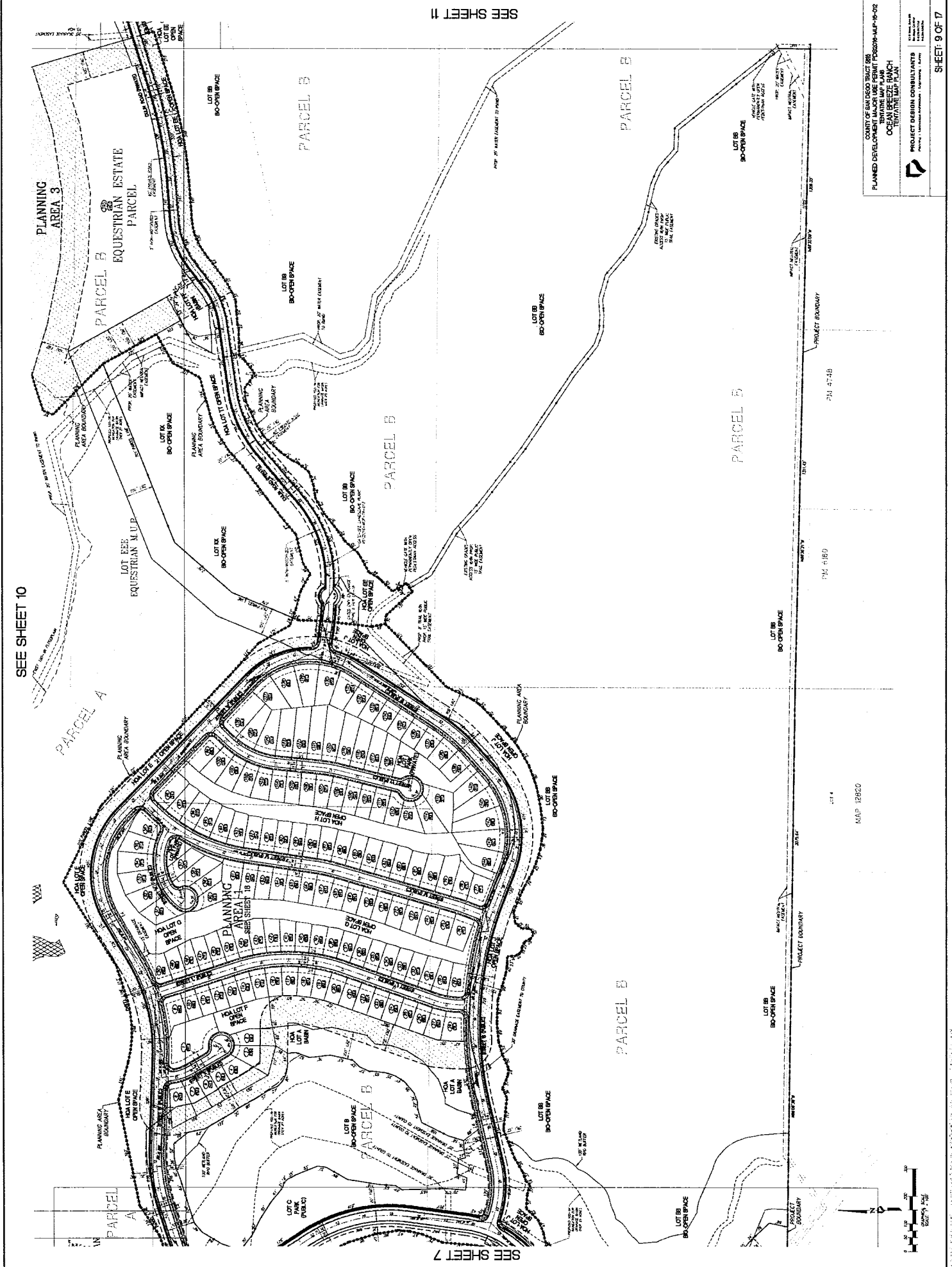
RHD MANSERATE

SAN LUIS REY RIVER

COUNTY OF SAN DIEGO TRACT 574
 PLANNED DEVELOPMENT MAJOR LOTS PERMIT F02009-MUP-9-02
 EXHIBIT MUP PLAN
 OCCUPANCY MAP
 OCCUPANCY MAP PLAN
 TENTATIVE PLAN

PROJECT DESIGN CONSULTANTS
 HOK
 10000 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CALIFORNIA 92121





COUNTY OF SAN DIEGO
 PLANNED DEVELOPMENT MAP 12620
 TENTATIVE MAP PLAN
 OCEAN BEACH EQUESTRIAN ESTATE
 PLANNING AREA 1, 2, 3, 4

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Surveying

SAN LUIS REY RIVER

LOT 333
EQUESTRIAN M.U.P.

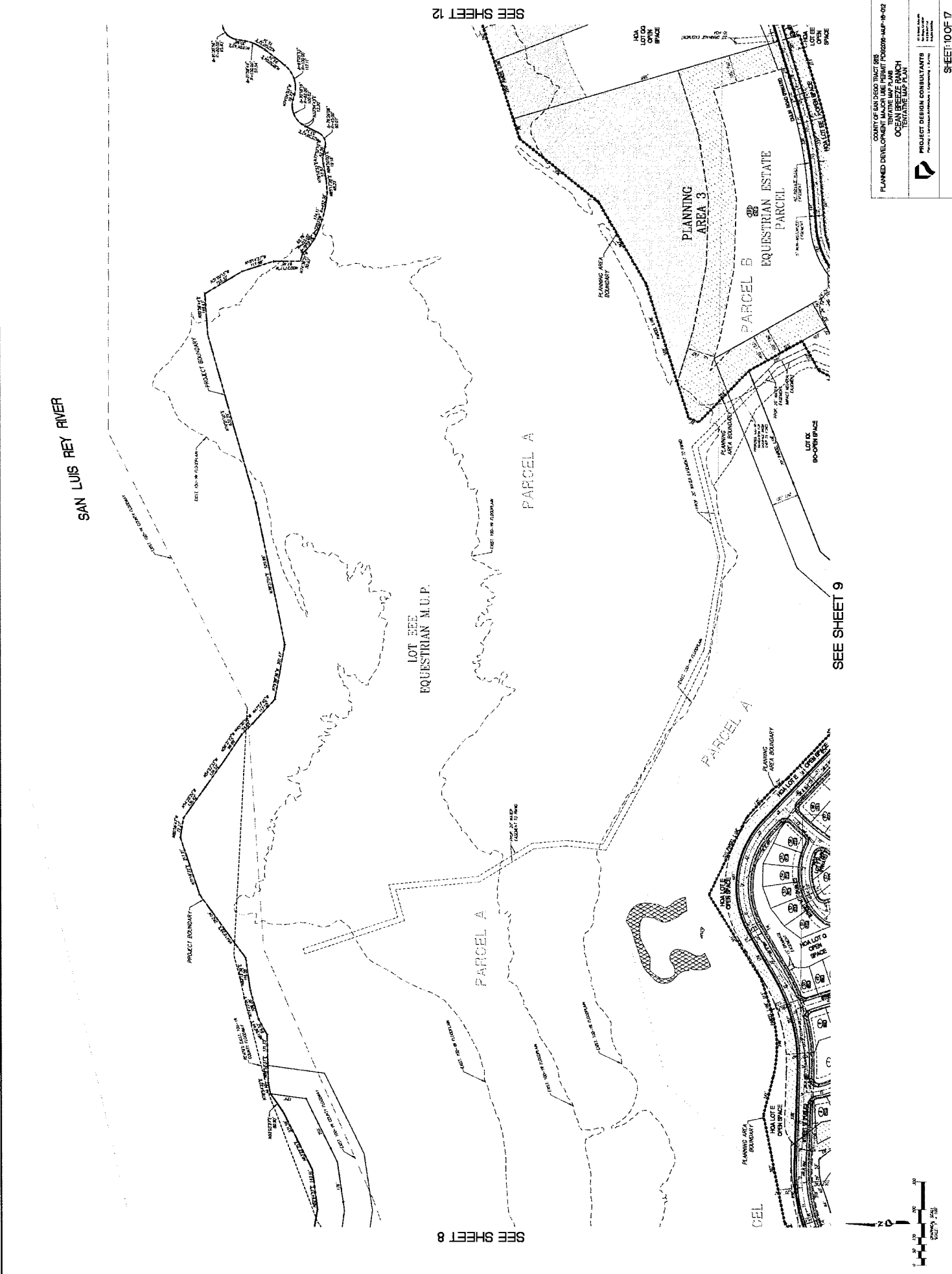
PARCEL A

PLANNING
AREA 3

PARCEL B
EQUESTRIAN ESTATE
PARCEL

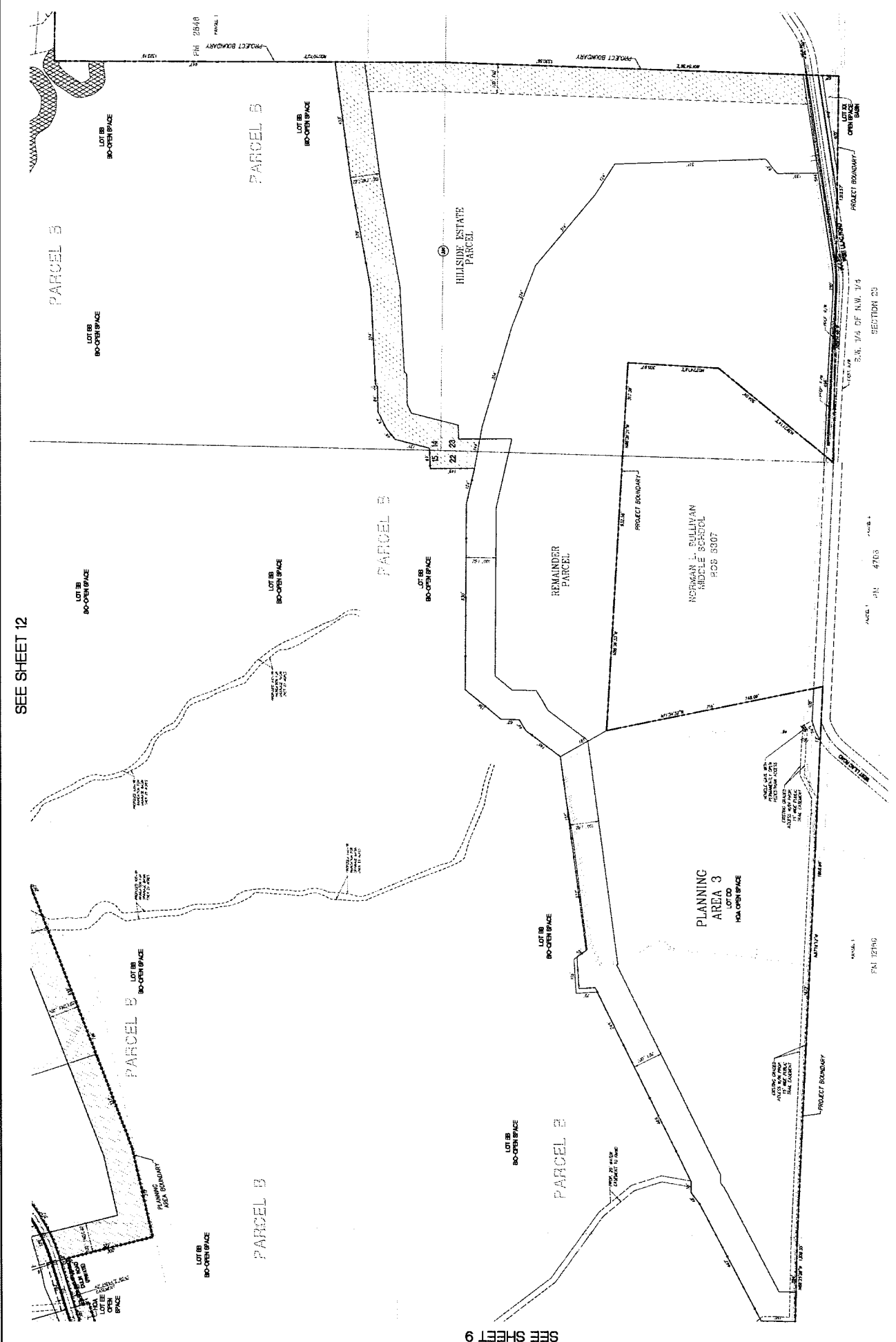
SEE SHEET 9

SEE SHEET 8



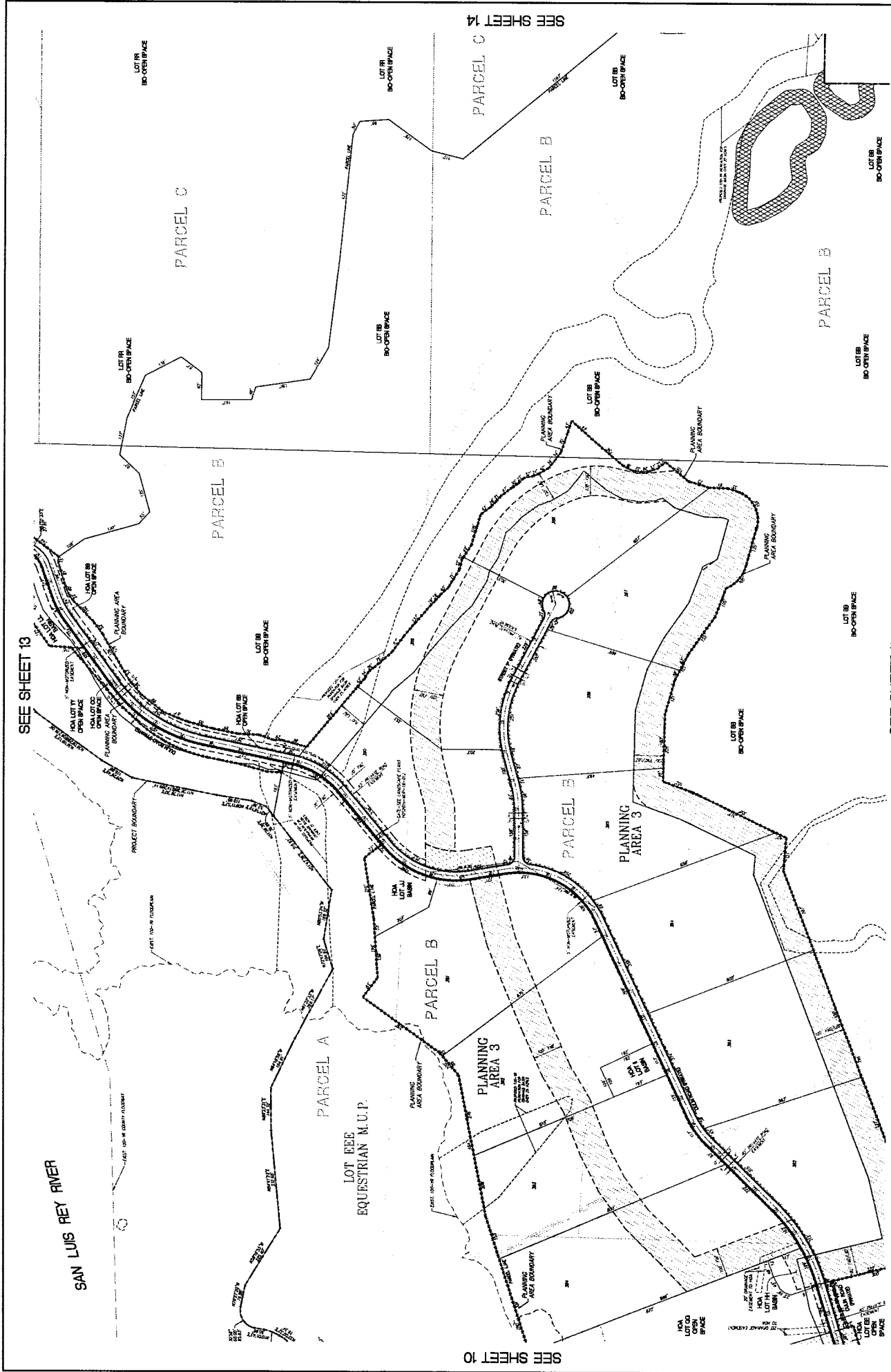
COUNTY OF SAN LUIS OBISPO TRACT 686
 PLANNED DEVELOPMENT MAJOR USE PERMIT PD20006-AUP-02
 TENTATIVE MAP PLAN
 OCCUPANCY PERMITS PUNCH
 TRACT 686, PARCEL 333

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Civil Engineering | Surveying



CITY OF SUDBURY TRUST FOR
PLANNED DEVELOPMENT MAJOR USE PERMIT PG2020-047-80-02
TENTATIVE MAP PLAN
OCEAN WALK BEACH
SUDSBURY, ONTARIO

PROJECT DESIGN CONSULTANTS
PETERSON CONSULTANTS
Architecture • Planning • Survey • Landscape Architecture



SEE SHEET 11

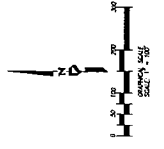
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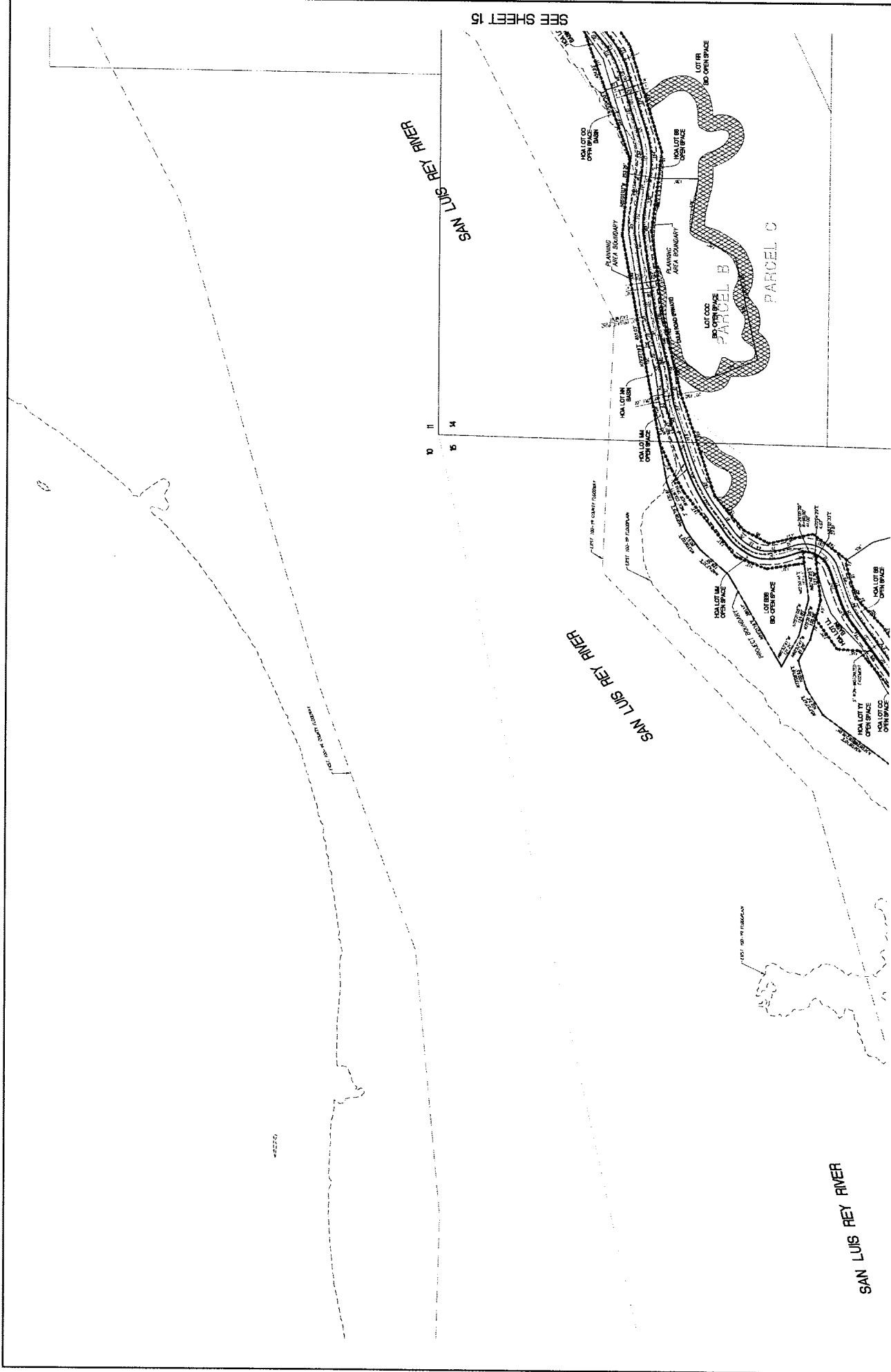
SEE SHEET 14

COUNTY OF SAN DIEGO TRACT 565
 PLANNED DEVELOPMENT MAP NO. 100000-140-02
 OCEAN BREEZE RANCH
 TENTATIVE MAP PLAN

PROJECT DESIGN CONSULTANTS
 [Logo]

SHEET 12 OF 17





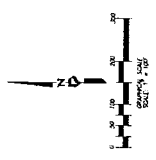
SEE SHEET 12

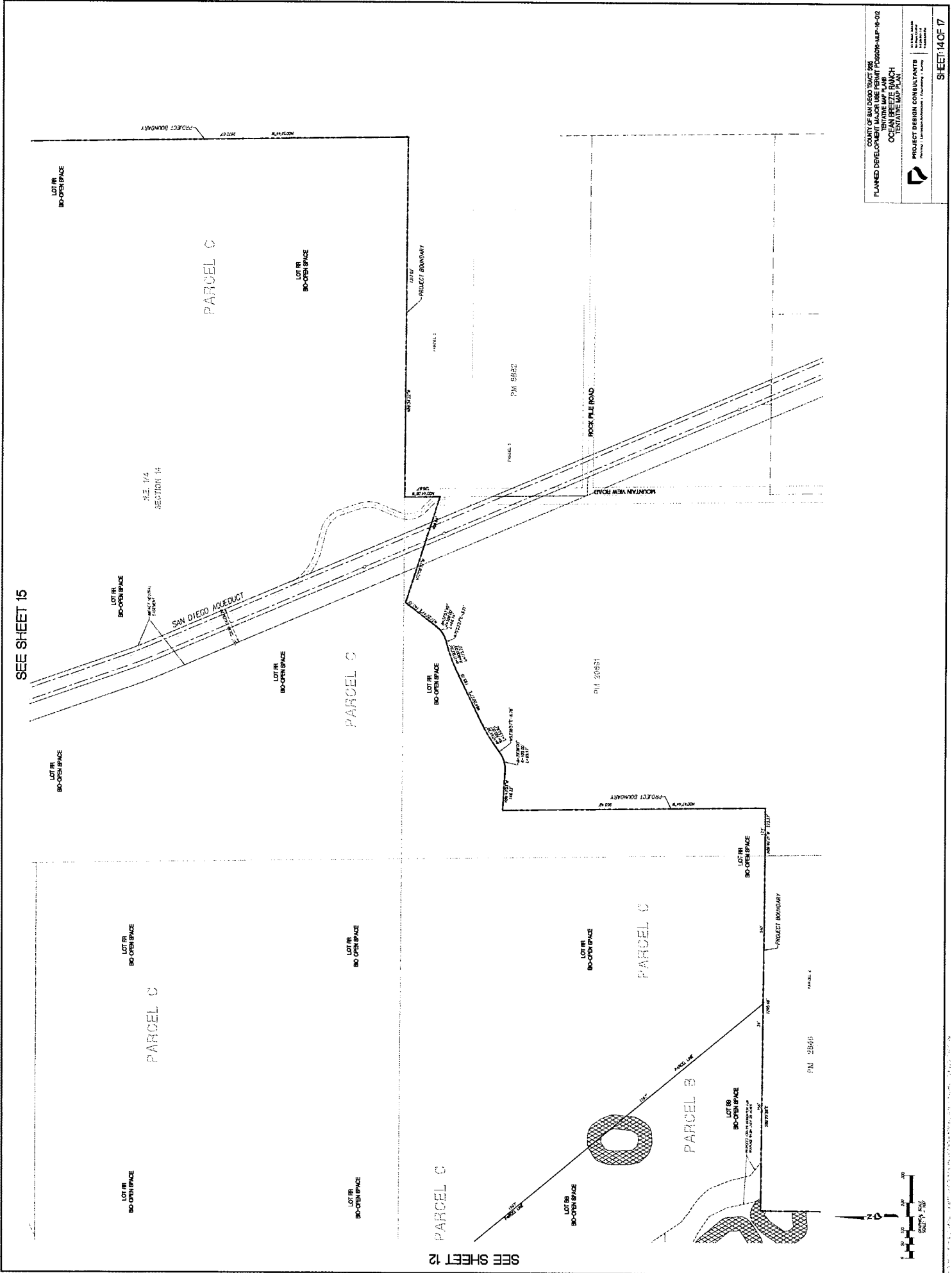
SEE SHEET 15

COUNTY OF SAN DIEGO TRACT 995
 PLANNED DEVELOPMENT MAJOR USE PERMIT FOR SDMP-14P-02
 TRIVIA WAY PLANNED DEVELOPMENT MAJOR USE PERMIT
 TENTATIVE MAP PLAN

PROJECT DESIGN CONSULTANTS
 CIVIL ENGINEERS, ARCHITECTS, PLANNERS
 11555 SAN DIEGO AVENUE, SUITE 200
 SAN DIEGO, CALIFORNIA 92131

SHEET 13 OF 17



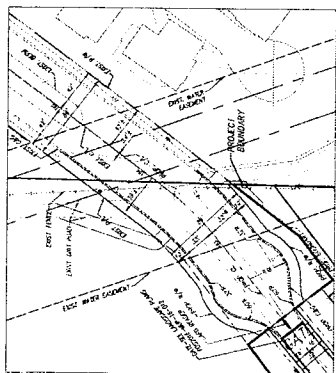


COURTY OF SAN DIEGO DISTRICT 945
 PLANNED DEVELOPMENT MAP 2012-001
 OCEAN BREEZE BRANCH
 TENTATIVE MAP PLAN

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Surveying

SHEET 14 OF 17

DATE PLOTTED: 04/15/2014 10:58:11 AM

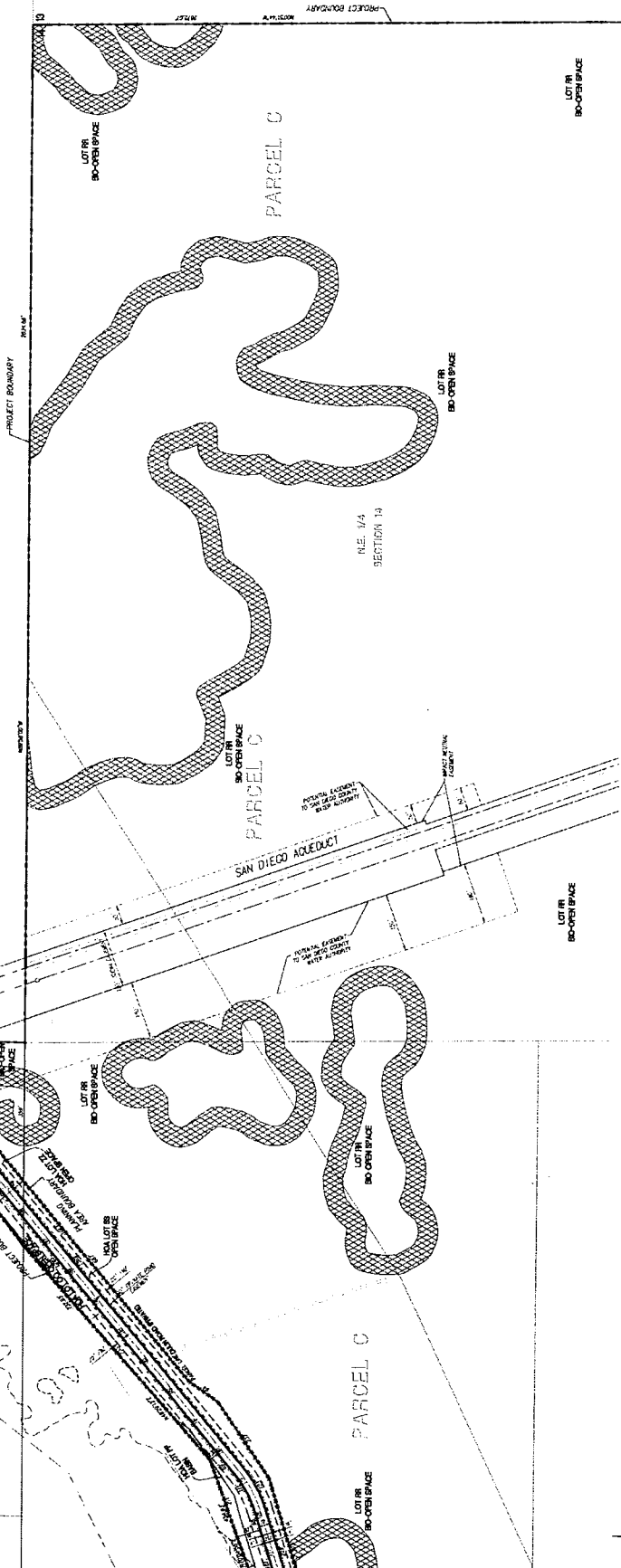


DETAIL DULIN ROAD TIE-IN
SCALE: 1" = 100'

MAP 10251
TRANCHIO MONSIEGATE COUNTY CLUB

LOT 1
TRANCHIO MONSIEGATE COUNTY CLUB

MAP 10251



PARCEL C

PARCEL C

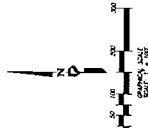
N.E. 1/4
SECTION 14

SEE SHEET 13

SEE SHEET 14

COUNTY OF SAN DIEGO TRACT 888
PLANNED DEVELOPMENT MAJOR USE PERMIT FOR 2008-14P-14-02
TERMINATE MAP PLAN
CONVERT TO ZONING PLAN
TERMINATE MAP PLAN

PROJECT DESIGN CONSULTANTS
[Logo]
[Address]
[Phone]
[Website]



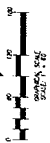
SEE SHEET 9

LOT EEE
EQUESTRIAN
M.U.P.

PARCEL A

PLANNING
AREA 3

PARCEL B



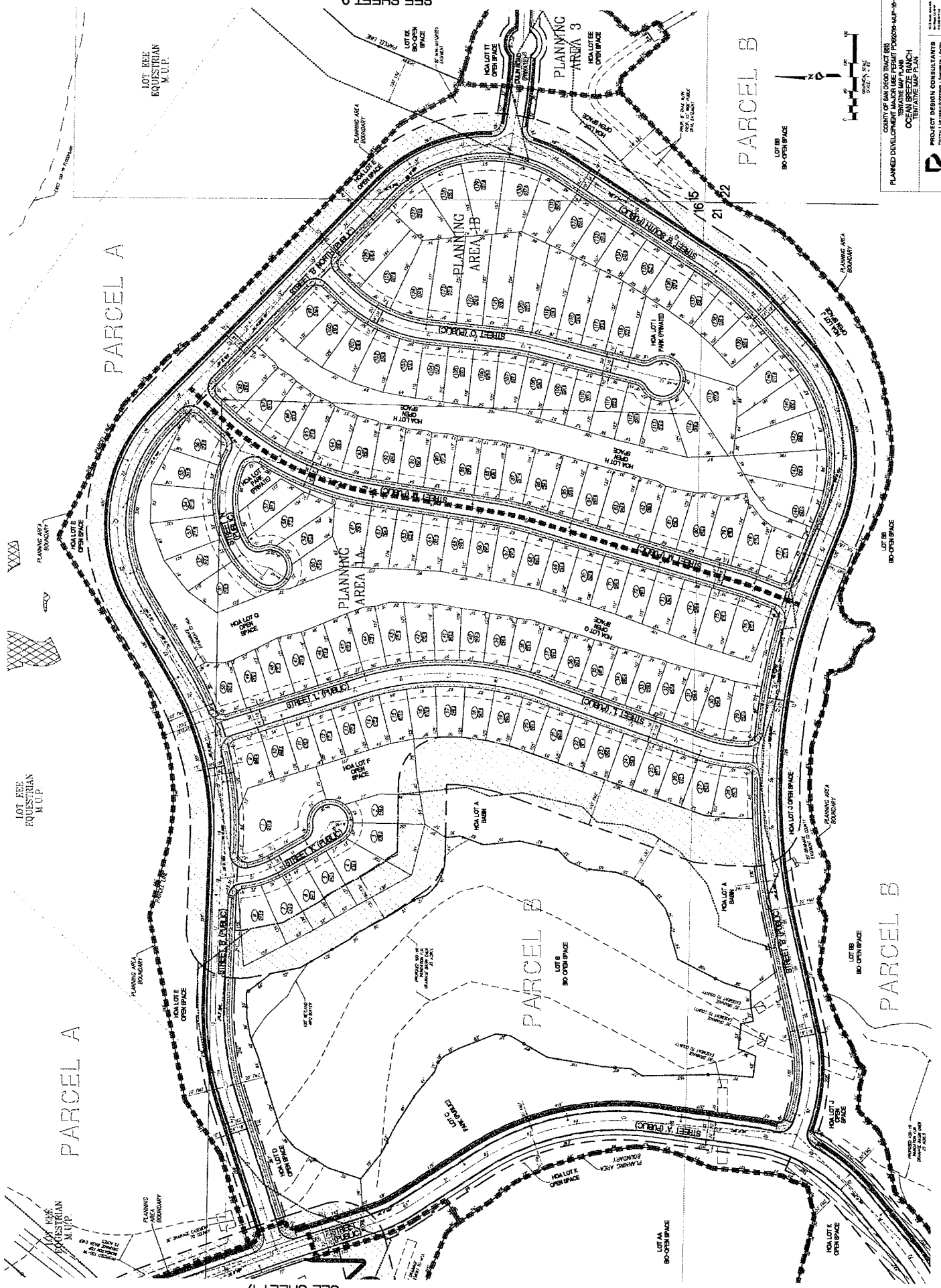
COUNTY OF SAN DIEGO TRACT 593
PLANNED DEVELOPMENT MAJOR USE PERMIT FLOOR-PLAN-02
SHEETS 1-16
OCEAN BREEZE MARCH
TENTATIVE L&P PLAN



PROJECT DESIGN CONSULTANTS
11111 LA JOLLA VILLAGE DRIVE, SUITE 100
SAN DIEGO, CA 92131
TEL: 619-451-1111
WWW.PDCON.COM

DATE: 03/11/11
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
SCALE: AS SHOWN

SHEET: 16 OF 17



LOT EEE
EQUESTRIAN
M.U.P.

PARCEL A

PARCEL B

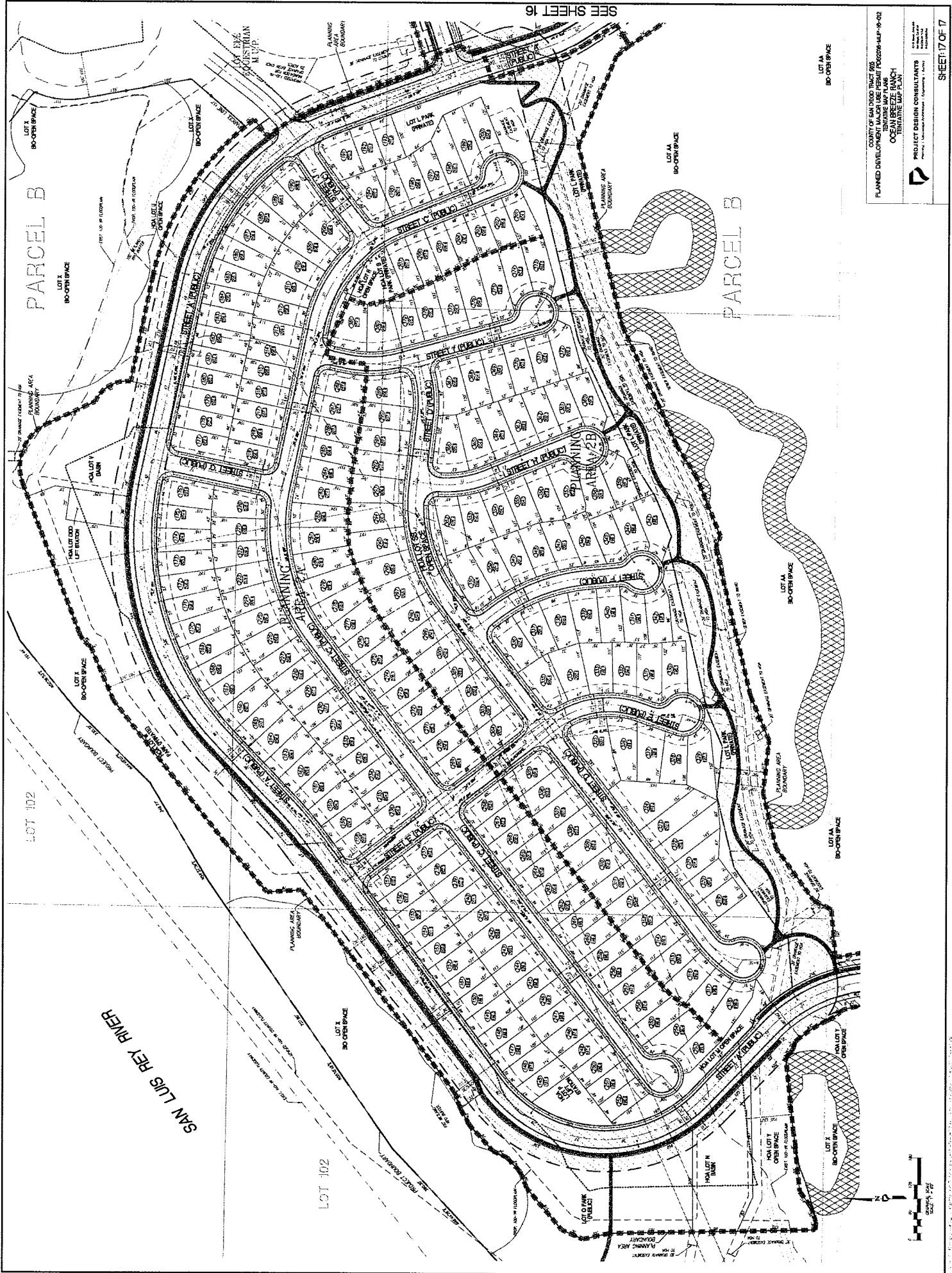
PARCEL B

SEE SHEET 17

LOT EEE
EQUESTRIAN
M.U.P.

LOT AA
HOA LOT 11
OPEN SPACE

LOT K
HOA LOT 11
OPEN SPACE



PARCEL B

PARCEL B

LOT 102

LOT 102

SAN LUIS REY RIVER

LOT 1A
30-078-SPACE

LOT 1A
30-078-SPACE

LOT 1A
30-078-SPACE

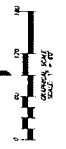
LOT 1A
30-078-SPACE

LOT 1A
30-078-SPACE

COUNTY OF SAN DIEGO TRACT 935
 PLANNED DEVELOPMENT MAP FOR THE USE OF THE LAND FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT
 OCEAN BREEZE BRANCH
 TENTATIVE LAYOUT PLAN

PROJECT DESIGN CONSULTANTS
 [Logo]
 11111
 11111
 11111

SHEET 17 OF 7



MIP SHEET 20F-32

LOT AREA TABLE

LOT AREA TABLE

LOT AREA TABLE

LOT AREA TABLE

LOT AREA TABLE

LOT AREA TABLE

PLANNED DEVELOPMENT REGULATIONS

PLANNED DEVELOPMENT REGULATIONS

PLANNED DEVELOPMENT REGULATIONS

PLANNED DEVELOPMENT REGULATIONS

PLANNED DEVELOPMENT REGULATIONS

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PLANNED DEVELOPMENT REGULATIONS

PROJECT DESIGN CONSULTANTS

PROJECT DESIGN CONSULTANTS

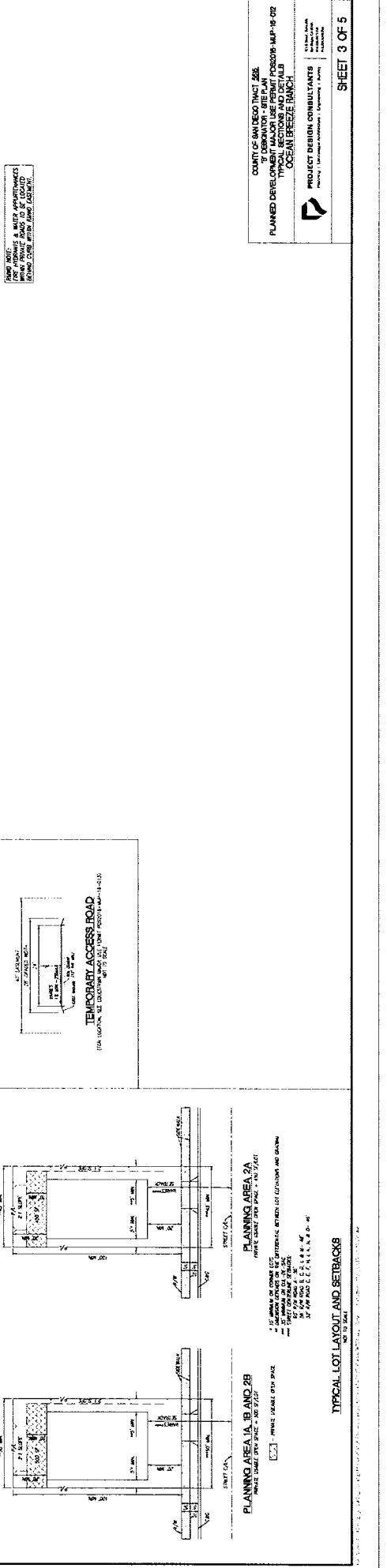
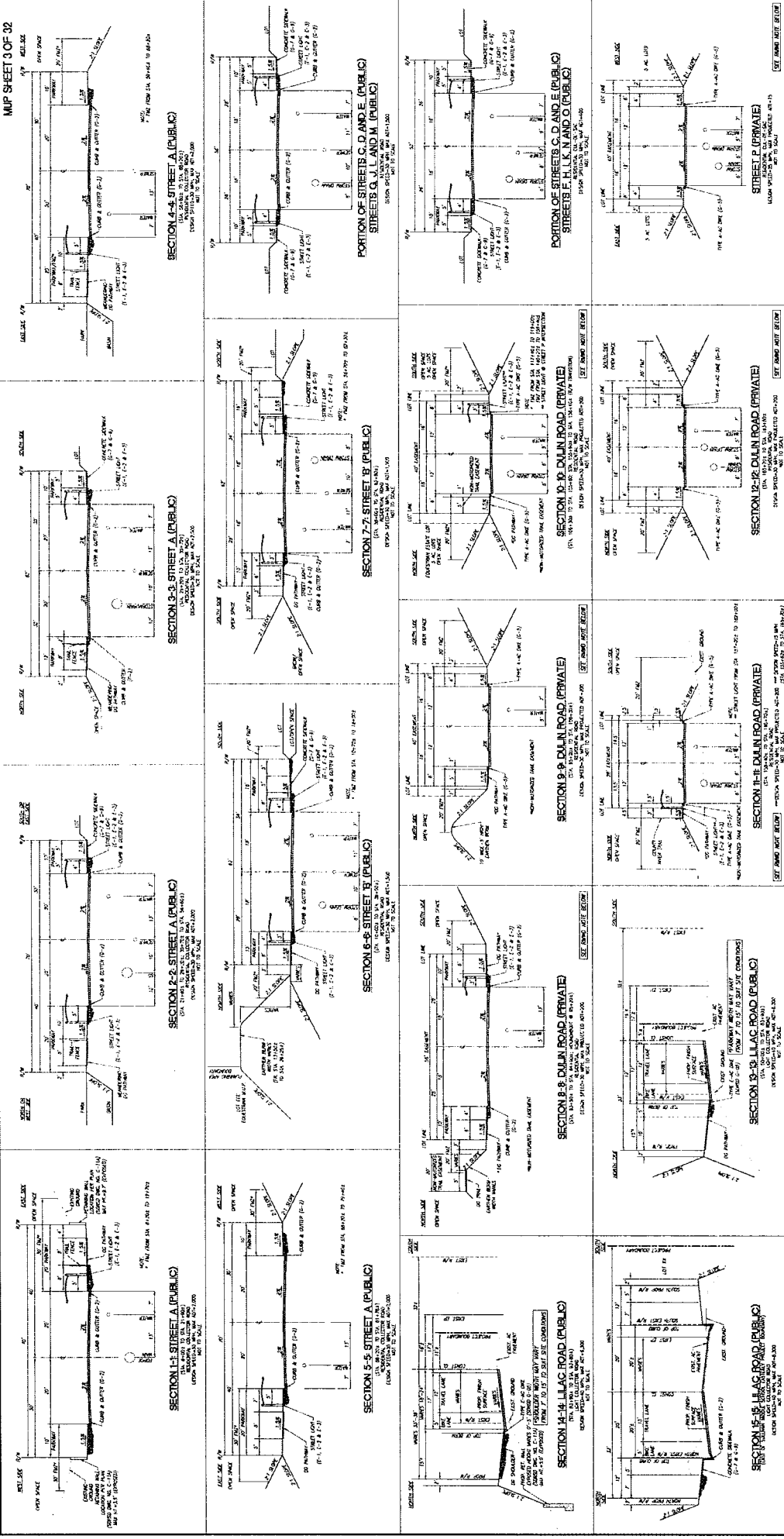
PROJECT DESIGN CONSULTANTS

PROJECT DESIGN CONSULTANTS

PROJECT DESIGN CONSULTANTS

PROJECT DESIGN CONSULTANTS

PROJECT DESIGN CONSULTANTS



COUNTY OF SAN DIEGO TRACT 656
 PLANNING DEVELOPMENT MAJOR USE PERMIT POSSIBLY MAP-19-02
 THE COUNTY OF SAN DIEGO TRACT 656
 OCEAN BEACH RANCH

PROJECT DESIGN CONSULTANTS
 (Name), (Address), (City), (State), (Zip)

SHEET 3 OF 5

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

EXIST. ROAD NOTE BELOW

LOT 700
EQUESTRIAN
M.U.P.

PARCEL A

PARCEL A

LOT 699
EQUESTRIAN
M.U.P.

LOT 698
EQUESTRIAN
M.U.P.

SEE SHEET 5

PARCEL B

PARCEL B

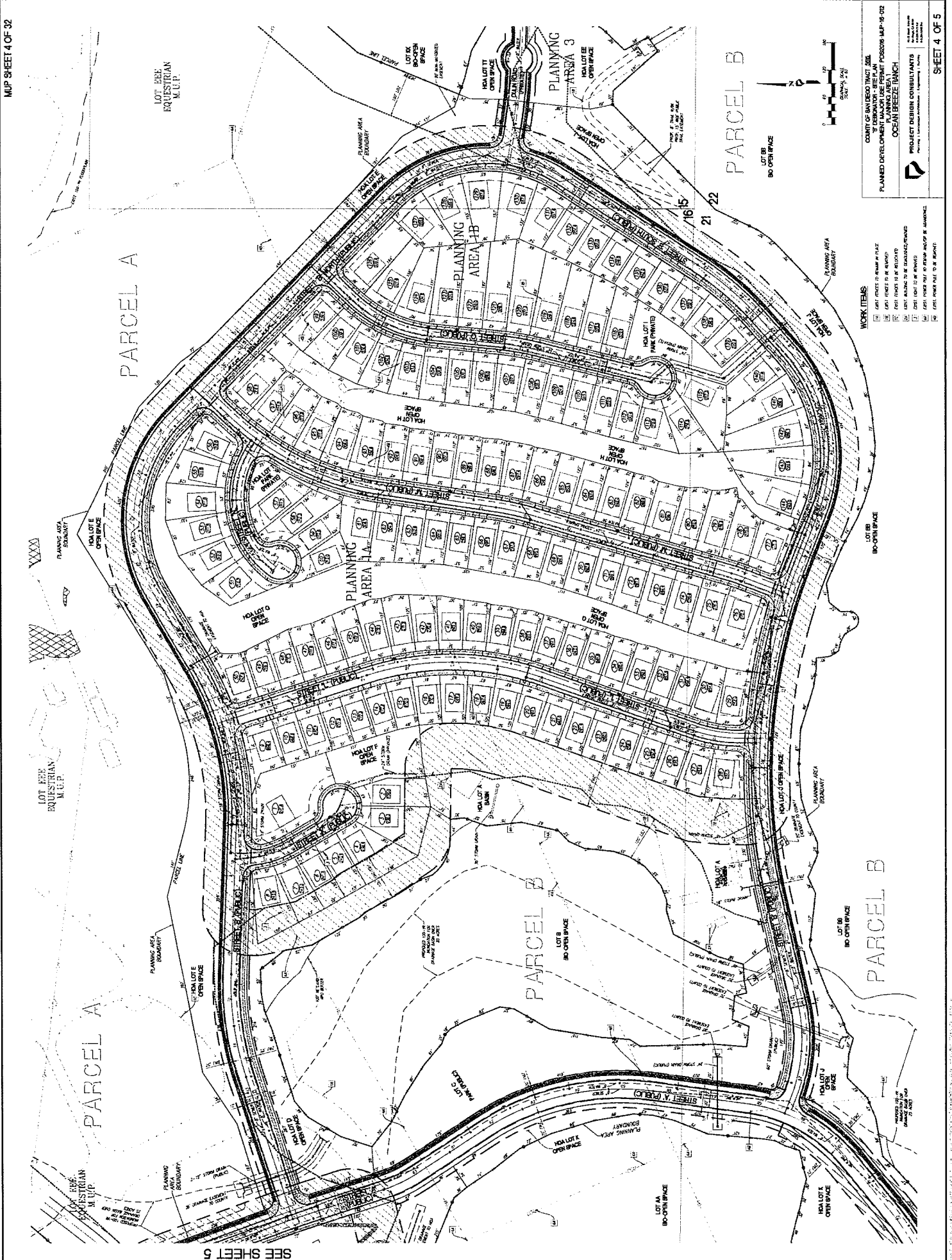
PARCEL B

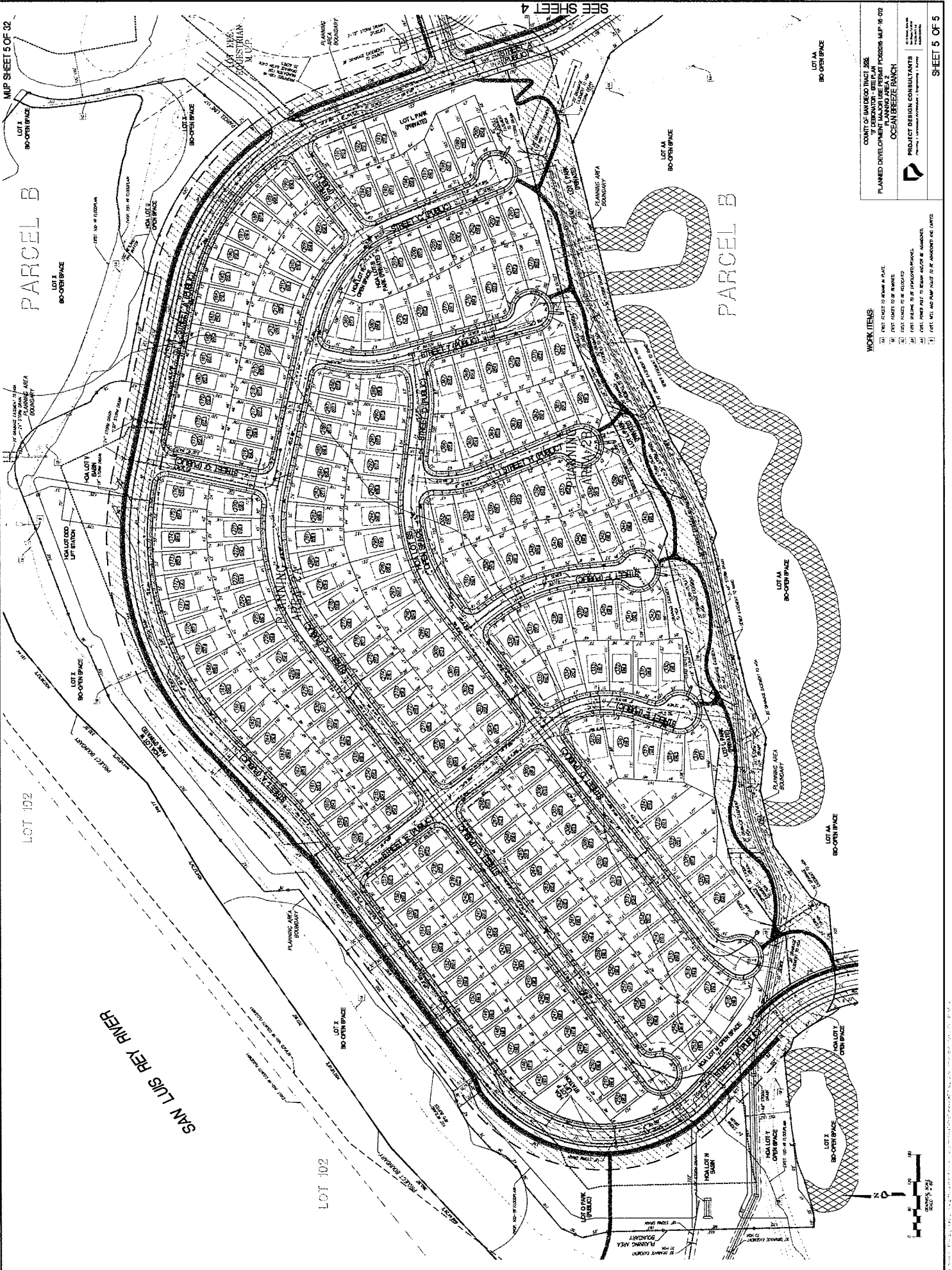
PARCEL B

WORK ITEMS

- 1. LOT 100 TO 104 IN PLAN
- 2. LOT 105 TO 109 IN PLAN
- 3. LOT 110 TO 114 IN PLAN
- 4. LOT 115 TO 119 IN PLAN
- 5. LOT 120 TO 124 IN PLAN
- 6. LOT 125 TO 129 IN PLAN
- 7. LOT 130 TO 134 IN PLAN
- 8. LOT 135 TO 139 IN PLAN
- 9. LOT 140 TO 144 IN PLAN
- 10. LOT 145 TO 149 IN PLAN

COUNTY OF SAN DIEGO
PLANNING AND COMMUNITY DEVELOPMENT
PLANNED DEVELOPMENT MAJOR USE PERMIT POSSESSION MAP-18-02
OCEAN BEACH EQUESTRIAN
PROJECT DESIGN CONSULTANTS
Planning & Landscape Architecture • Engineering • Surveying





COUNTY OF SAN DIEGO TRACT 102
 PLANNED DEVELOPMENT VALOR USE PERMIT PROJECT MAP 16-02
 OCEAN BREEZE BACH

PROJECT DESIGN CONSULTANTS
 PERIOD: COMMERCIAL - Planning / Civil

DATE: 10/20/16
 DRAWN BY: [Name]
 CHECKED BY: [Name]

WORK ITEMS

- 1. LOT 102 TO BE PLANNED
- 2. LOT 103 TO BE PLANNED
- 3. LOT 104 TO BE PLANNED
- 4. LOT 105 TO BE PLANNED
- 5. LOT 106 TO BE PLANNED
- 6. LOT 107 TO BE PLANNED
- 7. LOT 108 TO BE PLANNED
- 8. LOT 109 TO BE PLANNED
- 9. LOT 110 TO BE PLANNED
- 10. LOT 111 TO BE PLANNED
- 11. LOT 112 TO BE PLANNED
- 12. LOT 113 TO BE PLANNED
- 13. LOT 114 TO BE PLANNED
- 14. LOT 115 TO BE PLANNED
- 15. LOT 116 TO BE PLANNED
- 16. LOT 117 TO BE PLANNED
- 17. LOT 118 TO BE PLANNED
- 18. LOT 119 TO BE PLANNED
- 19. LOT 120 TO BE PLANNED

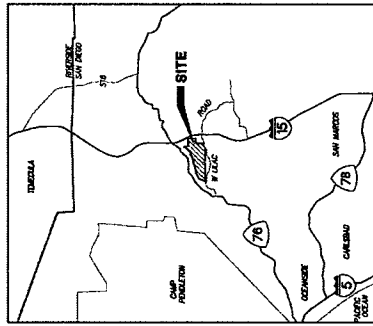
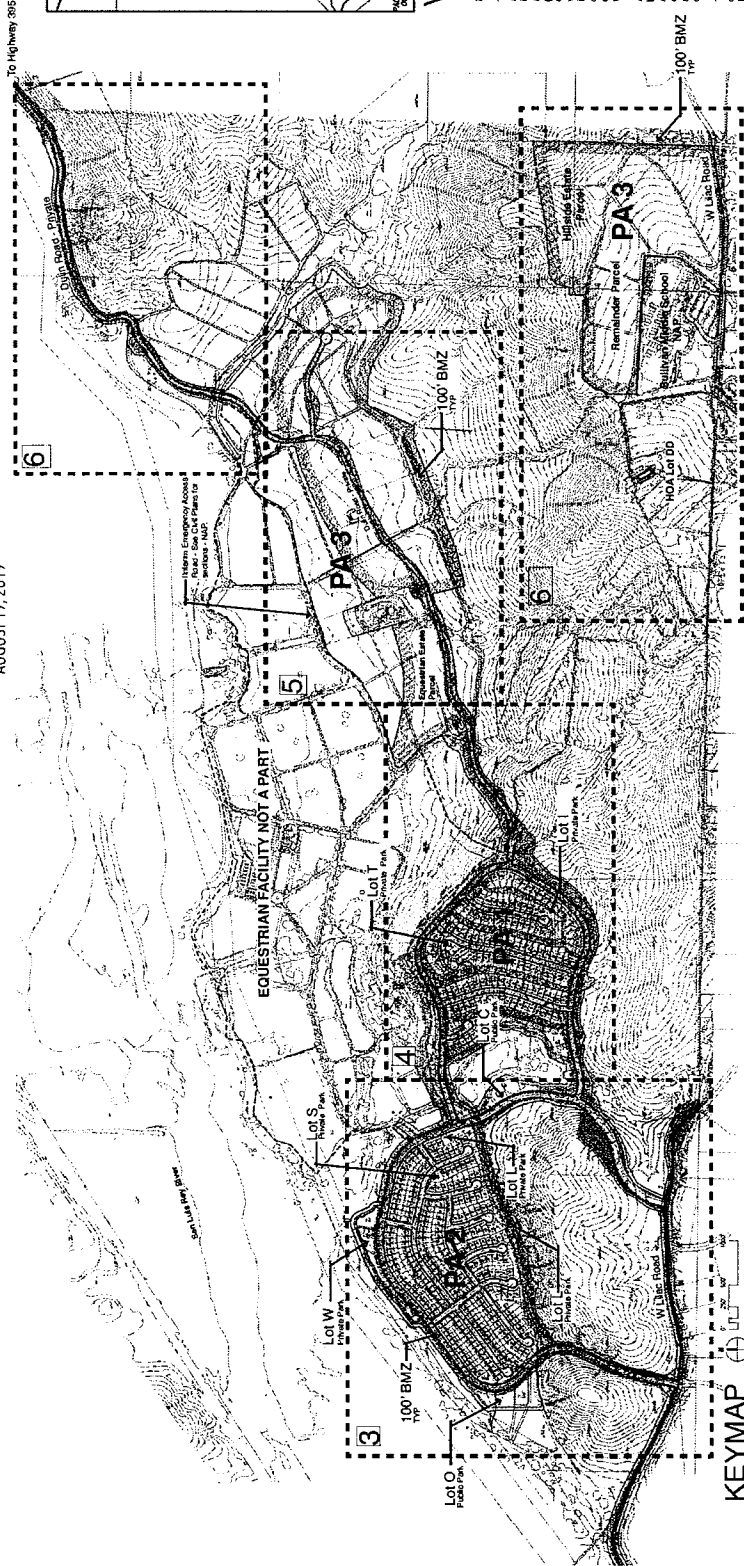
COUNTY OF SAN DIEGO TRACT 5615

CONCEPTUAL LANDSCAPE PLAN FOR:

OCEAN BREEZE RANCH

MUP #PDS2016-MUP-16-012

AUGUST 19, 2019



VICINITY MAP NTS

NOTE: MAJOR USE PERMIT

The approved plan, site design, conceptual landscape plan, and including, but not limited to, residential, recreational, streets, lighting and other site improvements are provided for illustrative purposes only. The actual construction of the project and the final design and development of the project must be in accordance with the applicable regulatory standards. Proposed developments that are in substantial violation of the approved project may be approved at the discretion of the Director of Planning & Development Services.

A Minor Deviation to the Major Use Permit is not required for any building, structure or projection listed in 4935 or any use listed in the Accessory Use Regulations, Section 4936-6109 for an otherwise referred to as a Minor Deviation. The Director of Planning & Development Services may, at its discretion, require specific accessory use attachments in the Major Use Permit and may also require other conditions and restrictions in the Major Use Permit.

The Director of Planning & Development Services is authorized, at the discretion, to allow changes to the project without requiring a Minor Deviation to the Major Use Permit provided County staff determines that the changes do not result in a substantial adverse effect on the project, and any identified significant environmental effects will occur as a result of the requested change(s).

Tree Planting Summary Total Conceptual Tree Planting - 2,371+

Per the County Climate Action Plan - All new residential lots will be required to plant 2 trees per lot. The following is an estimate of the approximate number trees to be planted within the project. This will be revised and updated during the development of the final Landscape Documentation Package.

Project planting for landscape development to be determined.

AREA	Approximate Number of Trees	AREA	Approximate Number of Trees
PA 1		PA 3	
Residential Lots - 144	288 (2 Per lot)	Residential Lots - 15	30 (2 Per lot)
Street A	75	Dulin Road	35 (Note - Portion of road remains unutilized, newly)
Street B	205	West Liliac Frontage	20 (Note - Existing trees and future landscape occur on the road)
Streets K-O	200	PA 3 Subtotal	85
PA 1 Subtotal	768	Lot L Private Park	63
PA 2		Lot O Public Park	28
Residential Lots - 237	474 (2 Per lot)	Lot W Private Park	60
West Liliac Frontage	50 (Note - Existing trees and future landscape occur on the road)	Lot C Private Park	30
Street A	250	Lot J Private Park	10
Streets C-J	300	Parks Subtotal	203
PA 2 Subtotal	1072	Slopes/Basins	225
		HOA Open Space	18

LANDSCAPE SHEET INDEX

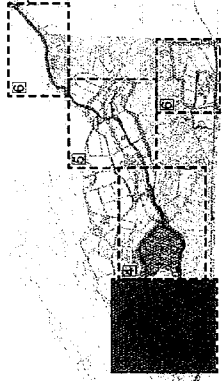
SHEETS	PLANS
L1	LANDSCAPE TITLE SHEET
L2	LANDSCAPE NOTES AND LEGEND
L3-6	LANDSCAPE CONCEPT PLAN
L7	LANDSCAPE PARKS CONCEPT
L8	LANDSCAPE STREET SECTIONS
L9	WALL AND FENCE PLAN
L10	GATE - TRAIL/PATHWAY CONCEPT PLAN

MS-ASLA

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Landscape Architecture - Community Planning
300 North Coast Highway Suite 1
San Marcos, CA 92069
951-751-2500

Revised 08-19-2019
1st Submission 08-19-2019
2nd Submission 05-21-2019
3rd Submission 12-10-2018
4th Submission 5-23-2018
Original Submission 3-23-2018

TRACT 5615	TERMINING MAP
TITLE MAP	OCEAN BREEZE RANCH
Landscape Title Sheet	
MUP #PDS2016-MUP-16-012	
August 19, 2019	



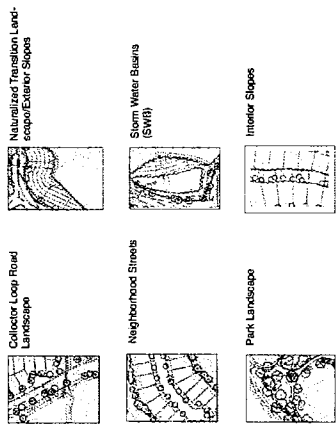
Sheet Index

- Legend**
- Future Public SLR River Trail (by County)
 - DG Pathway Public (8 FT Street A, 6 FT Street B)
 - DG Pathway Private (5 ft - DRAIN ROAD)
 - DG Trail (Privately Maintained Open to Public)
 - West Lilac Road Public DG Pathway
 - 8' Public Trail within 15' easmt (Primarily Maintained Open to Public)
 - Brush Management Zone

See Section - Sheet 8 for Pathway and Trail widths

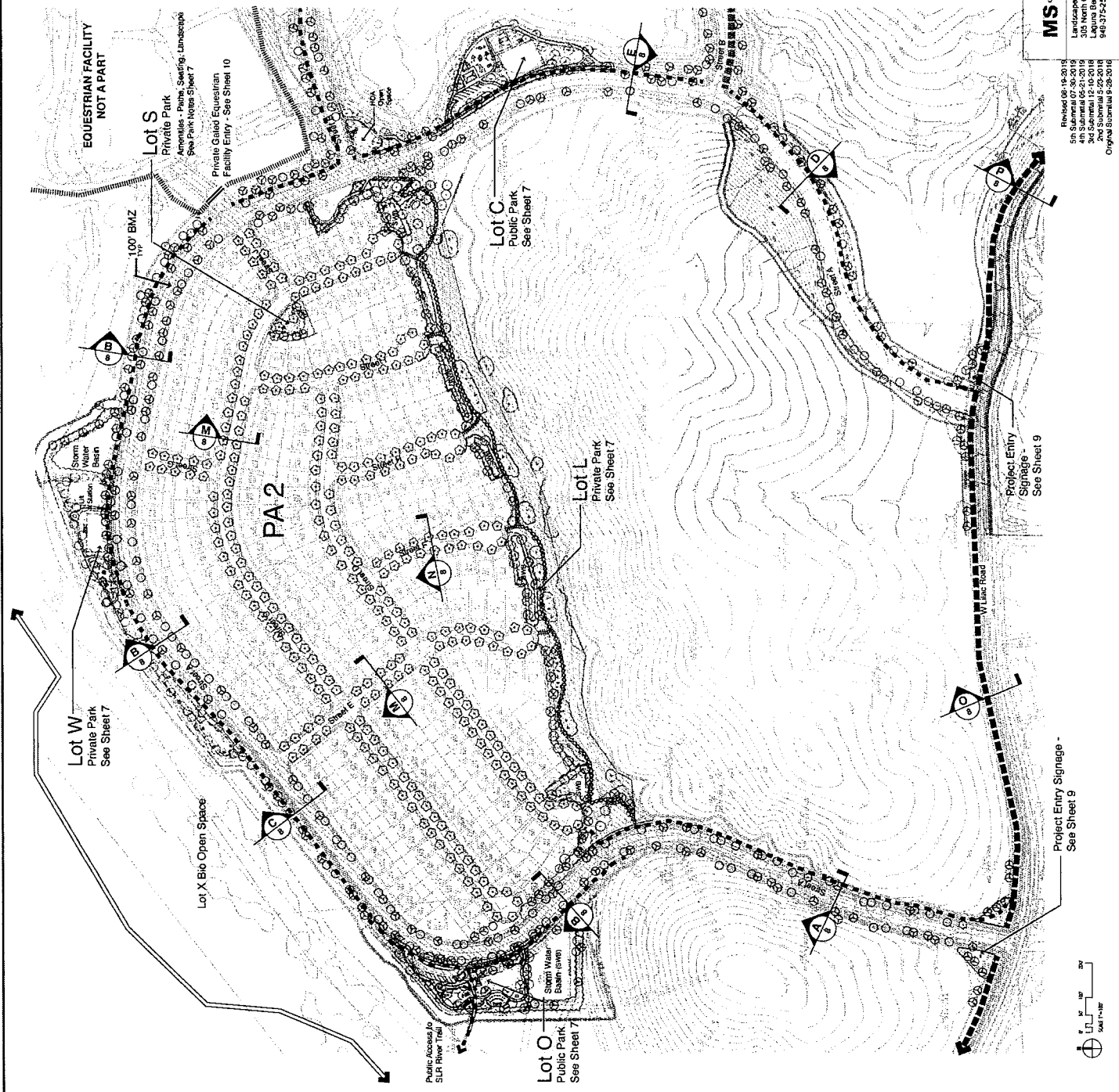
LANDSCAPE CONCEPT LEGEND

See Sheet 2 for Plant List



NOTES

THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE DEVELOPER SHALL MAINTAIN THESE APPROVALS THROUGHOUT THE LIFE OF THE PROJECT. THE DEVELOPER SHALL MAINTAIN THESE APPROVALS THROUGHOUT THE LIFE OF THE PROJECT. THE DEVELOPER SHALL MAINTAIN THESE APPROVALS THROUGHOUT THE LIFE OF THE PROJECT.



MS·ASLA
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 305 North Coast Highway, Suite 7
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 949-375-2525

Tract: 5615
 TOWN: TOWN OF LAGUNA
OCEAN BREEZE RANCH
 Landscape Concept Plan
 MUP #PDS2016-MUP-16-012
 August 19, 2019

Revised: 08-19-2019
 5th Submission: 07-30-2019
 4th Submission: 05-21-2019
 3rd Submission: 05-16-2019
 2nd Submission: 05-29-2018
 Original Submission: 9-28-2016

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

Project Entry Signage - See Sheet 9

LANDSCAPE CONCEPT LEGEND

See Sheet Z for Plant List



- Future Public SLR River Trail (by County)
- DG Pathway Public (8 FT Street A, 8 FT Street B)
- DG Pathway Private (5 ft - Dullin Road)
- DG Trail (Privately Maintained Open to Public)
- West Lilac Road Public DG Pathway
- 8' Public Trail within 15' easmt. (Privately Maintained Open to Public)
- Brush Management Zone

See Sections - Sheet 8 for Pathway and Trail widths

NOTES

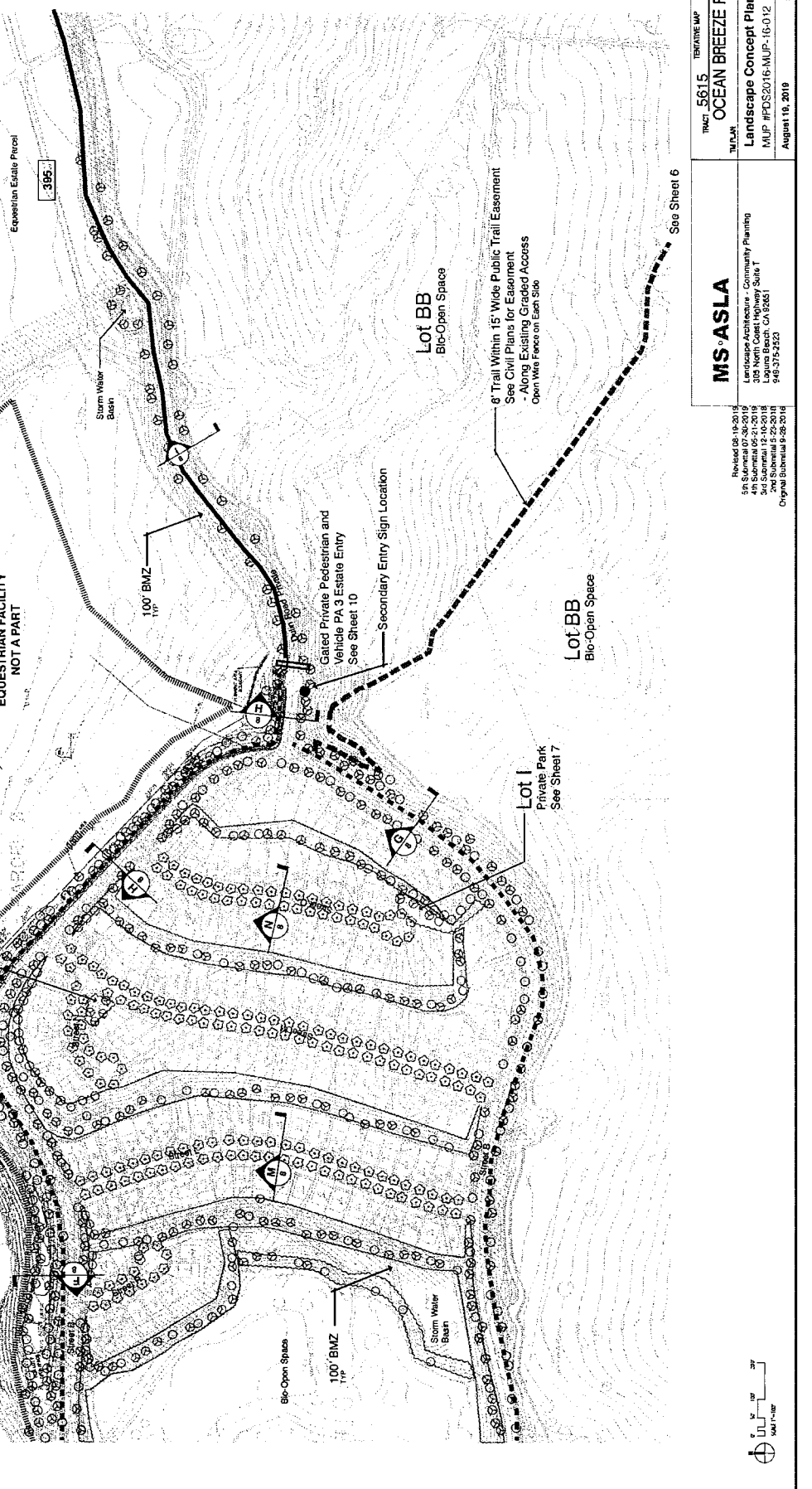
1. All plants shown on this plan are to be installed and maintained by the developer. The developer will plant, irrigate, and maintain these plants until such time as the contractor has established a maintenance program. The contractor will be responsible for the maintenance of the plants until the developer has established a maintenance program. The developer will be responsible for the maintenance of the plants.

EQUESTRIAN FACILITY NOT A PART

Lot T Private Park Amenities - Paths, Seating, Landscape. See Park Notes Sheet 7

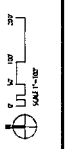
EQUESTRIAN FACILITY NOT A PART

Exposition Estate Parcel



<p>MS-ASLA</p> <p>Landscape Architecture - Community Planning</p> <p>305 North Coast Highway Suite 1</p> <p>Laguna Beach, CA 92651</p> <p>949-375-2523</p>	<p>TRACT 5615, TENTATIVE MAP</p> <p>OCEAN BREEZE RANCH</p>
	<p>LANDSCAPE CONCEPT PLAN</p> <p>MUP #PDS2016-MUP-16-012</p> <p>August 18, 2019</p>

Revised 08-18-2019
 5th Submittal 07-28-2019
 4th Submittal 05-21-2019
 3rd Submittal 12-20-2018
 2nd Submittal 09-28-2018
 Original Submittal 9-28-2018

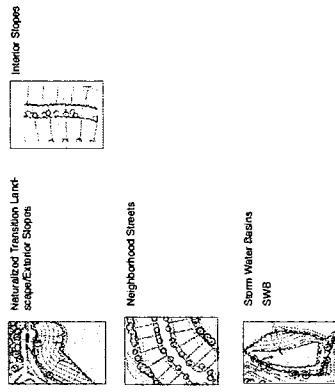


- Legend**
- Future Public SLR River Trail (By County)
 - DG Pathway Public (6 FT Street A, 6 FT Street B)
 - DG Pathway Private (6 ft - Duin Road)
 - DG Trail (Privately Maintained Open to Public)
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See Sections - Sheet 8 for Pathway and Trail widths

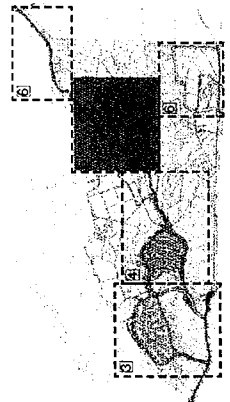
LANDSCAPE CONCEPT LEGEND

See Sheet 2 for Plant List

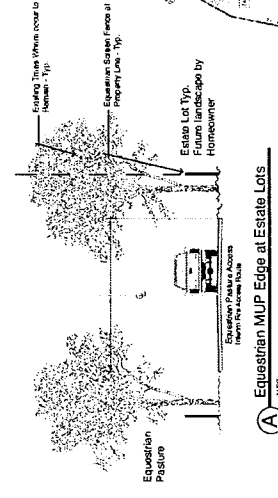


NOTES

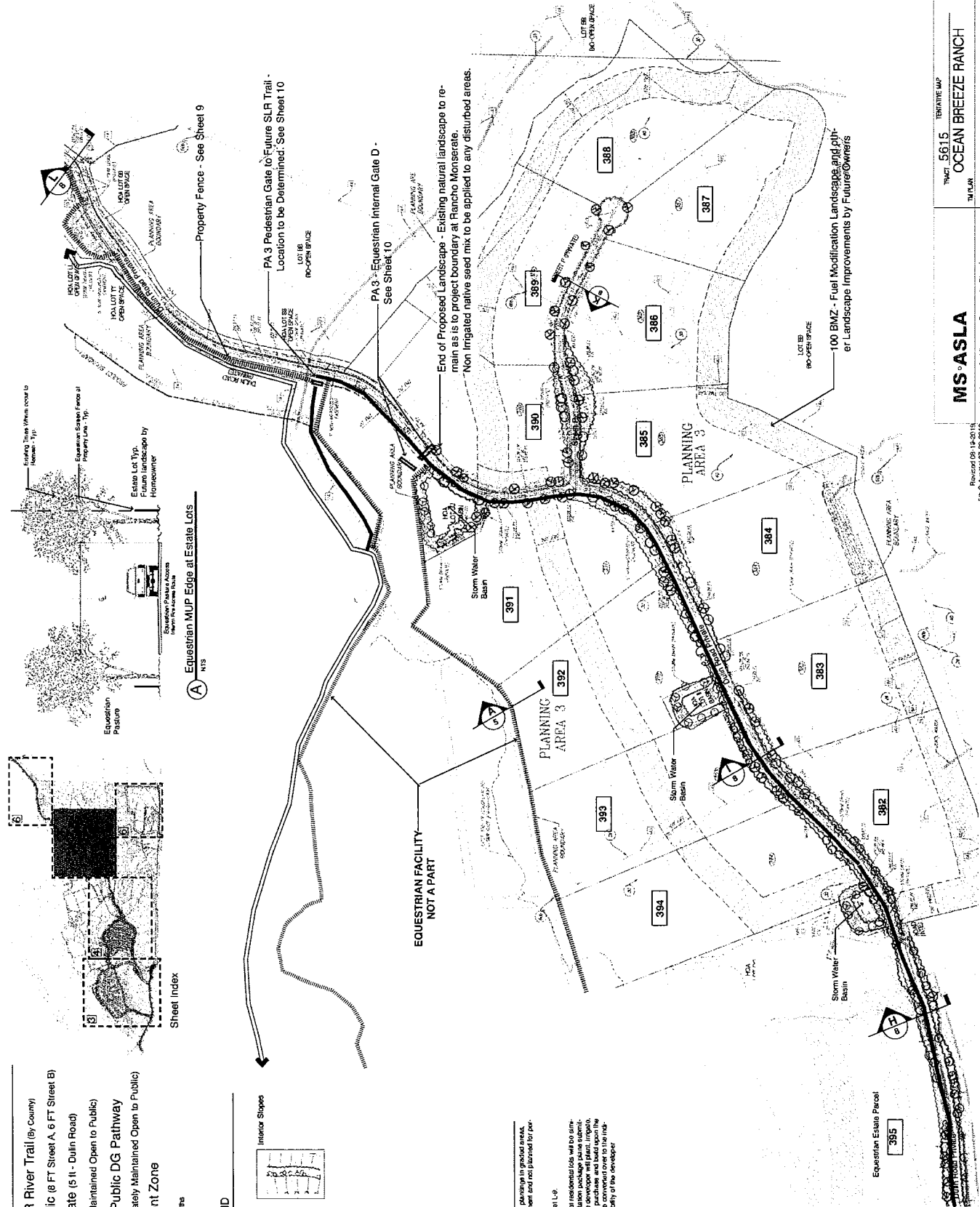
1. Temporary irrigation may be required to establish plantings in graded areas, or any case that may be disturbed during development and not planned for permanent irrigation.
2. For typical Estate Lot layout and fencing see sheet L-10
3. All slopes over 3:1 in vertical height within individual residential lots will be fully planted and irrigated from landscape documentation package plus submit a landscape plan for the entire site. The landscape plan shall include a detailed and maintain these plantings at such time as other purchase and build upon the lot. At the time irrigation plant of connections will be converted over to the individual lot owner (HOA) and no longer the responsibility of the developer.



Sheet Index



A Equestrian MUP Edge at Estate Lots

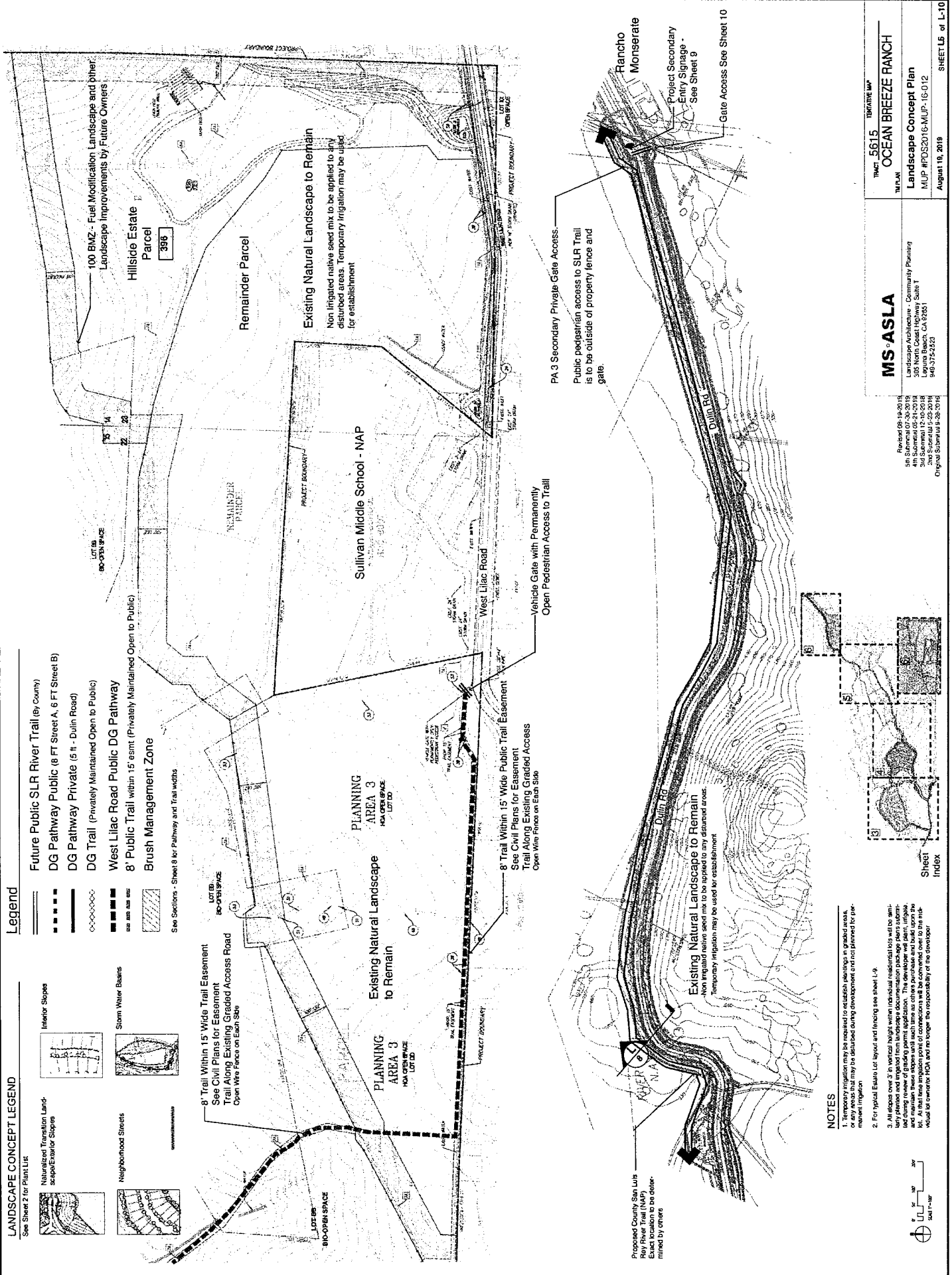


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 3rd Submission 12-10-2018
 2nd Submission 08-28-2018
 Original Submission 05-28-2018

TRACT 5615 TERMINAL WP
 TULSKAN
OCEAN BREEZE RANCH
 Landscape Concept Plan
 MUP #PDS2016-MUP-16-012
 August 19, 2019





LANDSCAPE CONCEPT LEGEND
See Sheet 2 for Plant List

- Naturalized Transition Landscape Exterior Slopes
- Inferior Slopes
- Neighborhood Streets
- Storm Water Basins
- Future Public SLR River Trail (by County)
- DG Pathway Public (6 FT Street A, 6 FT Street B)
- DG Pathway Private (6 ft - Dulin Road)
- DG Trail (Privately Maintained Open to Public)
- West Lilac Road Public DG Pathway
- 8' Public Trail within 15' easmt (Privately Maintained Open to Public)
- Brush Management Zone
- See Sections - Sheet 9 for Pathway and Trail widths

NOTES

- Temporary irrigation may be required to establish plantings in graded areas, or any areas that may be disturbed during development and not planned for permanent irrigation.
- For typical Easement Lot layout and fencing see sheet L-9.
- All slopes over 3% in vertical height within residential residential lots will be semi-planting and eroded from landscape documentation package plant community during review of grading permit application. The developer will be responsible for all plantings and maintenance of each area as shown on the plan. The developer will be responsible for all plantings and maintenance of each area as shown on the plan. The developer will be responsible for all plantings and maintenance of each area as shown on the plan.

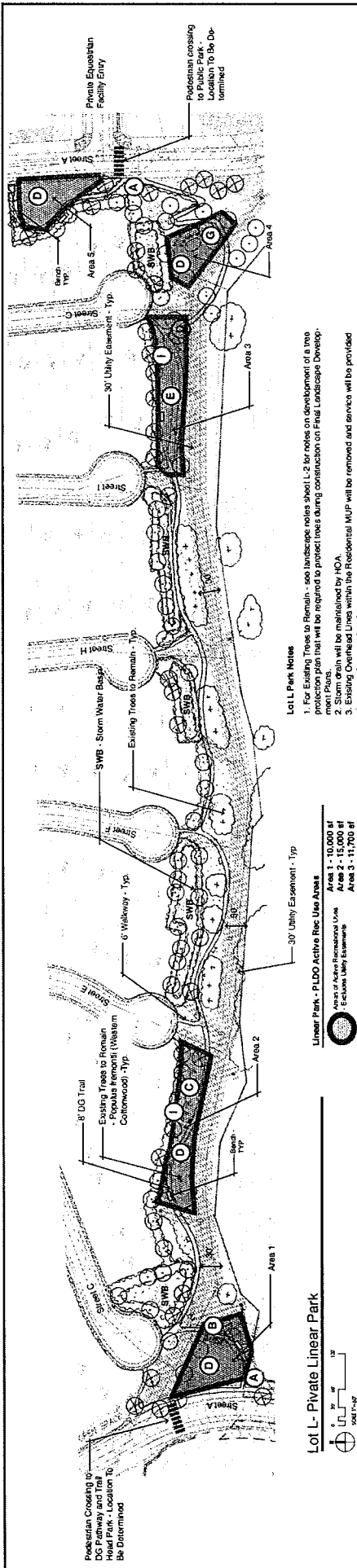
TRACT 5615
OCEAN BREEZE RANCH
LANDSCAPE CONCEPT PLAN
MUP #PDS2016-MUP-IG-012
August 18, 2019
SHEET 11 of L-10

MS ASLA
Landscape Architecture - Community Planning
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949-372-2923

Revised 09-18-2019
5th Submission 07-30-2019
4th Submission 05-24-2019
3rd Submission 11-22-2018
2nd Submission 09-28-2018
Original Submission 09-28-2018

Sheet Index

Proposed County San Luis Rey River Trail (NAP)
Exact location to be determined by others

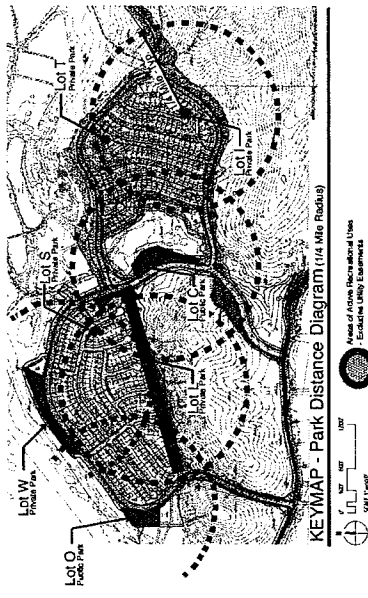


Lot L Park Notes

- For Existing Trees to Remain - see landscape notes sheet L-2 for notes on development of a two protection plan that will be required to protect trees during construction on Final Landscape Development Plans.
- Storm drain will be maintained by HOA.
- Existing trees within the residential MUP will be removed and service will be provided via new underground systems.

Linear Park - PUDO Active Rec. Use Areas

Area 1 - 10,000 sf
 Area 2 - 15,000 sf
 Area 3 - 11,700 sf
 Area 4 - 10,000 sf
 Area 5 - 9,000 sf
 Area 6 - 9,000 sf
 Area 7 - 9,000 sf
 Area 8 - 9,000 sf
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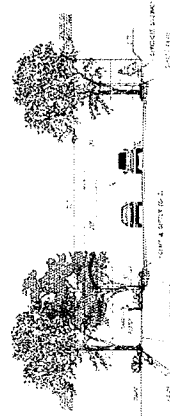
- Park Plan Notes**
- Park planning shall consider: reduce using plant types that drop plant material (seeds, flowers, pods). Bark may impede or irritate children or horses.
 - Parks shall incorporate ADA components to the proposed play equipment structure.
 - Wood Chip/Rubberized surfacing (or a combination of) shall be used as play equipment.
 - All County Public Parks will require DPR thematic monument signs to be located at park entrances. Final type and location will need to be approved by DPR during the Final Landscape Documentation process.
 - Existing tree locations are shown between parks, where feasible. PDS and DPVT to work together to determine optimum locations for crosswalks to connect trails.
 - Tree species with known surface roots shall be restricted from areas of public park.
 - All plant species for parks shall be drought tolerant and resilient to local pests.
 - Buffer Planting along park edges adjacent to Lot X: open space shall consist of locally native species to avoid the spread of non-native and invasive species into the San Luis Rey River Park and Corridor.
 - San Diego County DPR recommends locally native Quercus species to avoid hybridization along the San Luis Rey River Corridor.

Summary Park Acreage Type And Credits

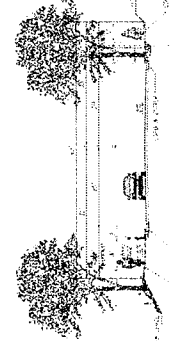
MARKET	Public or Private	Area (sq. ft)	Area (acres)	Area (acres) x 0.02	Area (acres) x 0.04	Area (acres) x 0.08	Area (acres) x 0.16	Area (acres) x 0.32	Area (acres) x 0.64	Area (acres) x 1.28	Area (acres) x 2.56	Area (acres) x 5.12	Area (acres) x 10.24	Area (acres) x 20.48	Area (acres) x 40.96	Area (acres) x 81.92	Area (acres) x 163.84	Area (acres) x 327.68	Area (acres) x 655.36	Area (acres) x 1310.72	Area (acres) x 2621.44	Area (acres) x 5242.88	Area (acres) x 10485.76	Area (acres) x 20971.52	Area (acres) x 41943.04	Area (acres) x 83886.08	Area (acres) x 167772.16	Area (acres) x 335544.32	Area (acres) x 671088.64	Area (acres) x 1342177.28	Area (acres) x 2684354.56	Area (acres) x 5368709.12	Area (acres) x 10737418.24	Area (acres) x 21474836.48	Area (acres) x 42949672.96	Area (acres) x 85899345.92	Area (acres) x 171798691.84	Area (acres) x 343597383.68	Area (acres) x 687194767.36	Area (acres) x 1374389534.72	Area (acres) x 2748779069.44	Area (acres) x 5497558138.88	Area (acres) x 10995116277.76	Area (acres) x 21990232555.52	Area (acres) x 43980465111.04	Area (acres) x 87960930222.08	Area (acres) x 175921860444.16	Area (acres) x 351843720888.32	Area (acres) x 703687441776.64	Area (acres) x 1407374883553.28	Area (acres) x 2814749767106.56	Area (acres) x 5629499534213.12	Area (acres) x 11258999068426.24	Area (acres) x 22517998136852.48	Area (acres) x 45035996273704.96	Area (acres) x 90071992547409.92	Area (acres) x 180143985094819.84	Area (acres) x 360287970189639.68	Area (acres) x 720575940379279.36	Area (acres) x 1441151880758558.72	Area (acres) x 2882303761517117.44	Area (acres) x 5764607523034234.88	Area (acres) x 11529215046068469.76	Area (acres) x 23058430092136939.52	Area (acres) x 46116860184273879.04	Area (acres) x 92233720368547758.08	Area (acres) x 184467440737095516.16	Area (acres) x 368934881474191032.32	Area (acres) x 737869762948382064.64	Area (acres) x 1475739525896764129.28	Area (acres) x 2951479051793528258.56	Area (acres) x 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99035203142830421991929937.92	Area (acres) x 198070406285660843983859875.84	Area (acres) x 396140812571321687967719751.68	Area (acres) x 792281625142643375935439503.36	Area (acres) x 1584563250285286751870879006.72	Area (acres) x 3169126500570573503741758013.44	Area (acres) x 6338253001141147007483516026.88	Area (acres) x 12676506002282294014967032053.76	Area (acres) x 25353012004564588029934064107.52	Area (acres) x 50706024009129176059868128215.04	Area (acres) x 101412048018258352119736256430.08	Area (acres) x 202824096036516704239472512860.16	Area (acres) x 405648192073033408478945025720.32	Area (acres) x 811296384146066816957890051440.64	Area (acres) x 1622592768322133633915780102881.28	Area (acres) x 3245185536644267267831560205762.56	Area (acres) x 6490371073288534535663120411525.12	Area (acres) x 12980742146577069071326240823050.24	Area (acres) x 25961484293154138142652481646100.48	Area (acres) x 51922968586308276285304963292200.96	Area (acres) x 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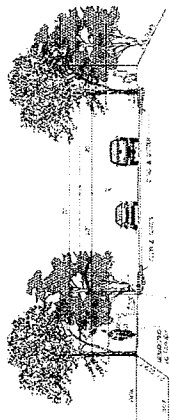
(A) Street A (Public) - Entry
NTS



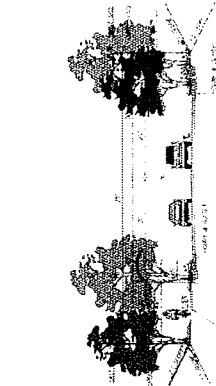
(B) Street A (Public)
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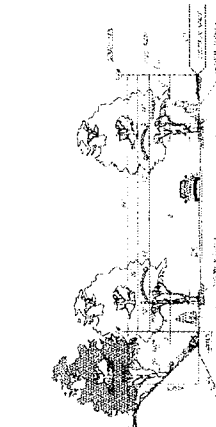
(C) Street A (Public)
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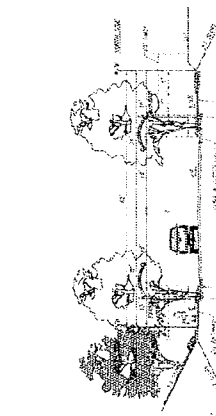
(D) Street A (Public)
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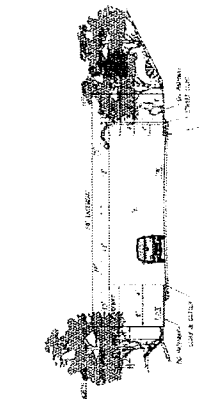
(E) Street B (Public)
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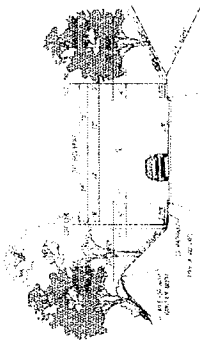
(F) Street B (Public)
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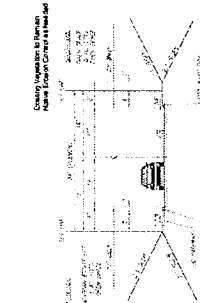
(G) Street B (Public)
NTS



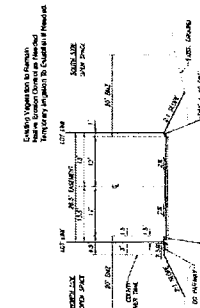
(H) Street B (Public)
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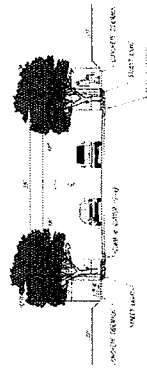
(I) DuLin Road (Private)
NTS



(J) DuLin Road (Private)
NTS



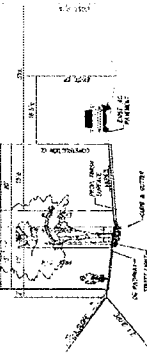
(K) DuLin Road (Private)
NTS



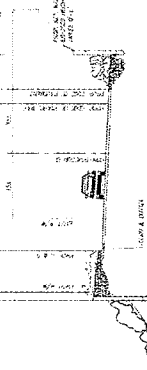
(M) Residential Street (Public)
NTS



(N) Residential Street - Cui De Sac (Public)
NTS



(O) West Lilac Road (Private)
NTS



(P) West Lilac Road (Public)
NTS

Revised: 05-18-2019
5th Submission: 07-28-2019
4th Submission: 05-21-2019
3rd Submission: 12-10-2018
2nd Submission: 08-21-2018
Original Submission: 9-26-2018

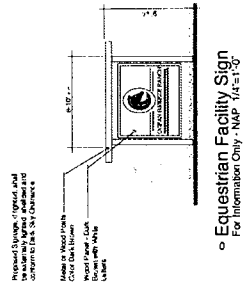
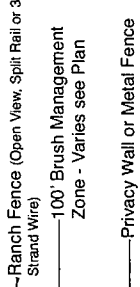
MS-ASLA

Landscape Architecture - Community Planning
305 North Coast Highway, Suite T
Laguna Beach, CA 92651
949-375-2323

TRACT 5615, TERMINAL MAP
OCEAN BREEZE RANCH

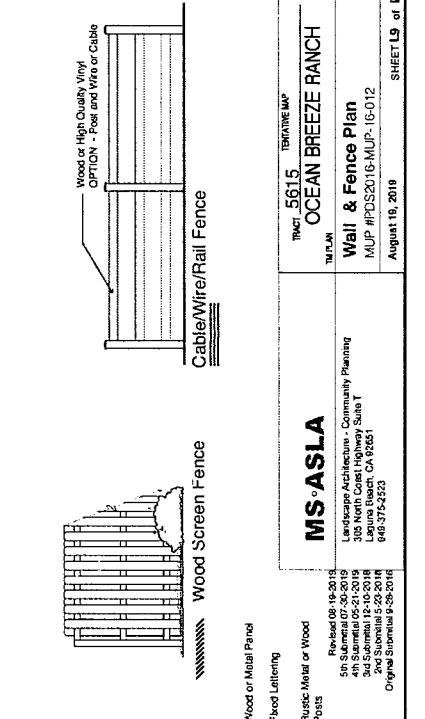
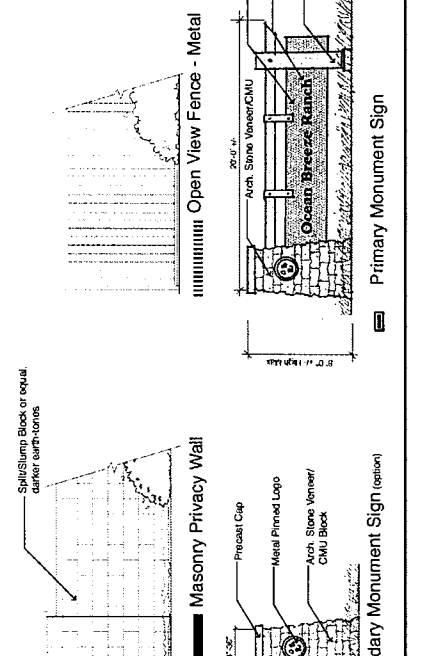
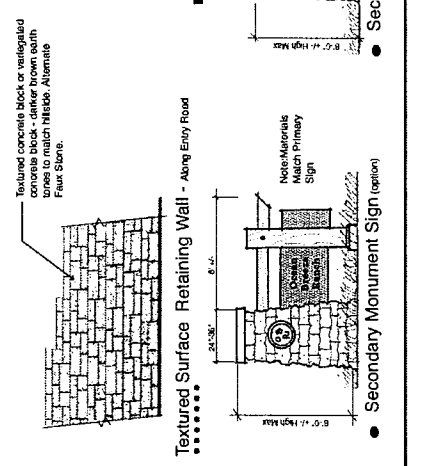
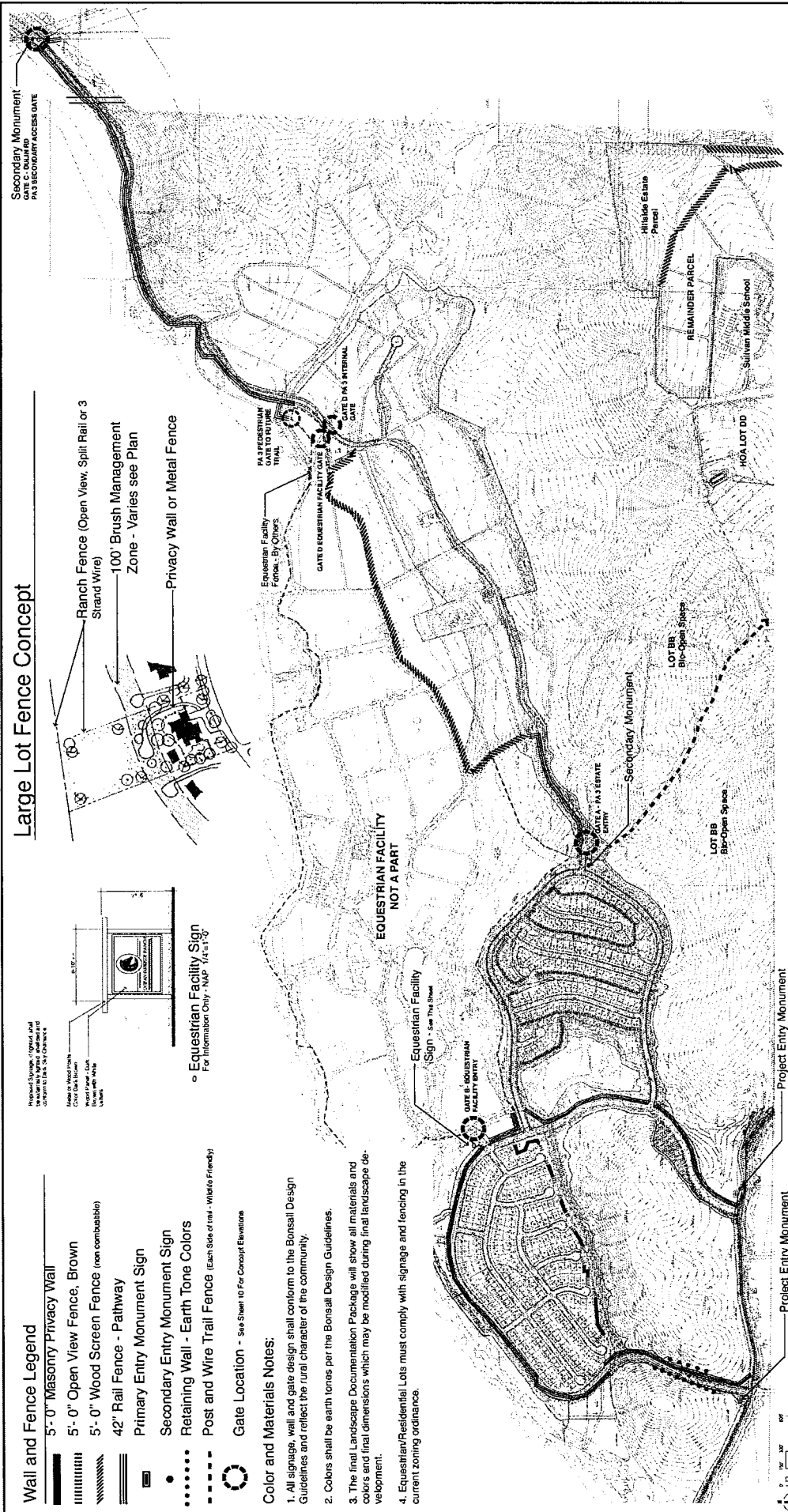
Landscape Sections
MUP #PDS2016-MUP-16-012
August 19, 2019

Large Lot Fence Concept



- Wall and Fence Legend**
- 5'-0" Masonry Privacy Wall
 - 5'-0" Open View Fence, Brown
 - 5'-0" Wood Screen Fence (non-combustible)
 - 42" Rail Fence - Pathway
 - Primary Entry Monument Sign
 - Secondary Entry Monument Sign
 - Retaining Wall - Earth Tone Colors
 - Post and Wire Trail Fence (Each Side of rd - White Friendly)
 - Gate Location - See Sheet 10 For Concept Elevations

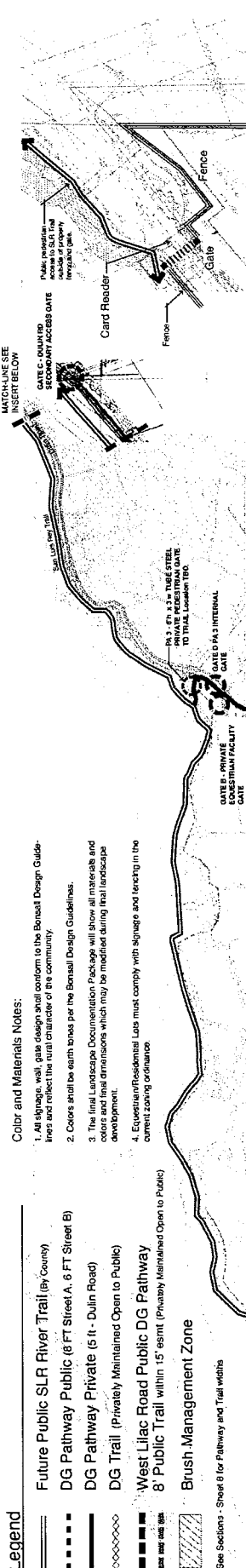
- Color and Materials Notes:**
1. All signage, wall and gate design shall conform to the Bonsall Design Guidelines and reflect the rural character of the community.
 2. Colors shall be earth tones per the Bonsall Design Guidelines.
 3. The final Landscape Documentation Package will show all materials and colors and final dimensions which may be modified during final landscape development.
 4. Equestrian/Residential Lots must comply with signage and fencing in the current zoning ordinance.



MS-ASLA
Landscape Architecture - Community Planning
300 North Coast Highway, Suite T
Laguna Beach, CA 92651
949-375-5253

Project: 5615
Title: OCEAN BREEZE RANCH
Wall & Fence Plan
MUP #PDS2016-MUP-16-012
August 18, 2019
SHEET 19 of L-10

Revised: 08-18-2019
Site Schedule: 07-30-2019
4th Submission: 05-21-2019
3rd Submission: 12-10-2018
Original Submission: 8-29-2018



GATE C - PA 3 DULIN RD. SECONDARY ACCESS GATE
Scale 1/4" = 40'

GATE BID - EQUESTRIAN FACILITY / PA 3 INTERNAL GATE
Scale 1/4" = 40'

GATE B - EQUESTRIAN FACILITY MAIN GATE
Scale 1/4" = 40' FOR INFORMATION ONLY - NWP

GATE A - PA 3 MAIN ENTRY GATE
Scale 1/4" = 40'

GATE D - PA 3 INTERNAL GATE
Scale 1/4" = 40'

GATE A - PA 3 ESTATE MAIN ENTRY GATE
Scale 1/4" = 40'

GATE B - EQUESTRIAN FACILITY GATE
Scale 1/4" = 40' FOR INFORMATION ONLY - NWP

GATE C - DULIN ROAD SECONDARY ACCESS GATE
Scale 1/4" = 40'

GATE D - PA 3 INTERNAL GATE
Scale 1/4" = 40'

GATE A - PA 3 ESTATE MAIN ENTRY GATE
Scale 1/4" = 40'

GATE B - EQUESTRIAN FACILITY GATE
Scale 1/4" = 40' FOR INFORMATION ONLY - NWP

GATE C - DULIN ROAD SECONDARY ACCESS GATE
Scale 1/4" = 40'

GATE D - PA 3 INTERNAL GATE
Scale 1/4" = 40'

GATE A - PA 3 ESTATE MAIN ENTRY GATE
Scale 1/4" = 40'

GATE B - EQUESTRIAN FACILITY GATE
Scale 1/4" = 40' FOR INFORMATION ONLY - NWP

GATE C - DULIN ROAD SECONDARY ACCESS GATE
Scale 1/4" = 40'

GATE D - PA 3 INTERNAL GATE
Scale 1/4" = 40'

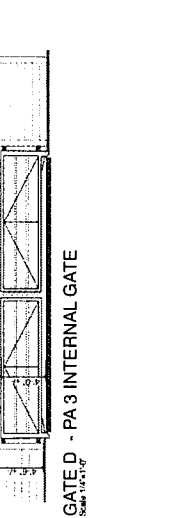
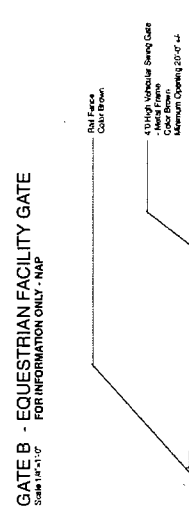
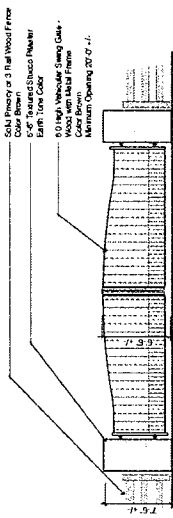
GATE A - PA 3 ESTATE MAIN ENTRY GATE
Scale 1/4" = 40'

General Notes:

- All gates shall conform to the Bonsall Design Guidelines and reflect the rural character of the community.
- All gates must conform to Zoning Ordinance Section 0706. If gate materials are proposed on individual lots, they must conform to section 0706.h
- The final Landscape Documentation Package will show all materials and colors and final dimensions which may be modified during final landscape development.

SDCFA Notes:

- A thirty-foot (30') minimum radius turnaround shall be provided at the gate entrance.
- The gated driveway entrance and card reader location shall be designed according to San Diego County Design Standards (such as DS 17, DS 18 or DS 19) and to the satisfaction of the Director of Public Works.
- Gates shall be designed, placed, installed, and accessory features (such as key boxes, "break-away" devices, automatic openers, etc.) provided to the satisfaction of the Director of Public Works and in accordance with provisions outlined by the San Diego County fire protection district.

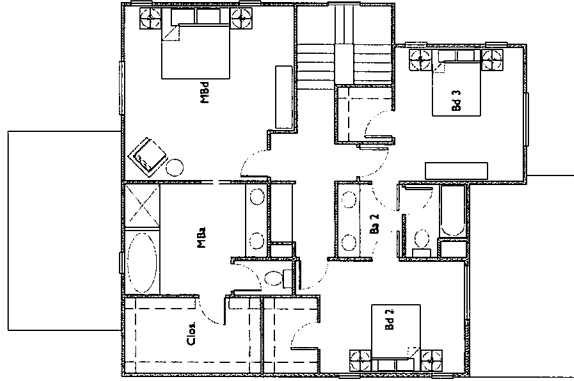
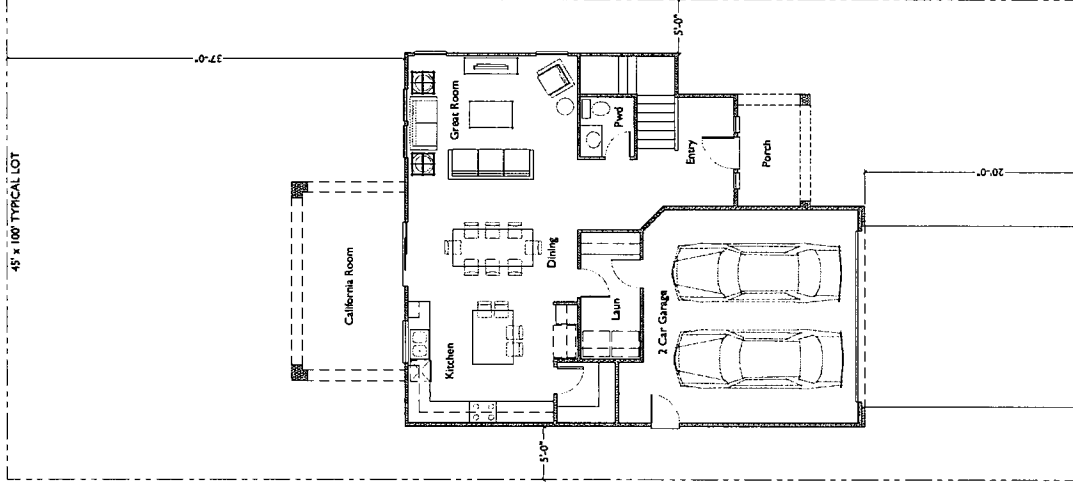


MS-ASLA
Landscape Architecture - Community Planning
302 North Coast Highway (Suite 1)
Laguna Beach, CA 92651
949-761-7025

Project: TRACT 56115
OCEAN BREEZE RANCH
Gate - Trail/Pathway Concept Plan
MUP #PDS2016-MUP-16-012
August 19, 2019

Revised 08-19-2019
2nd Submission 07-29-2019
1st Submission 07-29-2019
3rd Submission 12-10-2018
2nd Submission 5-23-2018
Original Submission 9-28-2016

SHEET L10 of L-10



PLAN 1:	3802.58A
1ST FLOOR	845 S.F.
2ND FLOOR	1,135 S.F.
TOTAL LIVABLE	2,000 S.F.



PRODUCT 1 - PLANS I

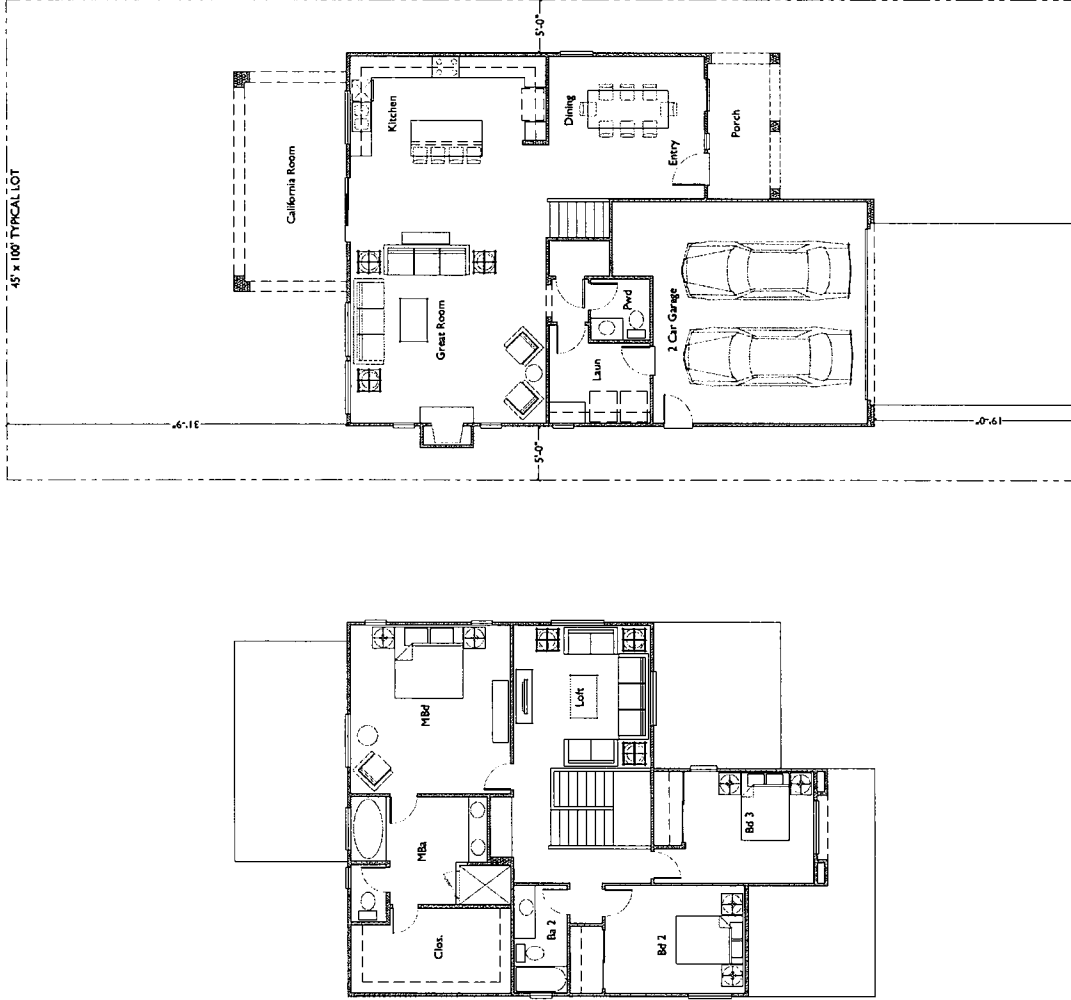
OCT. 11, 2019



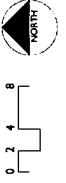
A-1

OCEAN BREEZE RANCH

BONSALL, CA
 OCEAN BREEZE RANCH LLC
 1550 So. Coast Hwy, Ste 201
 Laguna Beach, CA 92651



PLAN 2:
 3RD FLR 1,870 S.F.
 1ST FLOOR 1,044 S.F.
 2ND FLOOR 1,237 S.F.
 TOTAL LIVABLE 2,783 S.F.



OCEAN BREEZE RANCH

PRODUCT 1 - PLANS 2

OCT. 11, 2019

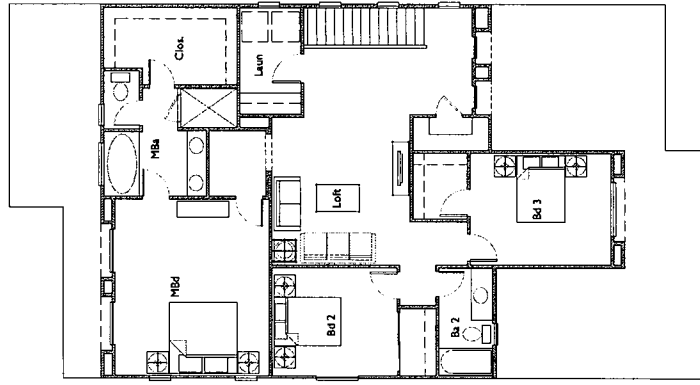
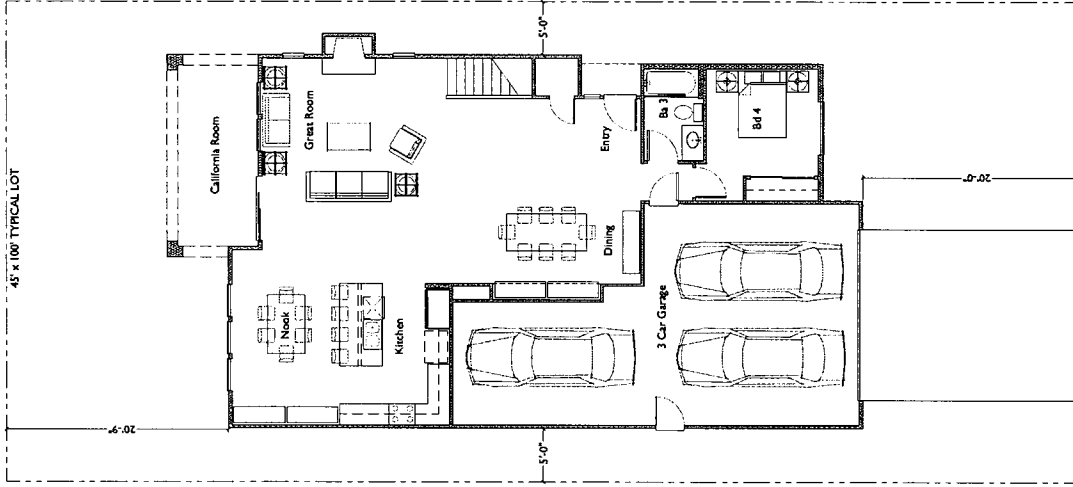


535 S. Mission Road, Ste. 404
 San Mateo, CA 94063
 www.summaarch.com
 760.724.1198

A-2

BONSALL, CA

OCEAN BREEZE RANCH LLC
 1550 So. Coast Hwy, Ste 201
 Laguna Beach, CA 92651



PLAN 3:	IND/LEA
1ST FLOOR	1,330 S.F.
2ND FLOOR	1,330 S.F.
TOTAL LIVABLE	2,660 S.F.



PRODUCT I - PLAN 3

OCT. 11, 2019



A-3

5216 S. Pitson Road, Ste. 404 Bonnal, CA 92603
www.summacl.com 760.724.1178

OCEAN BREEZE RANCH

BONSALL, CA
OCEAN BREEZE RANCH LLC
1550 So. Coast Hwy, Ste 201
Laguna Beach, CA 92651



RIGHT ELEVATION (TUSCAN)



REAR ELEVATION (TUSCAN)



LEFT ELEVATION (TUSCAN)



FRONT ELEVATION (TUSCAN)

MATERIAL SCHEDULE

- | | | | |
|---|------------------------------------|---|------------------------------------|
| 1 | ROOF - CONCRETE 3" TILE ROOFING | 6 | DECORATIVE - RAFTER TAILS |
| 2 | WALL - EXTERIOR SAND FINISH STUCCO | 7 | DECORATIVE - SECTIONAL GARAGE DOOR |
| 3 | WALL - STONE VENER | 8 | DECORATIVE - LIGHT FIXTURE |
| 4 | TRIM - STUCCO O/2X FOAM TRIM | | |
| 5 | DECORATIVE - SHUTTERS | | |

OCEAN BREEZE RANCH

PRODUCT 1 - PLAN 1A ELEVATIONS

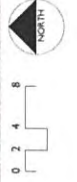
BONSALL, CA

OCEAN BREEZE RANCH LLC
1550 So. Coast Hwy, Ste 201
Laguna Beach, CA 92651

OCT. 11, 2019

SUMMA
ARCHITECTURE

5256 S. Mission Road, Ste. 404
Bonnell, CA 92003
www.summarch.com 760.724.1198





RIGHT ELEVATION (SPANISH)



REAR ELEVATION (SPANISH)



LEFT ELEVATION (SPANISH)



FRONT ELEVATION (SPANISH)

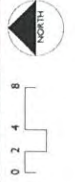
MATERIAL SCHEDULE

1	ROOF - CONCRETE'S TILE ROOFING	6	DECORATIVE - SECTIONAL GARAGE DOOR
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - LIGHT FIXTURE
3	TRIM - STUCCO OX/OX FOAM TRIM	8	DECORATIVE - FOAM CORBELS
4	DECORATIVE - GABLE ACCENT		
5	DECORATIVE - POT-SHELF		

BONSALL, CA

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1550 So. Coast Hwy, Ste 201
Laguna Beach, CA 92651

OCEAN BREEZE RANCH



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3256 S. Mission Road, Ste. 404 Bonita, CA 92003
www.summaa.com 760.724.1196



RIGHT ELEVATION (CRAFTSMAN)



REAR ELEVATION (CRAFTSMAN)



LEFT ELEVATION (CRAFTSMAN)



FRONT ELEVATION (CRAFTSMAN)

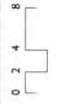
MATERIAL SCHEDULE

1	ROOF - FLAT CONCRETE TILE ROOFING	6	TRIM - STUCCO OR 2X FOAM TRIM
2	WALL - EXTERIOR SAND FINISH STUCCO	7	TRIM - 2X REDAWN WOOD
3	WALL - HARDIE SHINGLE	8	DECORATIVE - OUTLOOKERS
4	WALL - STONE VENEER	9	DECORATIVE - SHUTTERS
5	WALL - BOARD AND BATTEN	10	DECORATIVE - SECTIONAL GARAGE DOOR
		11	DECORATIVE - LIGHT FIXTURE

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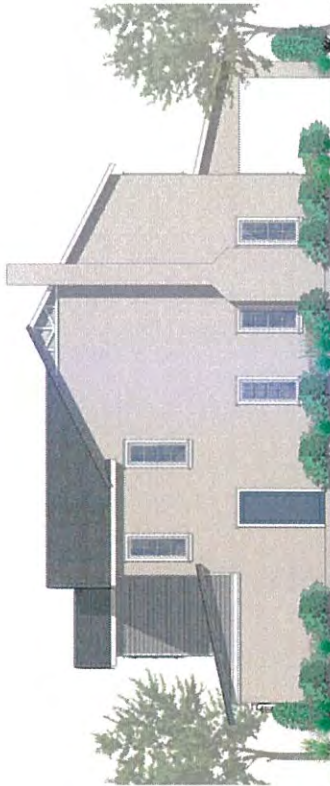
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PRODUCT 1 - PLAN 2A ELEVATIONS

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3236 S. Mission Road, Ste. 404 Bonita, CA 92003
www.summafirm.com 762.741.1196



RIGHT ELEVATION (FARMHOUSE)



REAR ELEVATION (FARMHOUSE)



LEFT ELEVATION (FARMHOUSE)



FRONT ELEVATION (FARMHOUSE)

MATERIAL SCHEDULE

- | | | | |
|---|------------------------------------|---|------------------------------------|
| 1 | ROOF - FLAT CONCRETE TILE ROOFING | 6 | DECORATIVE - GABLE ACCENT |
| 2 | WALL - EXTERIOR SAND FINISH STUCCO | 7 | DECORATIVE - SHUTTERS |
| 3 | WALL - HORIZONTAL LAP SIDING | 8 | DECORATIVE - SECTIONAL GARAGE DOOR |
| 4 | TRIM - STUCCO OR 2X FOAM TRIM | 9 | DECORATIVE - LIGHT FIXTURE |
| 5 | TRIM - 2X RESAWN WOOD | | |

OCEAN BREEZE RANCH

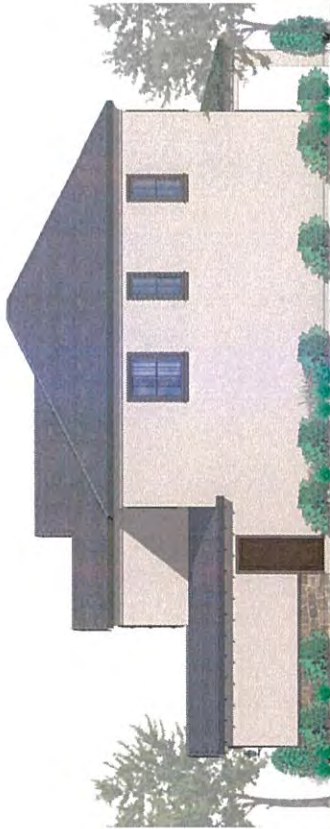
PRODUCT I - PLAN 2B ELEVATIONS

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 OCEAN BREEZE RANCH LLC
 1550 So. Coast Hwy, Ste 201
 Laguna Beach, CA 92651

OCT. 11, 2019

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 5326 S. Mission Road, Ste. 404, Bonita, CA 92003
 www.summaarch.com 760.724.1198

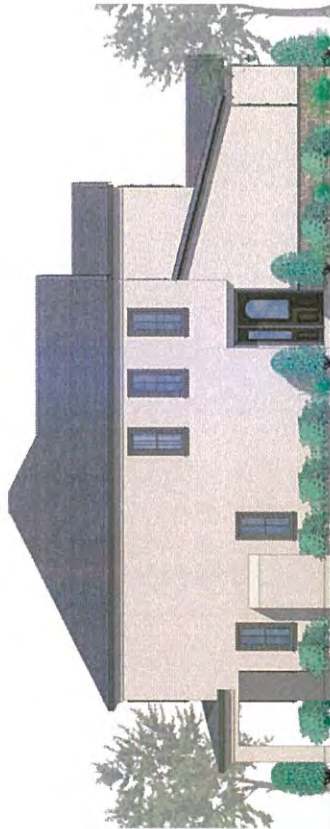




RIGHT ELEVATION (COTTAGE)



REAR ELEVATION (COTTAGE)



LEFT ELEVATION (COTTAGE)



FRONT ELEVATION (COTTAGE)

MATERIAL SCHEDULE

1	ROOF - FLAT CONCRETE TILE ROOFING	6	DECORATIVE - RAFTER TAILS
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - GABLE ACCENT
3	WALL - STONE VENER	8	DECORATIVE - SECTIONAL GARAGE DOOR
4	TRIM - STUCCO O/DX FOAM TRIM	9	DECORATIVE - LIGHT FIXTURE
5	DECORATIVE - SHUTTERS		

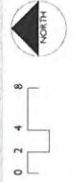
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PRODUCT 1 - PLAN 3A ELEVATIONS

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 Laguna Beach, CA 92651

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RIGHT ELEVATION (SPANISH)



REAR ELEVATION (SPANISH)



LEFT ELEVATION (SPANISH)



FRONT ELEVATION (SPANISH)

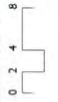
MATERIAL SCHEDULE

1	ROOF - CONCRETE 5" TILE ROOFING	6	DECORATIVE - RECESSED WINDOW
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - SECTIONAL GARAGE DOOR
3	TRIM - STUCCO O/3X FOAM TRIM	8	DECORATIVE - LIGHT FIXTURE
4	DECORATIVE - SHUTTERS		
5	DECORATIVE GABLE ACCENT		

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PRODUCT 1 - PLAN 3B ELEVATIONS

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PLAN 3A - COTTAGE STREET PERSPECTIVE 2



PLAN 1A - TUSCAN STREET PERSPECTIVE 1



PLAN 2A - CRAFTSMAN STREET PERSPECTIVE 2



PLAN 2B - FARMHOUSE STREET PERSPECTIVE 1

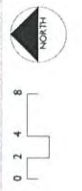


PLAN 3B - SPANISH STREET PERSPECTIVE 2

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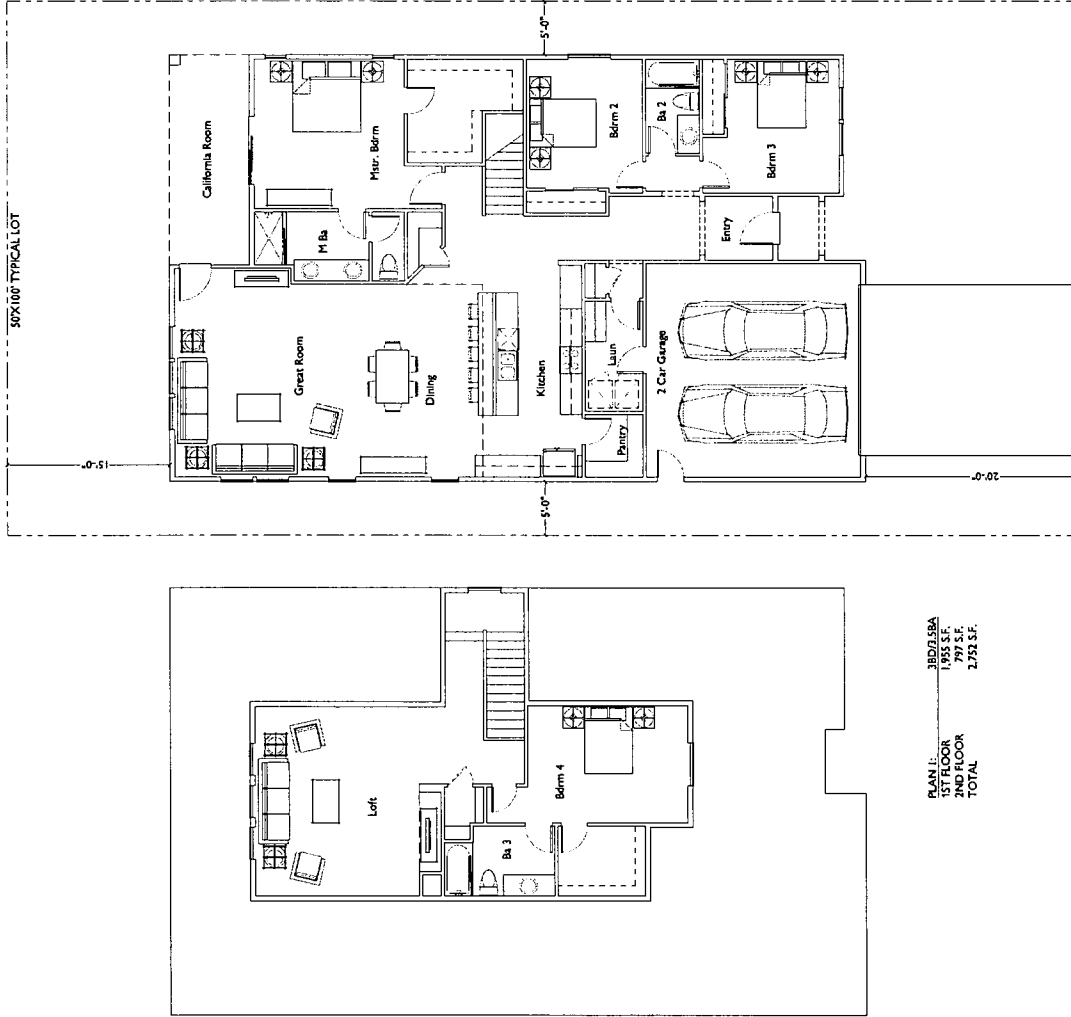


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PRODUCT I - PERSPECTIVES

A-10



PLAN I:	3807.58A
LOFT	1793 S.F.
2ND FLOOR	7793 S.F.
TOTAL	2733 S.F.

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PRODUCT 2 - PLAN I

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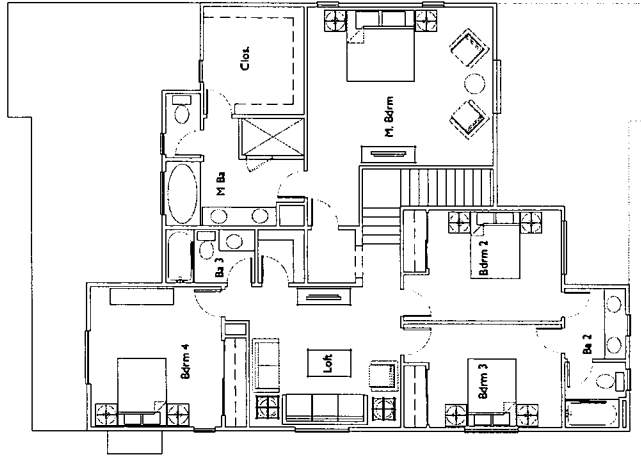
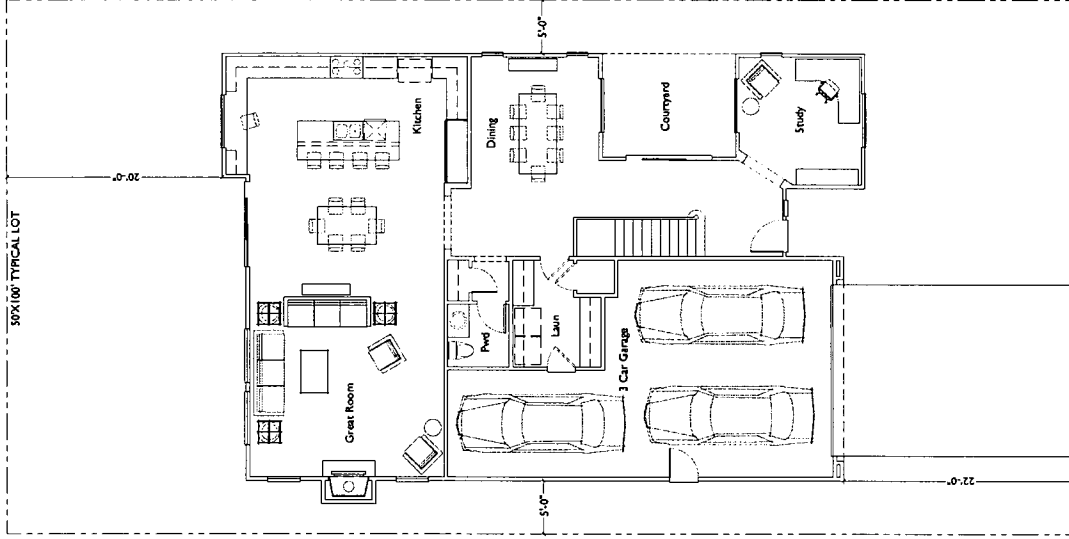


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A-11

BONSALL, CA

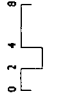
OCEAN BREEZE RANCH LLC
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Laguna Beach, CA 92651



PLAN 3:
 48D/3.5BA
 1ST FLOOR 1,518 S.F.
 2ND FLOOR 1,536 S.F.
 TOTAL LIVABLE 3,054 S.F.

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PRODUCT 2 - PLAN 2



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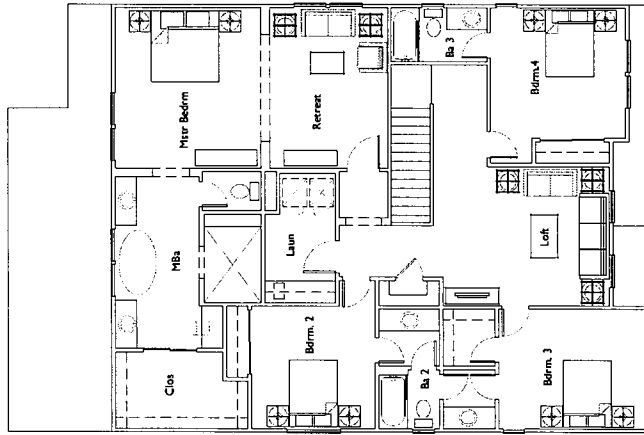
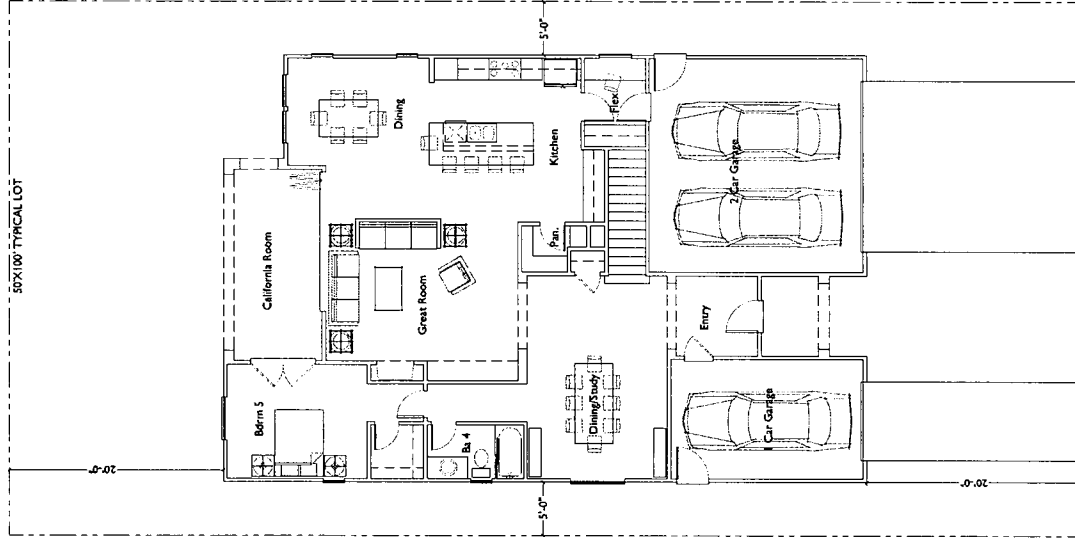
OCEAN BREEZE RANCH LLC
 1550 So. Coast Hwy, Ste 201
 Laguna Beach, CA 92651

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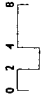
5556 S. Mission Road, Ste. 404
 Bonita, CA 92003
 760.724.1198
 www.summareh.com

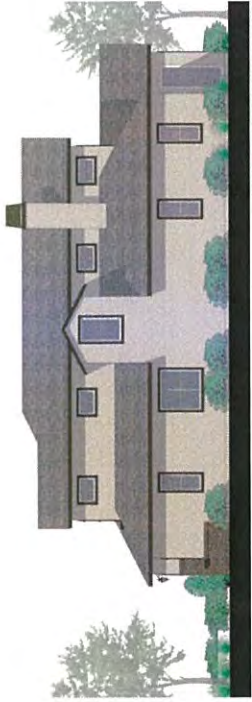
A-12



PLAN 3:
 4807.55A
 1ST FLOOR
 1,464 S.F.
 GARAGE
 3,200 S.F.
 TOTAL LIVABLE

OCEAN BREEZE RANCH





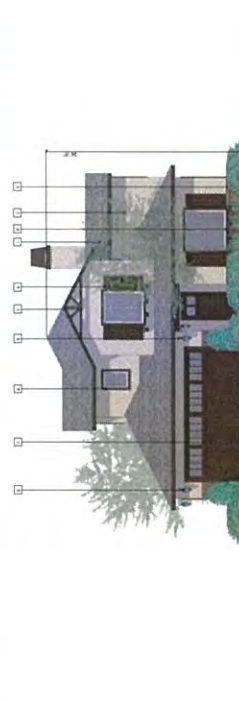
RIGHT ELEVATION (RANCH)



REAR ELEVATION (RANCH)



LEFT ELEVATION (RANCH)



FRONT ELEVATION (RANCH)

MATERIAL SCHEDULE

1	ROOF - FLAT CONCRETE TILE ROOFING	6	DECORATIVE - SHUTTERS
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - SECTIONAL GARAGE DOOR
3	WALL - BRICK VENER	8	DECORATIVE - LIGHT FIXTURE
4	TRIM - STUCCO O/ 2X FOAM TRIM	9	DECORATIVE - WOOD POTSHLF
5	DECORATIVE - GABLE BEAM ACCENT		



RIGHT ELEVATION (FARMHOUSE)



REAR ELEVATION (FARMHOUSE)



LEFT ELEVATION (FARMHOUSE)



FRONT ELEVATION (FARMHOUSE)

MATERIAL SCHEDULE

1	ROOF - FLAT CONCRETE TILE ROOFING	6	TRIM - 2X REDAWN WOOD
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - GABLE VENT
3	WALL - HORIZONTAL LAP SIDING	8	DECORATIVE - SECTIONAL GARAGE DOOR
4	WALL - BOARD AND BATTEN	9	DECORATIVE - LIGHT FIXTURE
5	TRIM - STUCCO O/ 2X FOAM TRIM		

OCEAN BREEZE RANCH

PRODUCT 2 - PLAN 1A & 1B

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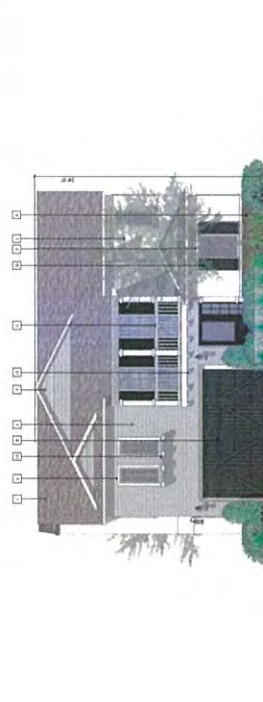
RIGHT ELEVATION (MONTEREY)



REAR ELEVATION (MONTEREY)



LEFT ELEVATION (MONTEREY)



FRONT ELEVATION (MONTEREY)

MATERIAL SCHEDULE

1	ROOF - FLAT CONCRETE TILE ROOFING	7	DECORATIVE - GABLE ACCENT
2	WALL - EXTERIOR SAND FINISH STUCCO	8	DECORATIVE - SECTIONAL GARAGE DOOR
3	WALL - HORIZONTAL LAP SIDING	9	DECORATIVE - LIGHT FIXTURE
4	WALL - BRICK VENEER	10	DECORATIVE - SHUTTERS
5	TRIM - STUCCO OR 2X FOAM TRIM	11	DECORATIVE - RAILINGS
6	TRIM - 2X REDAWN WOOD	12	DECORATIVE - POTSHelf
		13	DECORATIVE - CORBELS REDAWN WOOD



RIGHT ELEVATION (COTTAGE)



REAR ELEVATION (COTTAGE)



LEFT ELEVATION (COTTAGE)



FRONT ELEVATION (COTTAGE)

MATERIAL SCHEDULE

1	ROOF - FLAT CONCRETE TILE ROOFING	6	DECORATIVE - LIGHT FIXTURE
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - RECESSED WINDOW
3	WALL - STONE VENEER	8	DECORATIVE - AWNING
4	DECORATIVE - GABLE ACCENT		
5	DECORATIVE - SECTIONAL GARAGE DOOR		



OCEAN BREEZE RANCH

PRODUCT 2 - PLAN 2A & 2B

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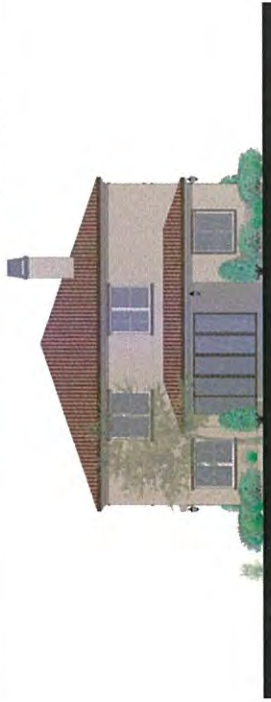
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5355 S. Mission Blvd., Ste. 404, Bonita, CA 91903
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A-15

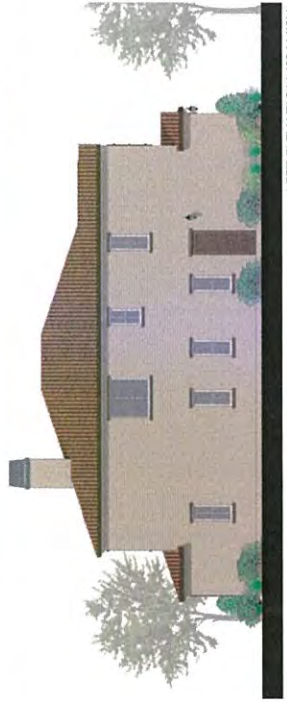
BONSALL, CA
OCEAN BREEZE RANCH LLC
1550 So. Coast Hwy, Ste 201
Laguna Beach, CA 92651



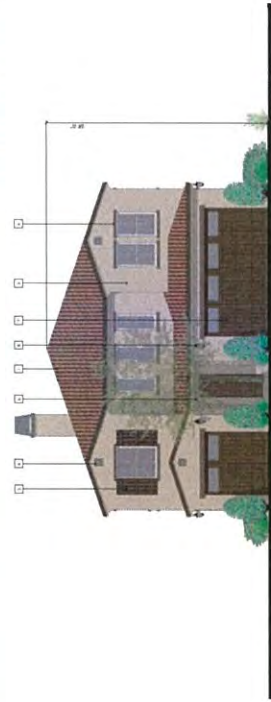
RIGHT ELEVATION (SPANISH)



REAR ELEVATION (SPANISH)



LEFT ELEVATION (SPANISH)



FRONT ELEVATION (SPANISH)

MATERIAL SCHEDULE

1	ROOF - CONCRETE'S TILE ROOFING	6	DECORATIVE - TILE
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - SECTIONAL GARAGE DOOR
3	TRIM - STUCCO O' 2X FOAM TRIM	8	DECORATIVE - LIGHT FIXTURE
4	DECORATIVE - GABLE ACCENT		
5	DECORATIVE - SHUTTERS		



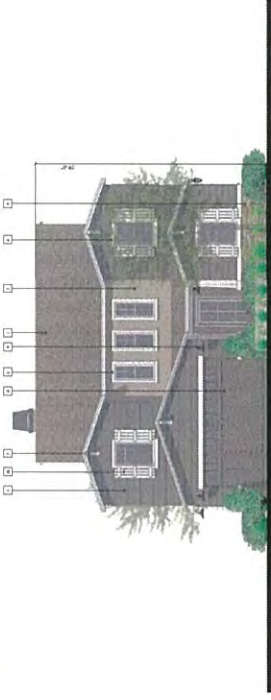
RIGHT ELEVATION (CRAFTSMAN)



REAR ELEVATION (CRAFTSMAN)



LEFT ELEVATION (CRAFTSMAN)



FRONT ELEVATION (CRAFTSMAN)

MATERIAL SCHEDULE

1	ROOF - FLAT CONCRETE TILE ROOFING	6	TRIM - 2X PINEAN WOOD
2	WALL - EXTERIOR SAND FINISH STUCCO	7	DECORATIVE - GABLE CORNICE
3	WALL - HORIZONTAL LAP SIDING	8	DECORATIVE - SECTIONAL GARAGE DOOR
4	WALL - STONE VENEER	9	DECORATIVE - LIGHT FIXTURE
5	TRIM - STUCCO O' 2X FOAM TRIM	10	DECORATIVE - SHUTTERS

OCEAN BREEZE RANCH

PRODUCT 2 - PLAN 3A - CRAFTSMAN





PLAN 1B - RANCH



PLAN 1A - FARMHOUSE



PLAN 3A - CRAFTSMAN



PLAN 3B - SPANISH



PLAN 2A COTTAGE



PLAN 2B - MONTEREY

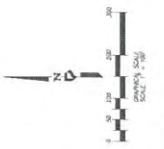
OCT 11, 2019



SAN LUIS REY RIVER

SAN LUIS REY RIVER

PROPOSED HISTORIC STRUCTURE EASEMENT:
 RT, RL, RA, AND RS SHALL BE SUBJECT TO A NEW
 HISTORIC STRUCTURE EASEMENT.



BUILDING STATUS LEGEND:

- (AR) AS-BUILT - EXISTING PART, BUILT AFTER 1907
- (BR) BUILT - EXISTING PART, BUILT BEFORE 1907
- (R) RECONSTRUCTED - EXISTING PART, BUILT AFTER 1907
- (R) RECONSTRUCTED - EXISTING PART, BUILT BEFORE 1907

LEGEND:

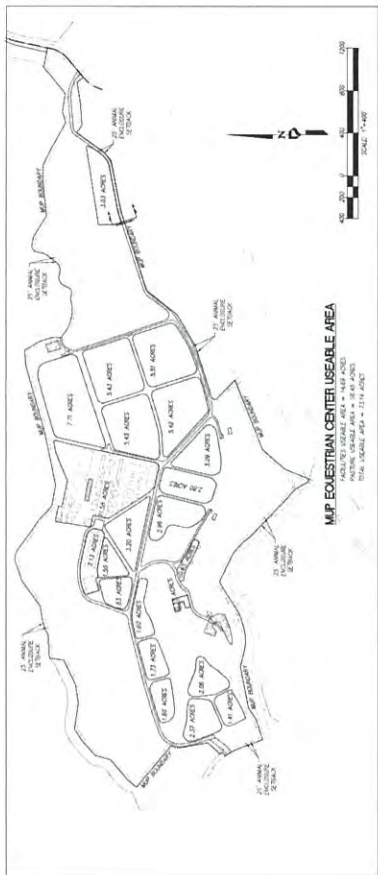
- (1) EXISTING IMPROVEMENT (EXIST)
- (2) NEW POLY (NEW)
- (3) EXISTING ROAD (EXIST)
- (4) ADJACENT ROAD (ADJ)
- (5) EXISTING SIDEWALK (EXIST)
- (6) NEW SIDEWALK (NEW)
- (7) EXISTING DRIVE (EXIST)
- (8) NEW DRIVE (NEW)
- (9) EXISTING DRIVE (EXIST)
- (10) NEW DRIVE (NEW)

BUILDING LEGEND:

- (A) AREA OF INTEREST
- (B) BUILT BEFORE 1907
- (C) BUILT AFTER 1907
- (D) BUILT BEFORE 1907
- (E) BUILT AFTER 1907
- (F) BUILT BEFORE 1907
- (G) BUILT AFTER 1907
- (H) BUILT BEFORE 1907
- (I) BUILT AFTER 1907
- (J) BUILT BEFORE 1907
- (K) BUILT AFTER 1907
- (L) BUILT BEFORE 1907
- (M) BUILT AFTER 1907
- (N) BUILT BEFORE 1907
- (O) BUILT AFTER 1907
- (P) BUILT BEFORE 1907
- (Q) BUILT AFTER 1907
- (R) BUILT BEFORE 1907
- (S) BUILT AFTER 1907
- (T) BUILT BEFORE 1907
- (U) BUILT AFTER 1907
- (V) BUILT BEFORE 1907
- (W) BUILT AFTER 1907
- (X) BUILT BEFORE 1907
- (Y) BUILT AFTER 1907
- (Z) BUILT BEFORE 1907

COUNTY OF SAN DIEGO TRACT 885
 EQUESTRIAN CENTER AND RESIDENCES MAP # 9-03
OCEAN BREEZE BRANCH

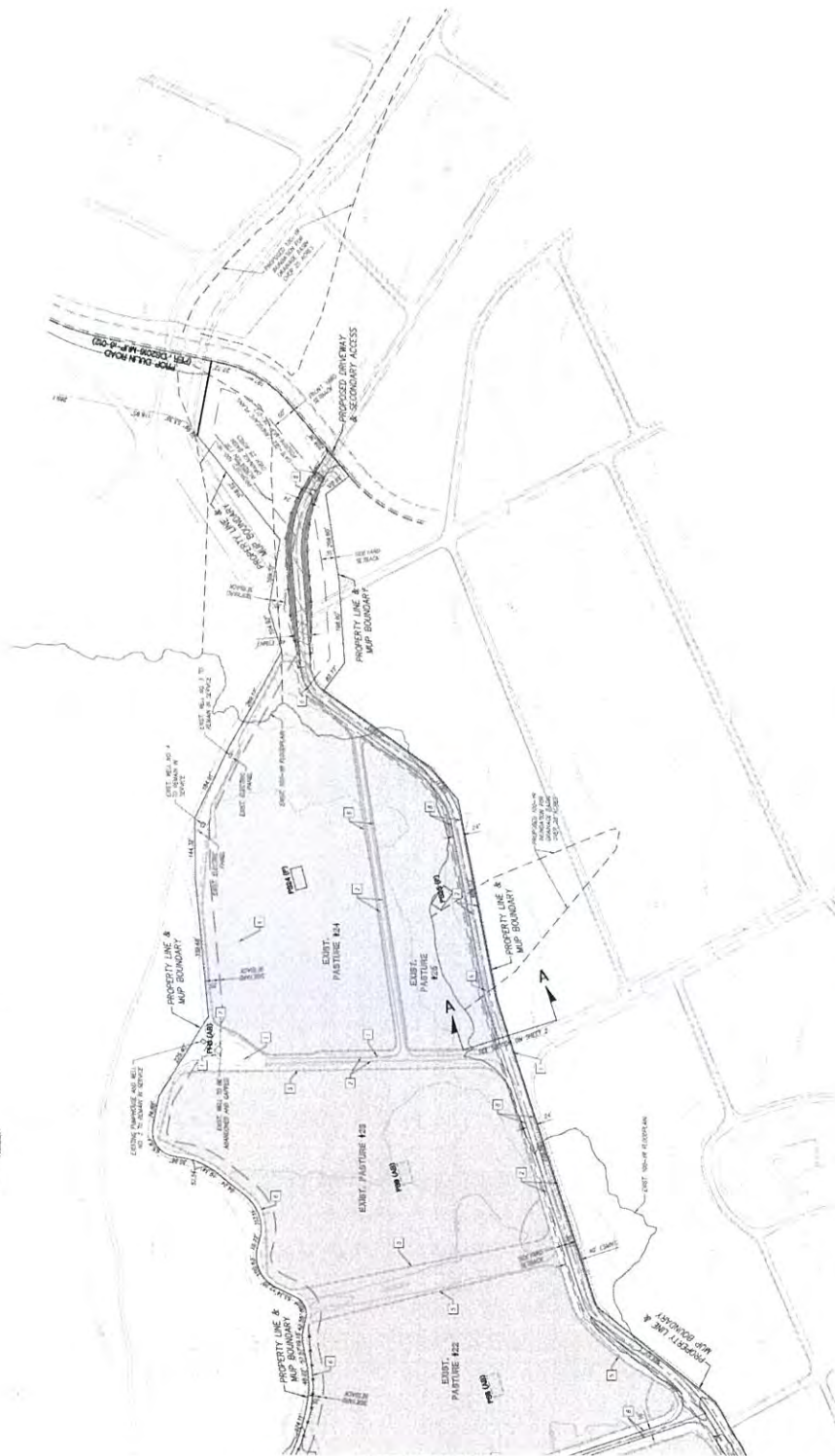
PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Surveying



MAP EQUESTRIAN CENTER USEABLE AREA

PROPERTY TOTAL AREA = 10,000 ACRES
TOTAL USEABLE AREA = 10,000 ACRES

SAN LUIS REY RIVER



SEE SHEET 2

LEGEND

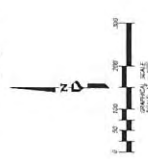
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[Symbol]	EXIST. 100' WIDE SIDEWALK
[Symbol]	EXIST. 100' WIDE CURB
[Symbol]	EXIST. 100' WIDE SHOULDER
[Symbol]	EXIST. 100' WIDE GRASSY AREA
[Symbol]	EXIST. 100' WIDE BUFFER
[Symbol]	EXIST. 100' WIDE FENCE
[Symbol]	EXIST. 100' WIDE GATE
[Symbol]	EXIST. 100' WIDE POST
[Symbol]	EXIST. 100' WIDE RAIL
[Symbol]	EXIST. 100' WIDE SIGN
[Symbol]	EXIST. 100' WIDE LIGHT
[Symbol]	EXIST. 100' WIDE SOUND
[Symbol]	EXIST. 100' WIDE VIBRATION
[Symbol]	EXIST. 100' WIDE POLLUTION
[Symbol]	EXIST. 100' WIDE CLIMATE
[Symbol]	EXIST. 100' WIDE BIOLOGICAL
[Symbol]	EXIST. 100' WIDE CULTURAL
[Symbol]	EXIST. 100' WIDE HISTORICAL
[Symbol]	EXIST. 100' WIDE ARCHITECTURAL
[Symbol]	EXIST. 100' WIDE LANDSCAPE
[Symbol]	EXIST. 100' WIDE PLANTING
[Symbol]	EXIST. 100' WIDE TREES
[Symbol]	EXIST. 100' WIDE SHRUBS
[Symbol]	EXIST. 100' WIDE HERBS
[Symbol]	EXIST. 100' WIDE FLOWERS
[Symbol]	EXIST. 100' WIDE FRUITS
[Symbol]	EXIST. 100' WIDE VEGETATION
[Symbol]	EXIST. 100' WIDE SOIL
[Symbol]	EXIST. 100' WIDE WATER
[Symbol]	EXIST. 100' WIDE AIR

BUILDING STATUS LEGEND

[Symbol]	EXIST. 100' WIDE DRIVEWAY
[Symbol]	EXIST. 100' WIDE SIDEWALK
[Symbol]	EXIST. 100' WIDE CURB
[Symbol]	EXIST. 100' WIDE SHOULDER
[Symbol]	EXIST. 100' WIDE GRASSY AREA
[Symbol]	EXIST. 100' WIDE BUFFER
[Symbol]	EXIST. 100' WIDE FENCE
[Symbol]	EXIST. 100' WIDE GATE
[Symbol]	EXIST. 100' WIDE POST
[Symbol]	EXIST. 100' WIDE RAIL
[Symbol]	EXIST. 100' WIDE SIGN
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[Symbol]	EXIST. 100' WIDE POLLUTION
[Symbol]	EXIST. 100' WIDE CLIMATE
[Symbol]	EXIST. 100' WIDE BIOLOGICAL
[Symbol]	EXIST. 100' WIDE CULTURAL
[Symbol]	EXIST. 100' WIDE HISTORICAL
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[Symbol]	EXIST. 100' WIDE HERBS
[Symbol]	EXIST. 100' WIDE FLOWERS
[Symbol]	EXIST. 100' WIDE FRUITS
[Symbol]	EXIST. 100' WIDE VEGETATION
[Symbol]	EXIST. 100' WIDE SOIL
[Symbol]	EXIST. 100' WIDE WATER
[Symbol]	EXIST. 100' WIDE AIR

BUILDING LEGEND

[Symbol]	EXIST. 100' WIDE DRIVEWAY
[Symbol]	EXIST. 100' WIDE SIDEWALK
[Symbol]	EXIST. 100' WIDE CURB
[Symbol]	EXIST. 100' WIDE SHOULDER
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[Symbol]	EXIST. 100' WIDE AIR



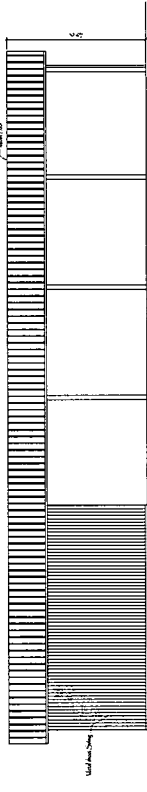
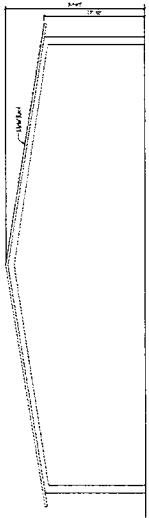
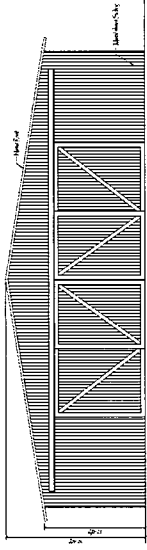
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Ocean Breeze

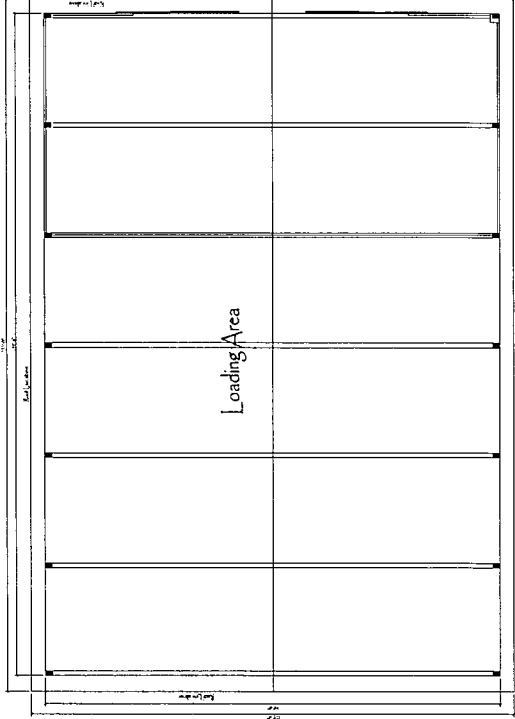


James Conrad Architect
 1550 So Coast Hwy #201
 Laguna Beach, CA 92651
 (949) 437-0200
 jconrad@mac.com

Drawn By	MD	Date	Scale	Volume	Arch. App'n	Sheet #	Total
						5	4 of 17



B1 - Elevations



Building B1

B1 - Floor Plan

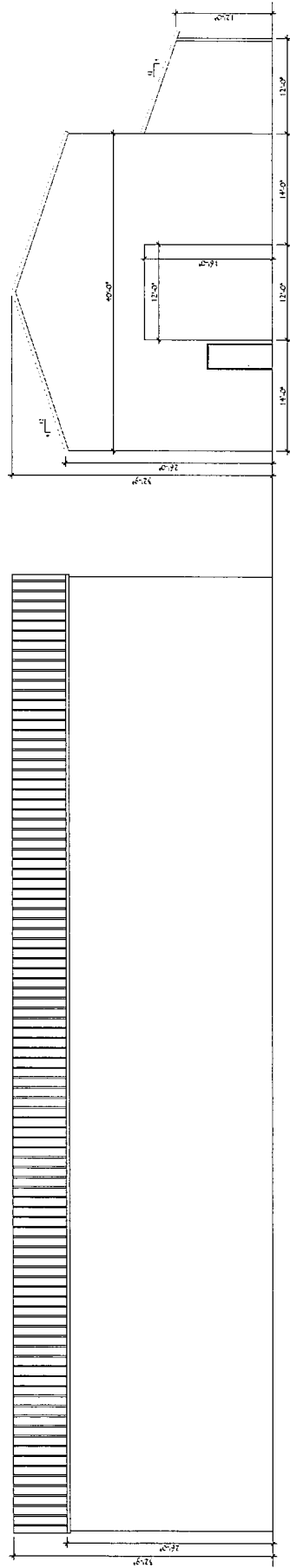
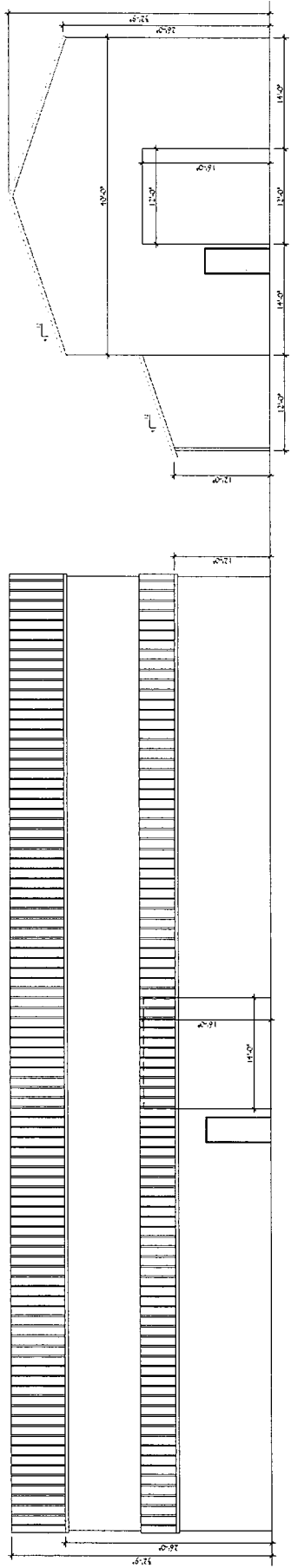
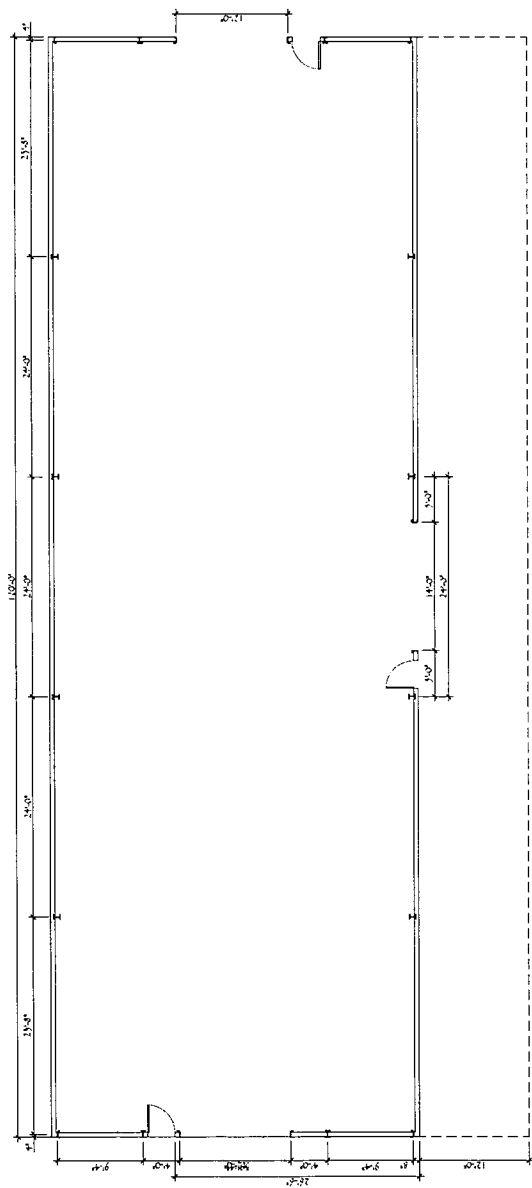
Revision	Date	By	Check



1550 So Coast Hwy #201
Laguna Beach, CA 92651
(949) 497-2200 Office
jconradarc@gmail.com
James Conrad Architect

Drawn By	MLP
Date	
Scale	
Project	
Sheet No.	
Sheet	11 of 17

B9 - Floor Plan



B9 - Elevations

Building B9

Continuation Sheets
1
2
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Ocean Breeze

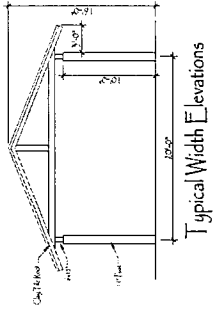


James Conrad Architect
 1550 So Coast Hwy #201
 Laguna Beach, CA 92651
 (949) 497-2300 Office
 jconradarch@gmail.com

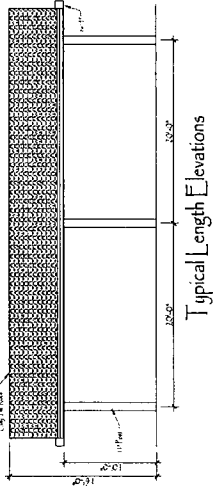
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Date	08/20/13
Scale	
Project	
Architect	
Sheet #	13 of 17

Typ. Pasture Shade

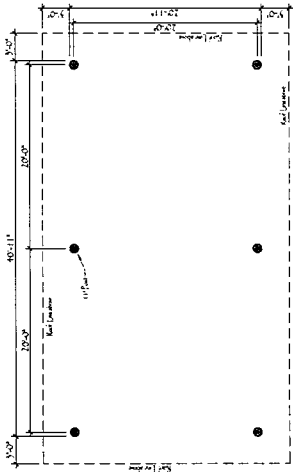
Note:
 Enclosure provided here is for general representation only. Structural elements may be placed on the enclosure. Any additional square footage for actual enclosure required what is shown on these plans are subject to a building permit and section 61542(b) of the County of San Diego Zoning Ordinance. Animal enclosures do not require a minor structure modification to the Major Use Permit.



Typical Width Elevations



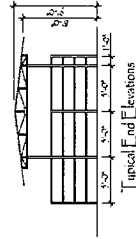
Typical Length Elevations



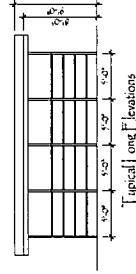
Typical Pasture Shade Structure Plan

Typ. Pen

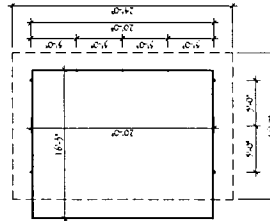
Note:
 Enclosure provided here is for general representation only. Structural elements may be placed on the enclosure. Any additional square footage for actual enclosure required what is shown on these plans are subject to a building permit and section 61542(b) of the County of San Diego Zoning Ordinance. Animal enclosures do not require a minor structure modification to the Major Use Permit.



Typical End Elevations



Typical Long Elevations

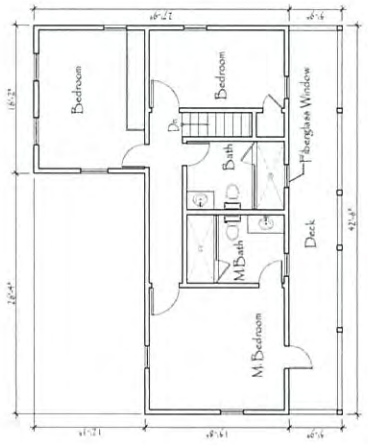
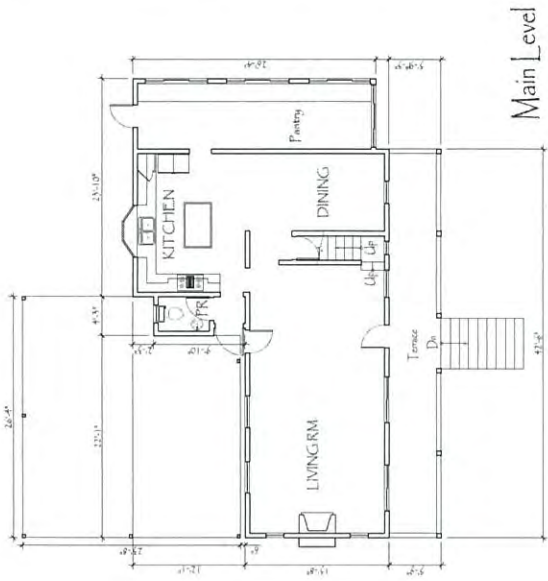


Construction Documents	
Revisions	



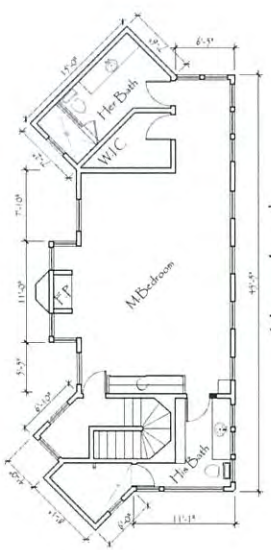
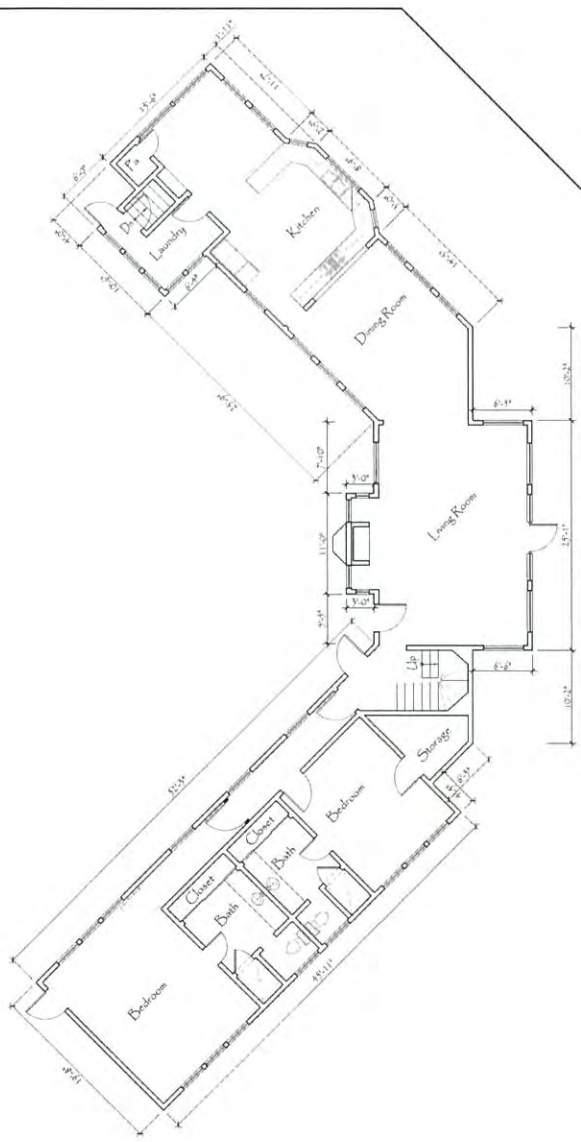
James Conrad Architect
 1550 So Coast Hwy #101
 Laguna Beach, CA 92651
 (949) 497-0200 Office
 jconrad@jcaarchitect.com

Drawn By	MP
Date	12/28/2011
Project Name	Residence R2
Sheet	14 of 17



Residence R2

Elevations



Residence R1

Elevations



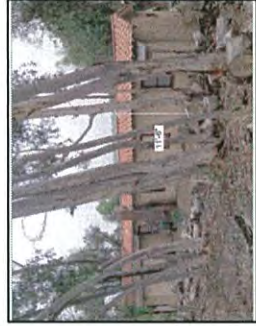
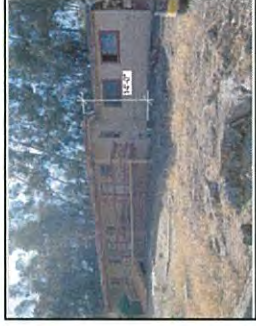
Revision	By	Date

Ocean Breeze



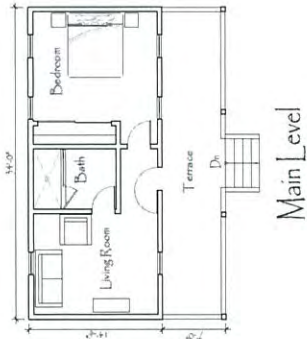
James Conrad Architect
1550 So Coast Hwy #201
Laguna Beach, CA 92651
(949) 497-0200 Office
jconrad@jca.com

Drawn By	MS
Date	
at	
Scale	
Sheet No.	
Sheet of	15 of 17



Residence R4

Elevations



Residence R3

Elevations



Residence R5

Elevations



Continue Downward

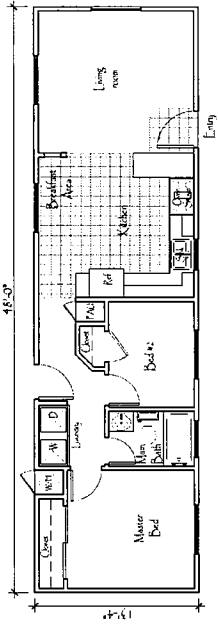
Revisions

Ocean Breeze

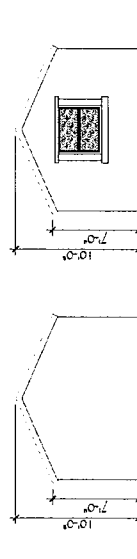
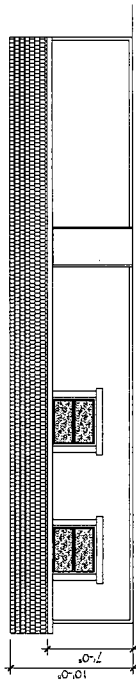
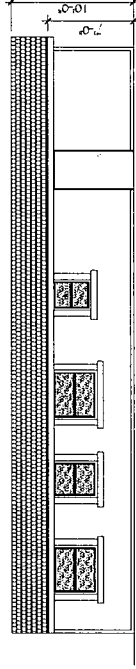


1550 So Coast Hwy #201
Laguna Beach, CA 92651
Conrad Architect
(949) 497-0200 Office
conradarchitect@gmail.com

Drawn By	MB
Date	
Project No.	
Sheet No.	
Scale	
Author	
Checker	
Sheet	17 of 17



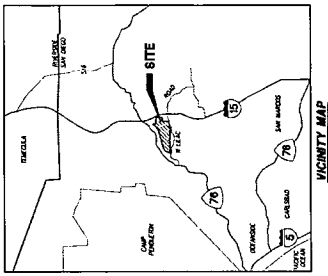
R8 - Floor plan



R8 - Elevations

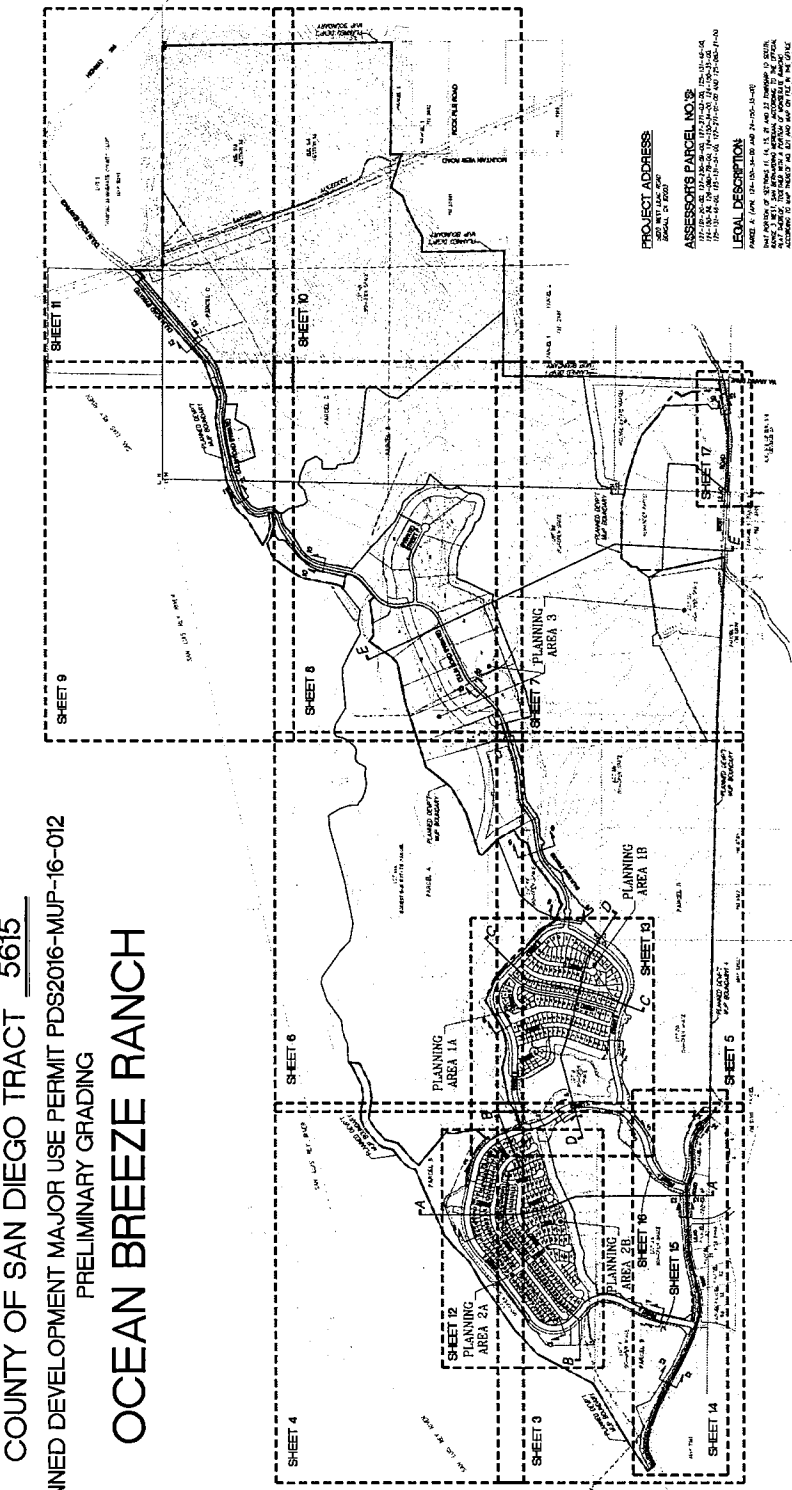
Residence R8

COUNTY OF SAN DIEGO TRACT 5615
 PLANNED DEVELOPMENT MAJOR USE PERMIT PDS2016-MUP-16-012
 PRELIMINARY GRADING
OCEAN BREEZE RANCH



COMPLIANCE	DATE	DESCRIPTION
1. STORMWATER POLLUTION CONTROL	11/15/16	STORMWATER POLLUTION CONTROL & HYDROLOGICAL CONTROL BMP
2. AIR QUALITY	11/15/16	AIR QUALITY IMPROVEMENT PLAN
3. CULTURAL RESOURCE PROTECTION	11/15/16	CULTURAL RESOURCE PROTECTION PLAN
4. HERITAGE RESOURCE PROTECTION	11/15/16	HERITAGE RESOURCE PROTECTION PLAN
5. HISTORIC PRESERVATION	11/15/16	HISTORIC PRESERVATION PLAN
6. LAND USE PATTERNS	11/15/16	LAND USE PATTERNS PLAN
7. LANDSCAPE ARCHITECTURE	11/15/16	LANDSCAPE ARCHITECTURE PLAN
8. LOCAL AGRI-CULTURE	11/15/16	LOCAL AGRICULTURE PLAN
9. LOCAL COMMUNITY CHARACTER	11/15/16	LOCAL COMMUNITY CHARACTER PLAN
10. LOCAL ECONOMIC DEVELOPMENT	11/15/16	LOCAL ECONOMIC DEVELOPMENT PLAN
11. LOCAL ENVIRONMENTAL QUALITY	11/15/16	LOCAL ENVIRONMENTAL QUALITY PLAN
12. LOCAL HISTORIC RESOURCES	11/15/16	LOCAL HISTORIC RESOURCES PLAN
13. LOCAL INFRASTRUCTURE	11/15/16	LOCAL INFRASTRUCTURE PLAN
14. LOCAL LAND USE PATTERNS	11/15/16	LOCAL LAND USE PATTERNS PLAN
15. LOCAL LANDSCAPE ARCHITECTURE	11/15/16	LOCAL LANDSCAPE ARCHITECTURE PLAN
16. LOCAL LANDSCAPE ARCHITECTURE	11/15/16	LOCAL LANDSCAPE ARCHITECTURE PLAN
17. LOCAL LANDSCAPE ARCHITECTURE	11/15/16	LOCAL LANDSCAPE ARCHITECTURE PLAN
18. LOCAL LANDSCAPE ARCHITECTURE	11/15/16	LOCAL LANDSCAPE ARCHITECTURE PLAN
19. LOCAL LANDSCAPE ARCHITECTURE	11/15/16	LOCAL LANDSCAPE ARCHITECTURE PLAN
20. LOCAL LANDSCAPE ARCHITECTURE	11/15/16	LOCAL LANDSCAPE ARCHITECTURE PLAN

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMIT	11/15/16	SC
2	REVISION	11/15/16	SC
3	REVISION	11/15/16	SC
4	REVISION	11/15/16	SC
5	REVISION	11/15/16	SC
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19	REVISION	11/15/16	SC
20	REVISION	11/15/16	SC



PROJECT ADDRESS:
 5615 TRACT 5615
 15700 SAN DIEGO AVENUE
 SAN DIEGO, CA 92128

ASSESSOR'S PARCEL NO.:
 227-310-0400

LEGAL DESCRIPTION:
 PARCEL 1, 10% INTEREST, TRACT 5615, SAN DIEGO COUNTY, CALIFORNIA

GENERAL PLAN REGIONAL CATEGORY:
 REGIONAL COMMUNITY DEVELOPMENT

GRADING QUANTITIES:
 CUT: 100,000 CY
 FILL: 50,000 CY

OWNER'S CERTIFICATE:
 I, THE UNDERSIGNED, OWNER OF THE PROPERTY DESCRIBED ABOVE, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

OWNER REPRESENTATIVE:
 JOHN A. SMITH
 15700 SAN DIEGO AVENUE
 SAN DIEGO, CA 92128

PROJECT DESIGN CONSULTANTS:
 [Firm Name]
 15700 SAN DIEGO AVENUE
 SAN DIEGO, CA 92128

PLANNED DEVELOPMENT MAJOR USE PERMIT PDS2016-MUP-012

NO.	REVISION	DATE	BY
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2	REVISION	11/15/16	SC
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PROJECT TITLE:
 OCEAN BREEZE RANCH

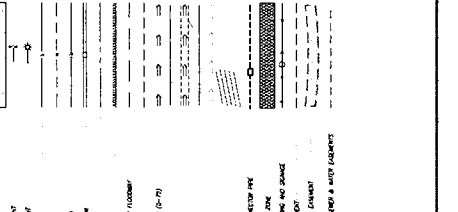
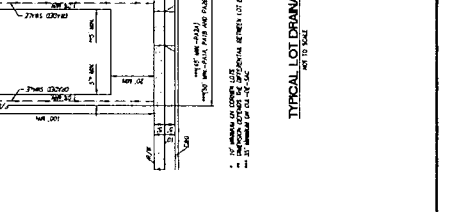
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 [Firm Name]

DATE:
 11/15/16

CONTRACT:
 [Contract Details]

OWNER REPRESENTATIVE:
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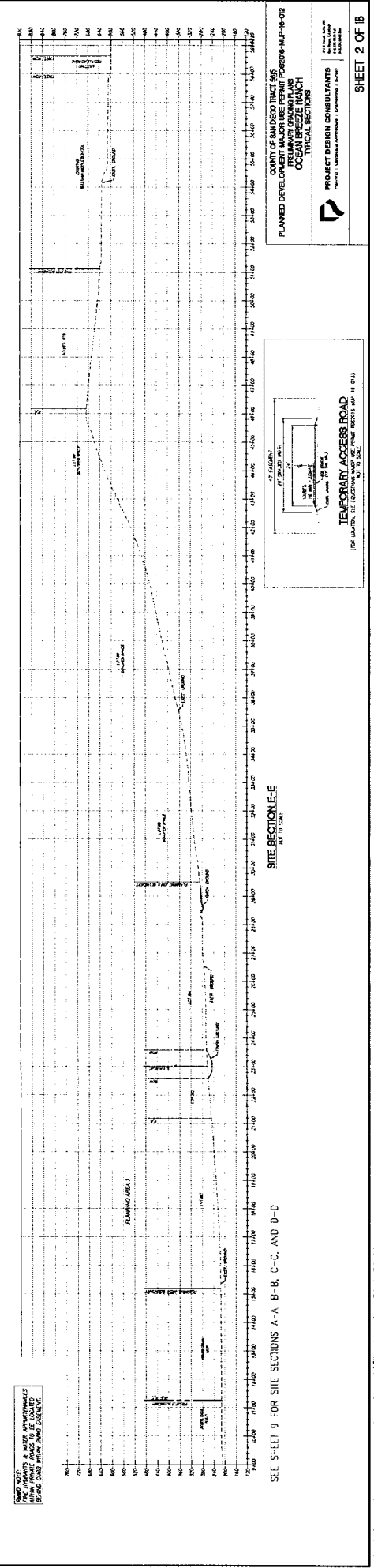
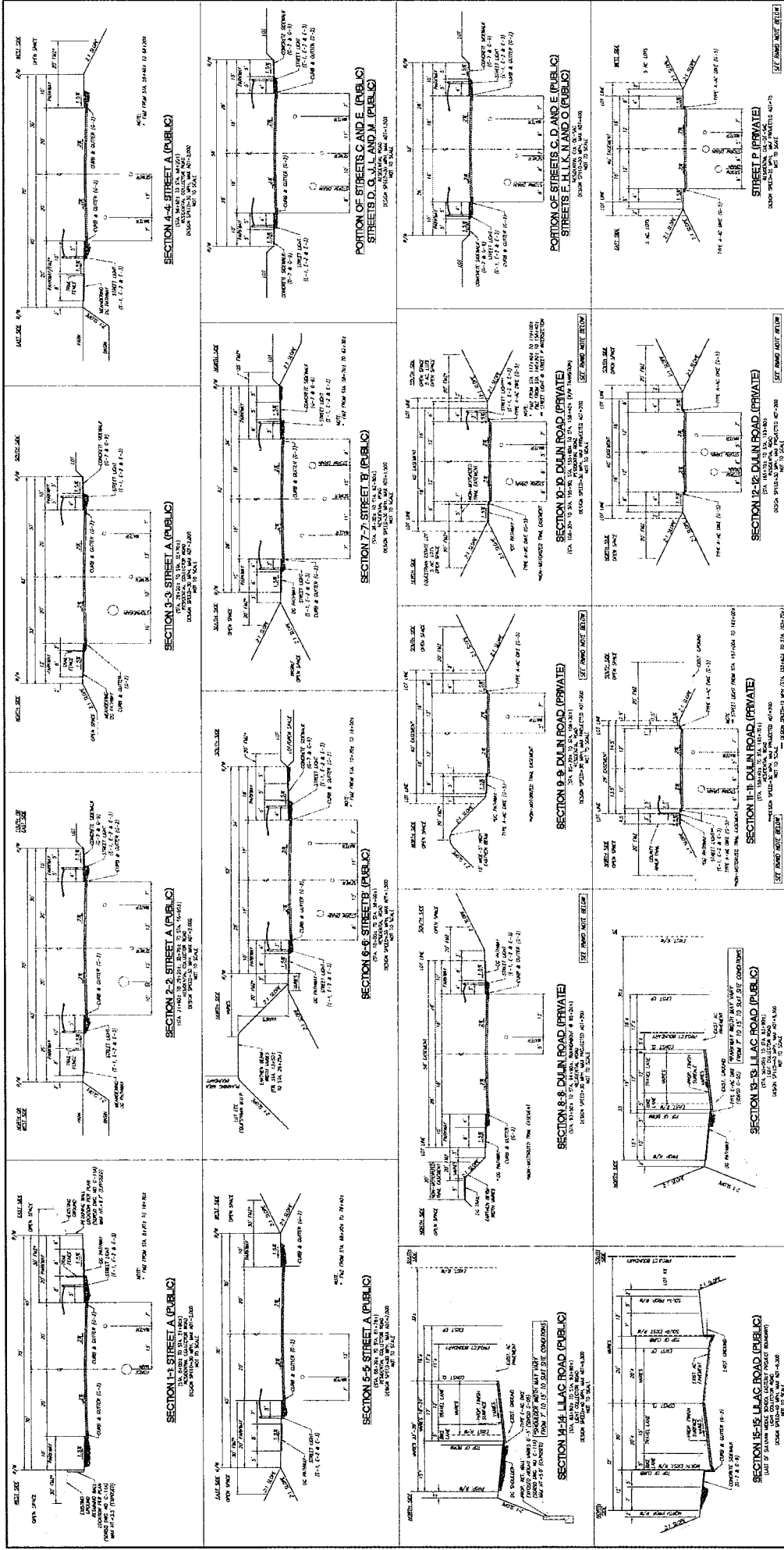
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 3. ALL ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 4. ALL GRADE CHANGES SHALL BE INDICATED BY DASHED LINES.



WORK ITEMS:
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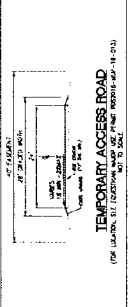
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GENERAL NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 3. ALL ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
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 5. ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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 19. ALL GRADE CHANGES SHALL BE INDICATED BY DASHED LINES.
 20. ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.



SEE SHEET 9 FOR SITE SECTIONS A-A, B-B, C-C, AND D-D

NOTE: ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED. ALL GRADES ARE PERCENT UNLESS OTHERWISE SPECIFIED.



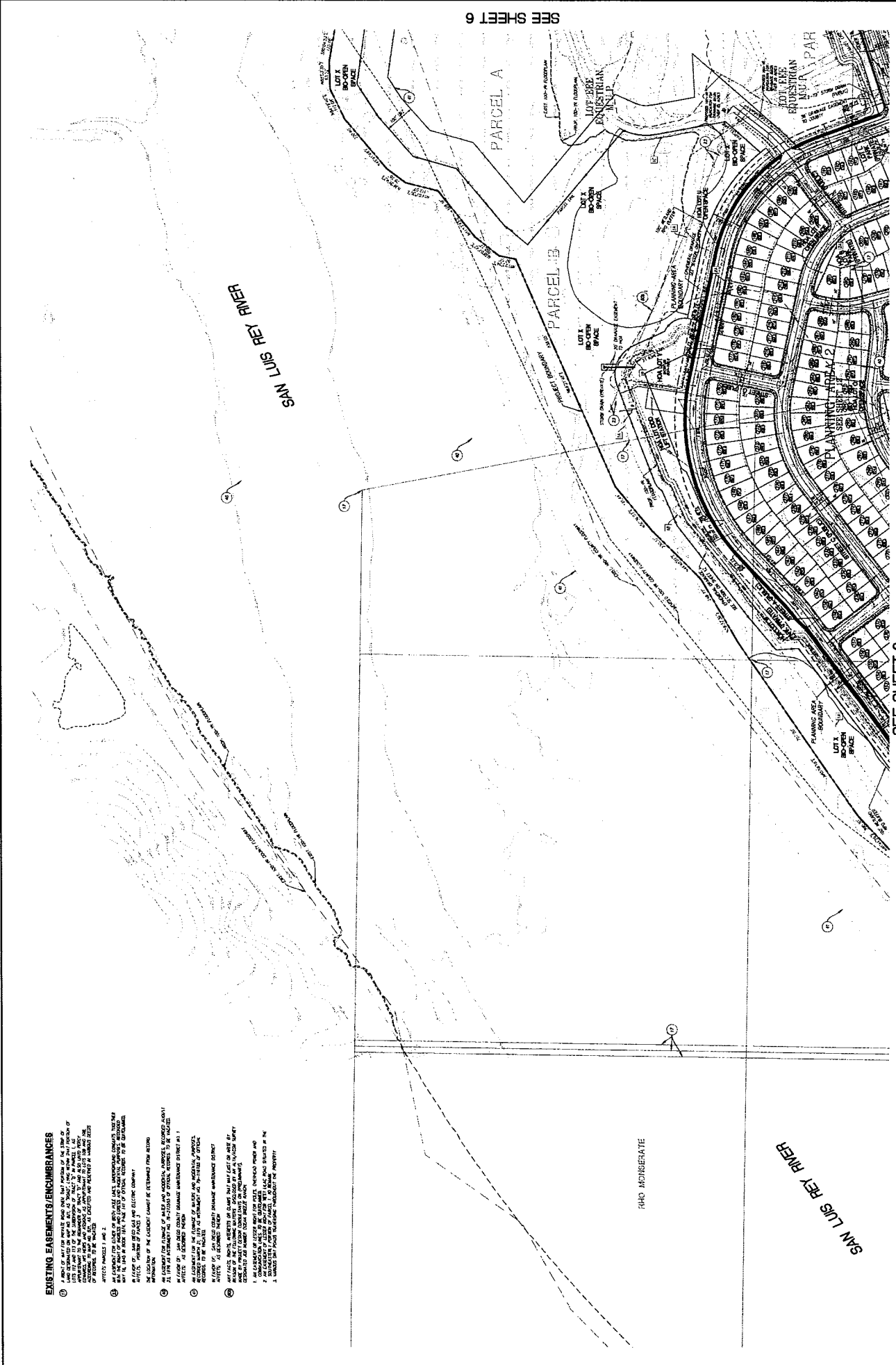
SITE SECTION E-E

COUNTY OF SAN DIEGO TRACT 888
 PLANNED DEVELOPMENT MAJOR USE PERMIT F020308-MUP-16-02
 CONCEPTUAL PLAN FOR
 COMMERCIAL DEVELOPMENT
 TYPICAL SECTIONS

PROJECT DESIGN CONSULTANTS
 JACOBS ENGINEERING GROUP, INC.

EXISTING EASEMENTS/ENCUMBRANCES

- 1. ALL EASEMENTS AND ENCUMBRANCES SHOWN ON THIS PLAN ARE BASED ON THE RECORDS OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIFORNIA.
- 2. THE LOCATION OF THE EXISTING EASEMENTS IS DETERMINED FROM RECORDS OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIFORNIA.
- 3. THE LOCATION OF THE EXISTING EASEMENTS IS DETERMINED FROM RECORDS OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIFORNIA.
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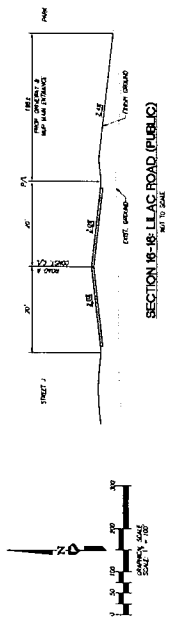
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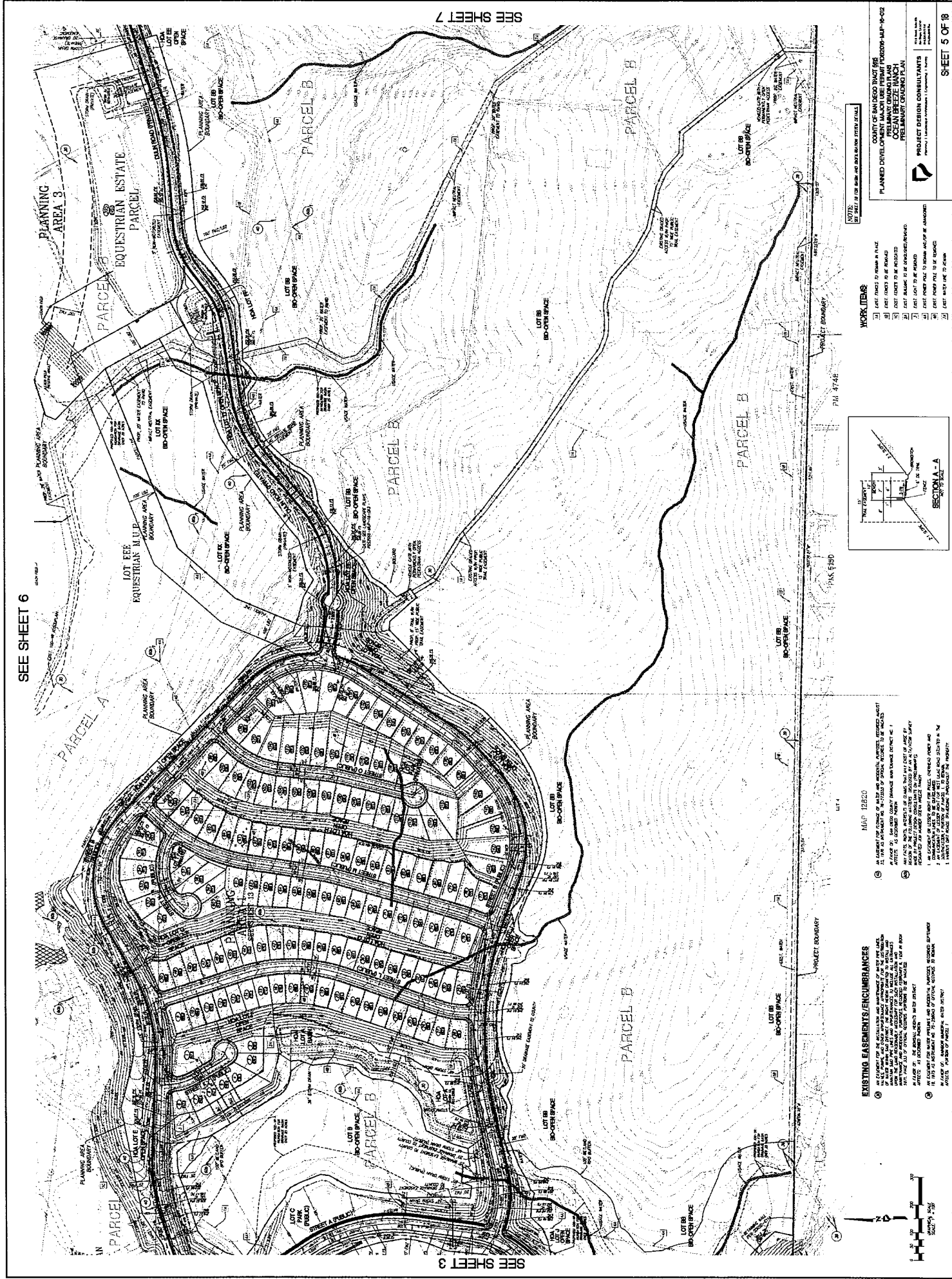
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- 3) SET POINT TO BE IN PLACE
- 4) SET POINT TO BE IN PLACE

NOTE: SEE SHEET 3 FOR SHOWN AND NOT SHOWN ITEMS

COUNTY OF SAN DIEGO
PLANNING AND DEVELOPMENT DEPARTMENT
PLANNING DIVISION
1615 LA JOLLA VILLAGE CENTER DRIVE
SAN DIEGO, CALIFORNIA 92161
TEL: 619-491-3100
WWW.SANDIEGO.CA.GOV

PROJECT DESIGN CONSULTANTS
PETER D'AMICO ARCHITECTS
10000 SAN DIEGO AVENUE, SUITE 100
SAN DIEGO, CALIFORNIA 92126
TEL: 619-594-1100
WWW.PETERDAMICO.COM





NOTE: SEE SHEET 7 FOR THE BOUNDARY OF THE PROJECT AREA.

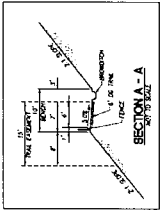
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2. PREPARE CONCEPT PLAN
3. PREPARE PRELIMINARY PLAN
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7. PREPARE PRELIMINARY PLAN
8. PREPARE PRELIMINARY PLAN
9. PREPARE PRELIMINARY PLAN
10. PREPARE PRELIMINARY PLAN

MAP 10220

EXISTING ENCUMBRANCES/ENCUMBRANCES

1. ALL ENCUMBRANCES SHOWN ON THIS MAP ARE AS SHOWN ON THE RECORD PLANS AND SURVEYS.
2. ALL ENCUMBRANCES SHOWN ON THIS MAP ARE AS SHOWN ON THE RECORD PLANS AND SURVEYS.
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PROJECT DESIGN CONSULTANTS

PROJECT DESIGN CONSULTANTS
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 PROJECT DESIGN CONSULTANTS

PROJECT BOUNDARY

PROJECT BOUNDARY
 PROJECT BOUNDARY
 PROJECT BOUNDARY

PLANNING AREA BOUNDARY

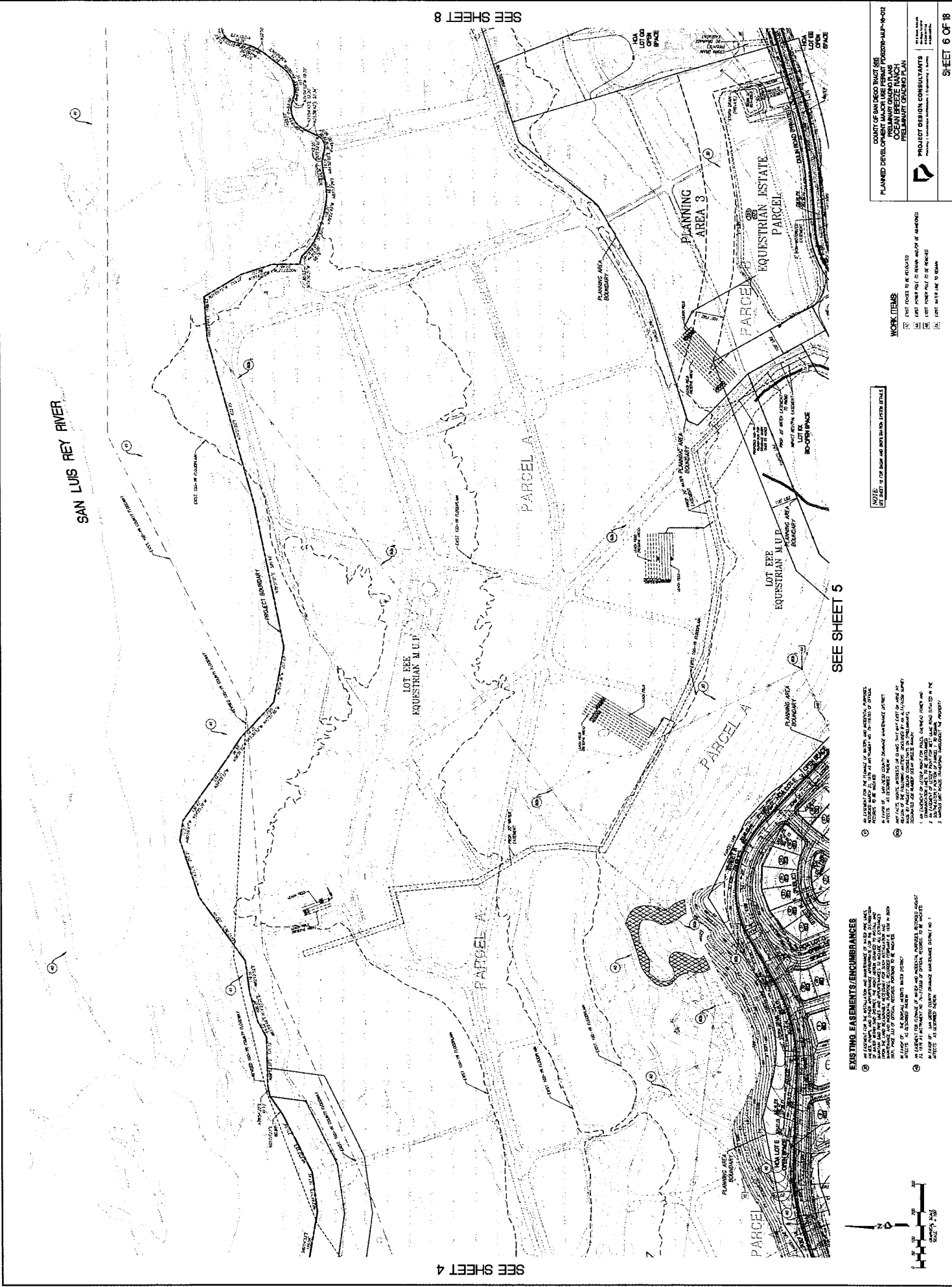
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 PLANNING AREA BOUNDARY

LOT B BO-OPEN SPACE

LOT B BO-OPEN SPACE
 LOT B BO-OPEN SPACE
 LOT B BO-OPEN SPACE

EQUESTRIAN ESTATE PARCEL

EQUESTRIAN ESTATE PARCEL
 EQUESTRIAN ESTATE PARCEL
 EQUESTRIAN ESTATE PARCEL



SAN LUIS REY RIVER

LOT 00
EQUESTRIAN M.U.P.

PARCEL A

PLANNING AREA 3

EQUESTRIAN ESTATE
PARCEL

LOT 00
EQUESTRIAN M.U.P.

SEE SHEET 5

EXISTING EASEMENTS/ENCUMBRANCES

- 1. AS SHOWN ON THE RECORD MAP AND INSTRUMENTS OF TITLE, THE FOLLOWING ARE THE EXISTING EASEMENTS/ENCUMBRANCES:
- 2. AS SHOWN ON THE RECORD MAP AND INSTRUMENTS OF TITLE, THE FOLLOWING ARE THE EXISTING EASEMENTS/ENCUMBRANCES:
- 3. AS SHOWN ON THE RECORD MAP AND INSTRUMENTS OF TITLE, THE FOLLOWING ARE THE EXISTING EASEMENTS/ENCUMBRANCES:
- 4. AS SHOWN ON THE RECORD MAP AND INSTRUMENTS OF TITLE, THE FOLLOWING ARE THE EXISTING EASEMENTS/ENCUMBRANCES:
- 5. AS SHOWN ON THE RECORD MAP AND INSTRUMENTS OF TITLE, THE FOLLOWING ARE THE EXISTING EASEMENTS/ENCUMBRANCES:

NOTES

- 1. ALL EASEMENTS/ENCUMBRANCES SHOWN ON THIS MAP ARE THE PROPERTY OF THE COUNTY OF SAN DIEGO.
- 2. ALL EASEMENTS/ENCUMBRANCES SHOWN ON THIS MAP ARE THE PROPERTY OF THE COUNTY OF SAN DIEGO.
- 3. ALL EASEMENTS/ENCUMBRANCES SHOWN ON THIS MAP ARE THE PROPERTY OF THE COUNTY OF SAN DIEGO.
- 4. ALL EASEMENTS/ENCUMBRANCES SHOWN ON THIS MAP ARE THE PROPERTY OF THE COUNTY OF SAN DIEGO.
- 5. ALL EASEMENTS/ENCUMBRANCES SHOWN ON THIS MAP ARE THE PROPERTY OF THE COUNTY OF SAN DIEGO.

WORK ITEMS

- 1. LOT 00 TO BE REDEVELOPED
- 2. LOT 00 TO BE REDEVELOPED
- 3. LOT 00 TO BE REDEVELOPED
- 4. LOT 00 TO BE REDEVELOPED

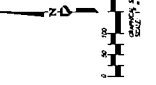
COUNTY OF SAN DIEGO
PLANNED DEVELOPMENT MAJOR USE PERMIT PROGRAM-MUP-18-022
PRELIMINARY SUBMITTAL
PROJECT BOUNDARY
PROJECT BOUNDARY

PROJECT DESIGN CONSULTANTS
[Logo]
[Name]
[Address]
[City, State, Zip]

DATE: 06/18/2018

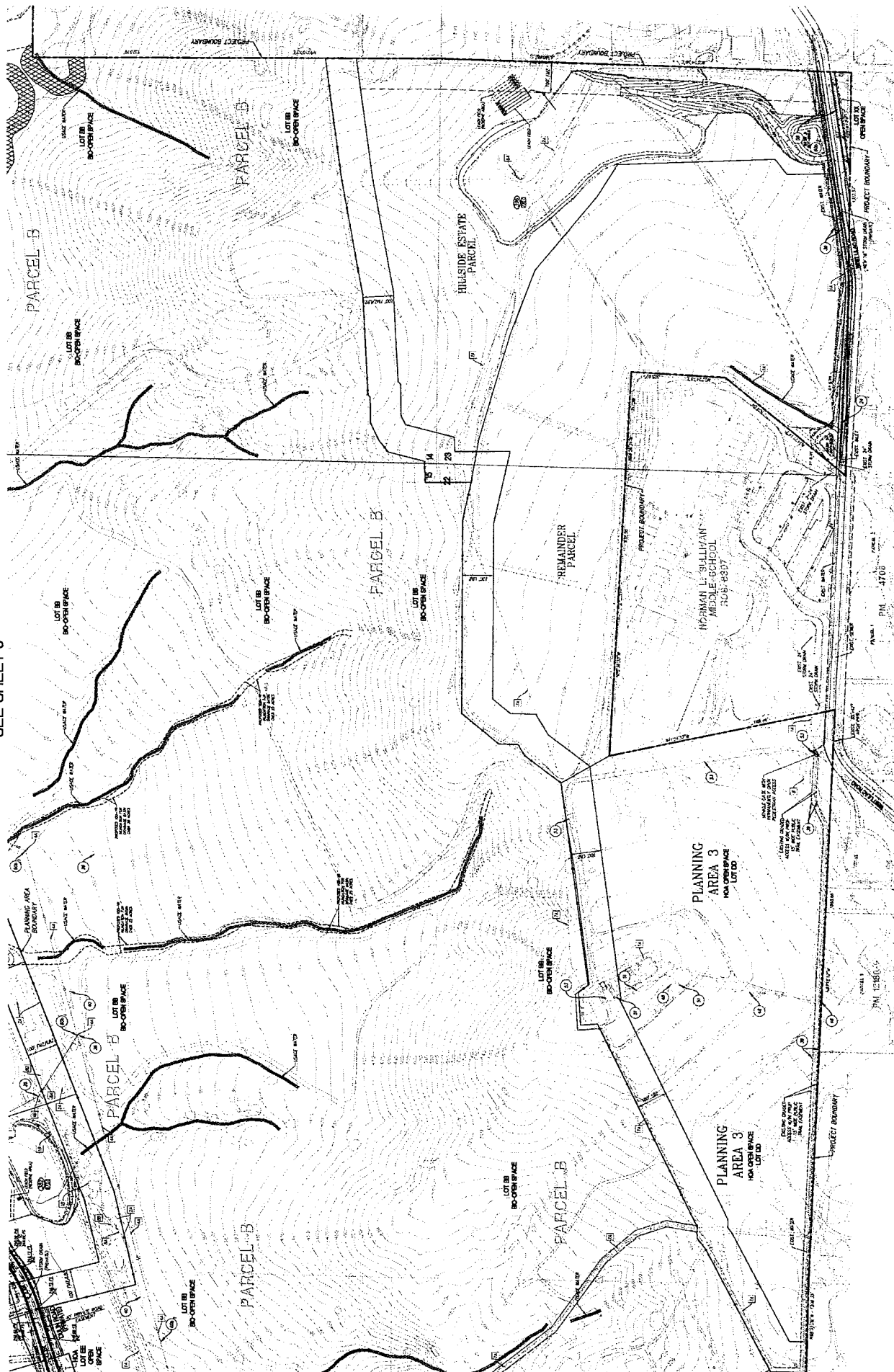
PROJECT: 18-022

SHEET 6 OF 18



SEE SHEET 8

SEE SHEET 5



EXISTING EASEMENTS/ENCUMBRANCES

- 1. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 2. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 3. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 4. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 5. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 6. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 7. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 8. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 9. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:
- 10. AS SHOWN ON PLANS OF RECORD OR OTHER RECORDS, THE FOLLOWING EASEMENTS ARE SHOWN ON THE SUBJECT PROPERTY AND ARE HEREBY RECORDED:

NOTE:

- 1. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 2. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 3. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 4. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 5. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 6. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 7. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 8. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 9. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.
- 10. THE AREA OF THE SUBJECT PROPERTY IS SHOWN ON THE PLANS OF RECORD AND IS HEREBY RECORDED.

WORK ITEMS

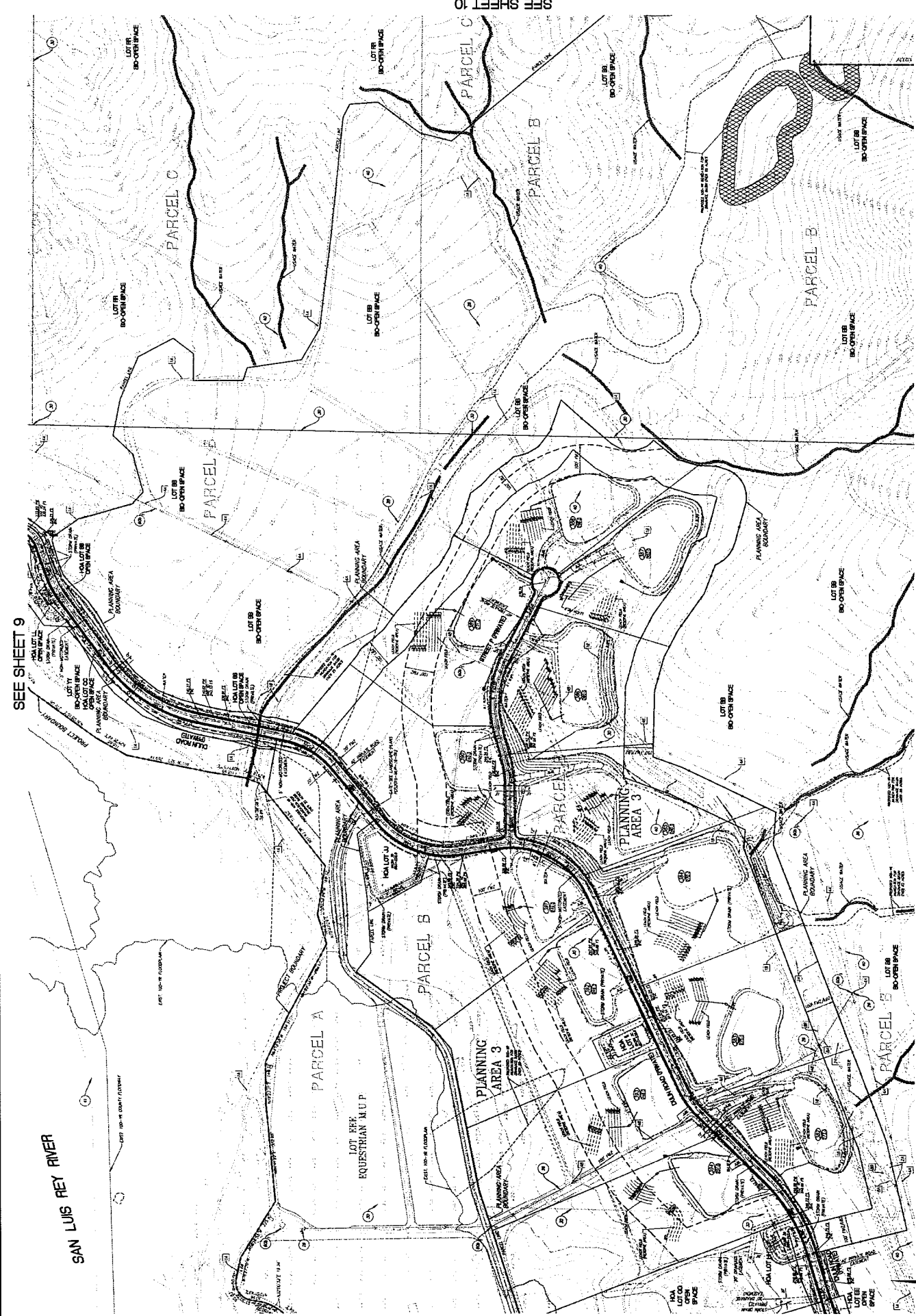
- 1. LOT 18B TO BE PLANNED
- 2. LOT 18C TO BE PLANNED
- 3. LOT 18D TO BE PLANNED
- 4. LOT 18E TO BE PLANNED
- 5. LOT 18F TO BE PLANNED
- 6. LOT 18G TO BE PLANNED
- 7. LOT 18H TO BE PLANNED
- 8. LOT 18I TO BE PLANNED
- 9. LOT 18J TO BE PLANNED
- 10. LOT 18K TO BE PLANNED

COUNTY OF SAN DIEGO TRACT 686
 PLANNED DEVELOPMENT MAJOR USE PERMIT PROJECT 2024-001-001-001
 PRELIMINARY GRADING PLAN
 PRELIMINARY EROSION CONTROL PLAN
 PRELIMINARY LANDSCAPE PLAN

PROJECT DESIGN CONSULTANTS
 [Logo] [Firm Name]
 [Address]
 [Phone]
 [Email]

SHEET 7 OF 18

SEE SHEET 10



SEE SHEET 9

SEE SHEET 6

CONTRACTOR'S USE ONLY

PLANNED DEVELOPMENT MAJOR USE PERMIT FPD2020-14P-10-02
 PRELIMINARY GRADING PLAN
 PRELIMINARY GRADING PLAN

PROJECT DESIGN CONSULTANTS
 PERIOD CONSULTANTS/PERIOD CONSULTANTS

DATE: 10/15/2020

SHEET 8 OF 18

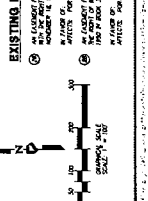
- WORK ITEMS**
- 1) LOT 18 BO-OPEN SPACE
 - 2) LOT 18 BO-OPEN SPACE
 - 3) LOT 18 BO-OPEN SPACE
 - 4) LOT 18 BO-OPEN SPACE
 - 5) LOT 18 BO-OPEN SPACE
 - 6) LOT 18 BO-OPEN SPACE
 - 7) LOT 18 BO-OPEN SPACE
 - 8) LOT 18 BO-OPEN SPACE
 - 9) LOT 18 BO-OPEN SPACE
 - 10) LOT 18 BO-OPEN SPACE
 - 11) LOT 18 BO-OPEN SPACE
 - 12) LOT 18 BO-OPEN SPACE
 - 13) LOT 18 BO-OPEN SPACE
 - 14) LOT 18 BO-OPEN SPACE
 - 15) LOT 18 BO-OPEN SPACE
 - 16) LOT 18 BO-OPEN SPACE
 - 17) LOT 18 BO-OPEN SPACE
 - 18) LOT 18 BO-OPEN SPACE
 - 19) LOT 18 BO-OPEN SPACE
 - 20) LOT 18 BO-OPEN SPACE

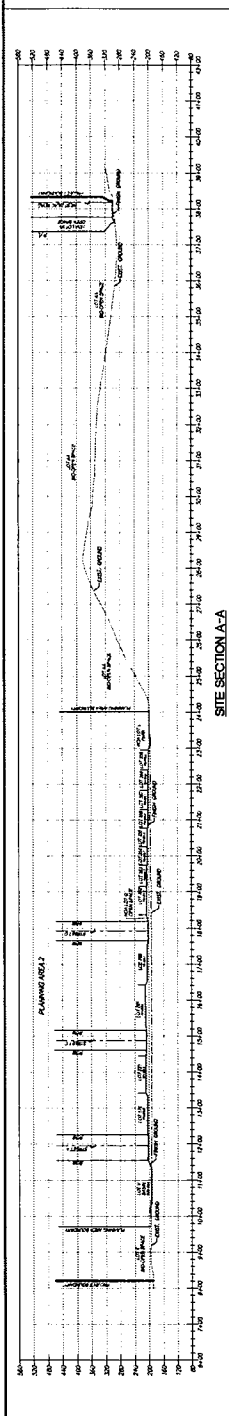
NOTE:
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 2) SEE SHEET 10 FOR THE PLAN AND ELEVATION DATA.
 3) SEE SHEET 11 FOR THE PLAN AND ELEVATION DATA.
 4) SEE SHEET 12 FOR THE PLAN AND ELEVATION DATA.
 5) SEE SHEET 13 FOR THE PLAN AND ELEVATION DATA.
 6) SEE SHEET 14 FOR THE PLAN AND ELEVATION DATA.
 7) SEE SHEET 15 FOR THE PLAN AND ELEVATION DATA.
 8) SEE SHEET 16 FOR THE PLAN AND ELEVATION DATA.
 9) SEE SHEET 17 FOR THE PLAN AND ELEVATION DATA.
 10) SEE SHEET 18 FOR THE PLAN AND ELEVATION DATA.

- EXISTING EASEMENTS/ENCUMBRANCES**
- 1) SEE SHEET 9 FOR THE PLAN AND ELEVATION DATA.
 - 2) SEE SHEET 10 FOR THE PLAN AND ELEVATION DATA.
 - 3) SEE SHEET 11 FOR THE PLAN AND ELEVATION DATA.
 - 4) SEE SHEET 12 FOR THE PLAN AND ELEVATION DATA.
 - 5) SEE SHEET 13 FOR THE PLAN AND ELEVATION DATA.
 - 6) SEE SHEET 14 FOR THE PLAN AND ELEVATION DATA.
 - 7) SEE SHEET 15 FOR THE PLAN AND ELEVATION DATA.
 - 8) SEE SHEET 16 FOR THE PLAN AND ELEVATION DATA.
 - 9) SEE SHEET 17 FOR THE PLAN AND ELEVATION DATA.
 - 10) SEE SHEET 18 FOR THE PLAN AND ELEVATION DATA.

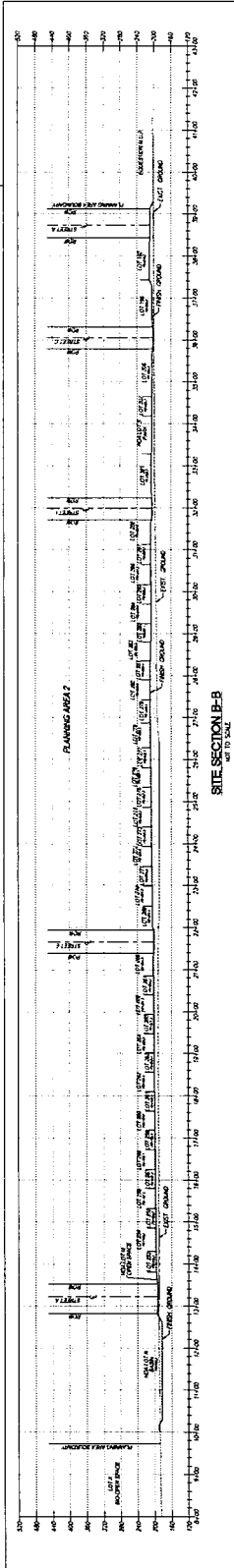
- WORK ITEMS**
- 1) LOT 18 BO-OPEN SPACE
 - 2) LOT 18 BO-OPEN SPACE
 - 3) LOT 18 BO-OPEN SPACE
 - 4) LOT 18 BO-OPEN SPACE
 - 5) LOT 18 BO-OPEN SPACE
 - 6) LOT 18 BO-OPEN SPACE
 - 7) LOT 18 BO-OPEN SPACE
 - 8) LOT 18 BO-OPEN SPACE
 - 9) LOT 18 BO-OPEN SPACE
 - 10) LOT 18 BO-OPEN SPACE
 - 11) LOT 18 BO-OPEN SPACE
 - 12) LOT 18 BO-OPEN SPACE
 - 13) LOT 18 BO-OPEN SPACE
 - 14) LOT 18 BO-OPEN SPACE
 - 15) LOT 18 BO-OPEN SPACE
 - 16) LOT 18 BO-OPEN SPACE
 - 17) LOT 18 BO-OPEN SPACE
 - 18) LOT 18 BO-OPEN SPACE
 - 19) LOT 18 BO-OPEN SPACE
 - 20) LOT 18 BO-OPEN SPACE

- EXISTING EASEMENTS/ENCUMBRANCES**
- 1) SEE SHEET 9 FOR THE PLAN AND ELEVATION DATA.
 - 2) SEE SHEET 10 FOR THE PLAN AND ELEVATION DATA.
 - 3) SEE SHEET 11 FOR THE PLAN AND ELEVATION DATA.
 - 4) SEE SHEET 12 FOR THE PLAN AND ELEVATION DATA.
 - 5) SEE SHEET 13 FOR THE PLAN AND ELEVATION DATA.
 - 6) SEE SHEET 14 FOR THE PLAN AND ELEVATION DATA.
 - 7) SEE SHEET 15 FOR THE PLAN AND ELEVATION DATA.
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 - 9) SEE SHEET 17 FOR THE PLAN AND ELEVATION DATA.
 - 10) SEE SHEET 18 FOR THE PLAN AND ELEVATION DATA.

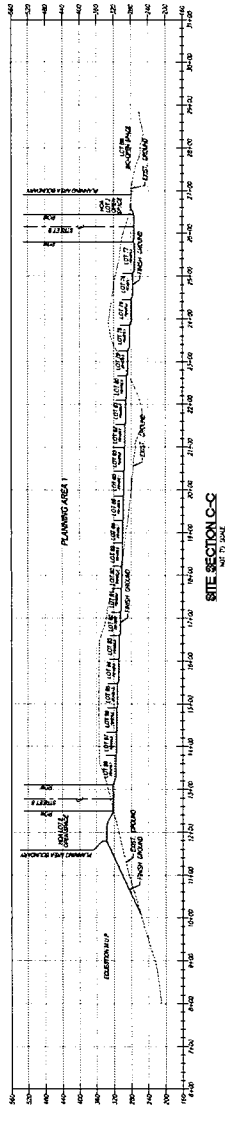




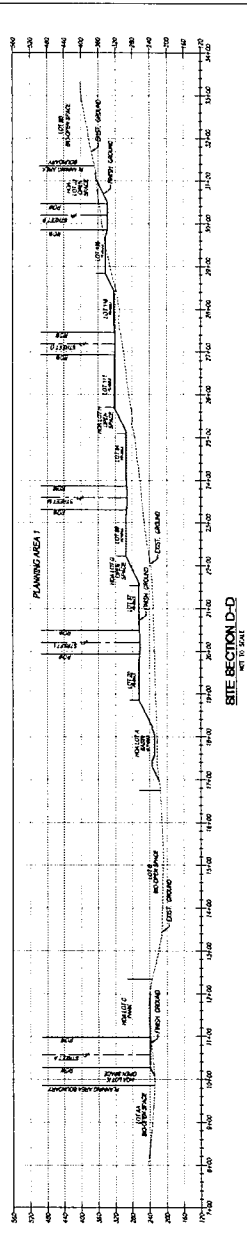
SITE SECTION A-A



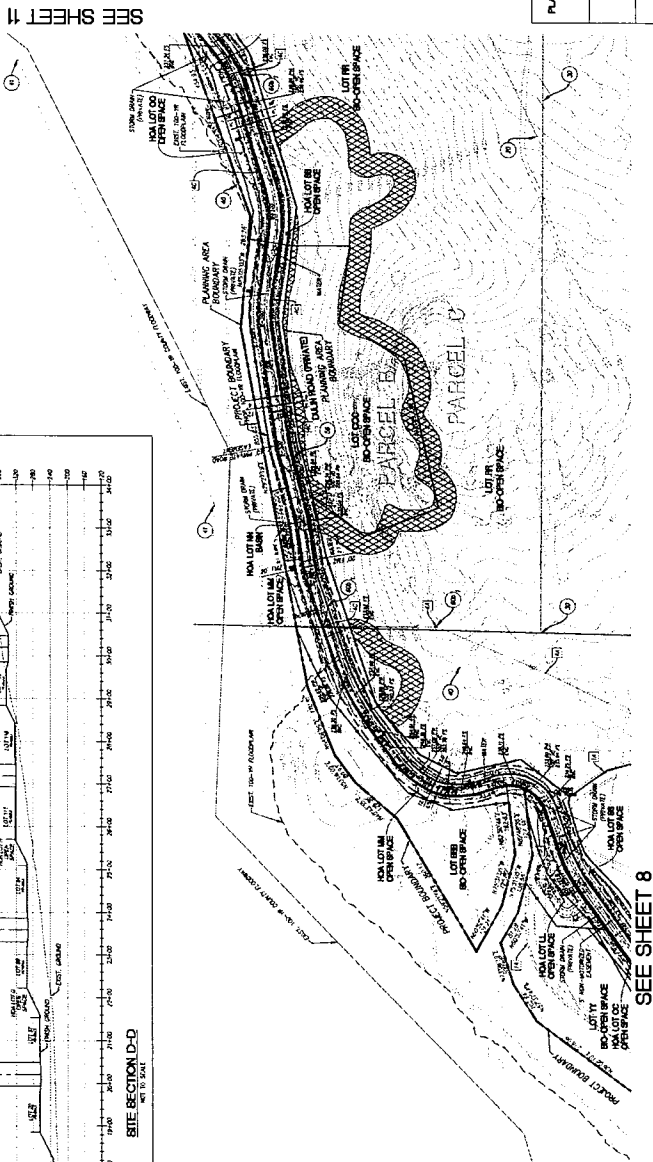
SITE SECTION B-B



SITE SECTION C-C



SITE SECTION D-D

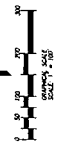


- SEE SHEET 2 FOR SITE SECTIONS E-E
- EXISTING EASEMENTS/ENCUMBRANCES**
1. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
 2. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
 3. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
 4. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
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 9. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
 10. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.

NOTE:
 1. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
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 9. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
 10. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.

WORK ITEMS

1. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
2. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
3. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
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9. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.
10. ALL EXISTING EASEMENTS AND ENCUMBRANCES ARE SHOWN AS DOTTED LINES.



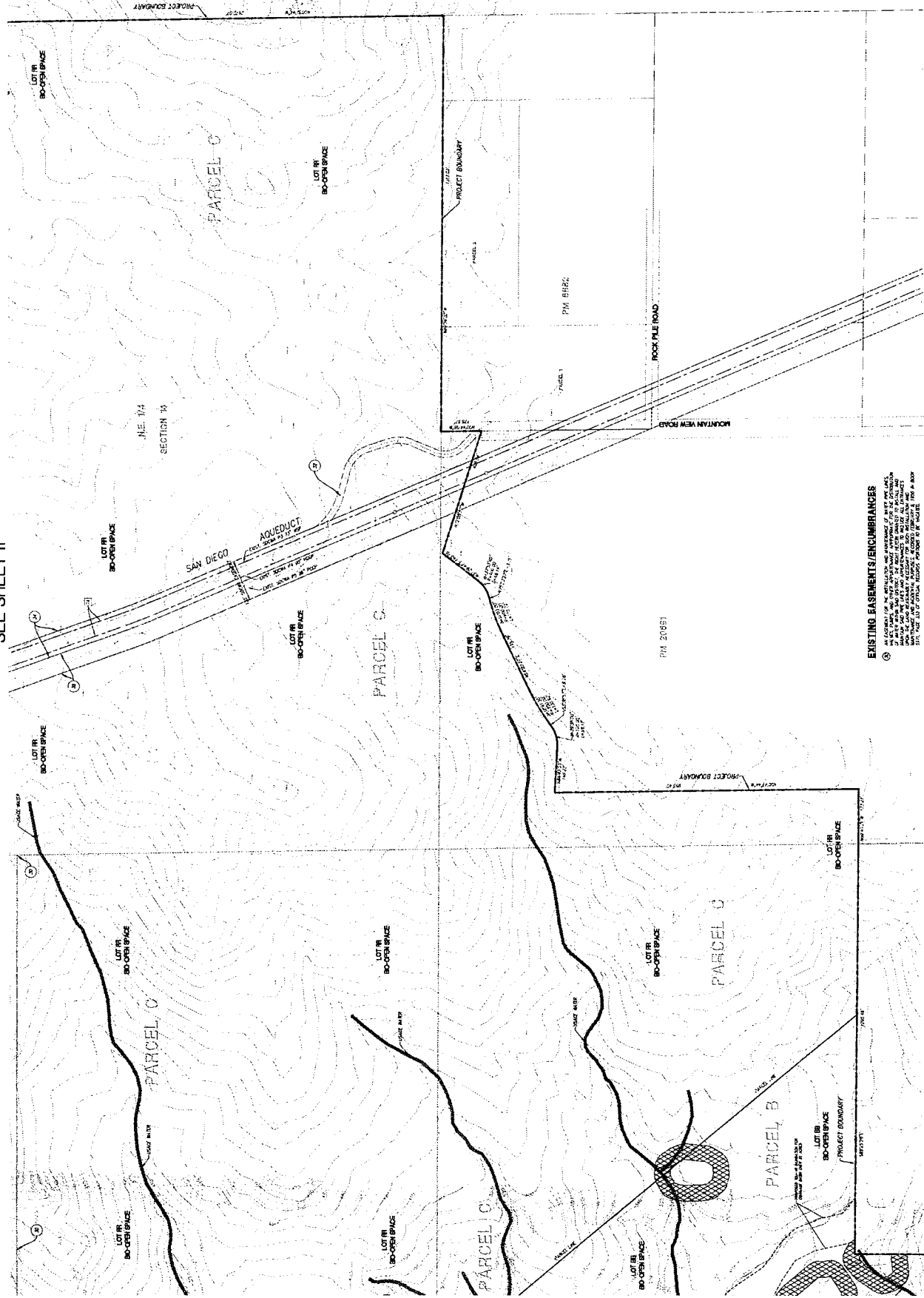
SEE SHEET 8

SEE SHEET 11

COUNTY OF SAN DIEGO TRACT 698
 OCEAN BREEZE RANCH
 PRELIMINARY GRADING PLAN
 PROJECT DESIGN CONSULTANTS
 Planning & Engineering Solutions, Inc.
 11555 San Diego Avenue, Suite 100
 San Diego, CA 92126
 SHEET 9 OF 18

SEE SHEET 11

SEE SHEET 8



PROJECT BOUNDARY

N.E. 1/4 SECTION 15

SAN DIEGO AQUEDUCT

PROJECT BOUNDARY

PARCEL A

PARCEL B

PARCEL C

ROCKVALE ROAD

MOUNTAIN VIEW ROAD

LOT 1R BO-OR-SP-1

LOT 1R BO-OR-SP-2

LOT 1R BO-OR-SP-3

LOT 1R BO-OR-SP-4

LOT 1R BO-OR-SP-5

LOT 1R BO-OR-SP-6

LOT 1R BO-OR-SP-7

LOT 1R BO-OR-SP-8

LOT 1R BO-OR-SP-9

LOT 1R BO-OR-SP-10

EXISTING EASEMENTS/ENCUMBRANCES

- 1. AS SHOWN ON THE RECORD MAPS AND PLANS OF THE SAN DIEGO AQUEDUCT, THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES THEREON.
- 2. THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES SHOWN ON THE RECORD MAPS AND PLANS OF THE SAN DIEGO AQUEDUCT, THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES THEREON.
- 3. THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES SHOWN ON THE RECORD MAPS AND PLANS OF THE SAN DIEGO AQUEDUCT, THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES THEREON.
- 4. THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES SHOWN ON THE RECORD MAPS AND PLANS OF THE SAN DIEGO AQUEDUCT, THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES THEREON.
- 5. THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES SHOWN ON THE RECORD MAPS AND PLANS OF THE SAN DIEGO AQUEDUCT, THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES THEREON.

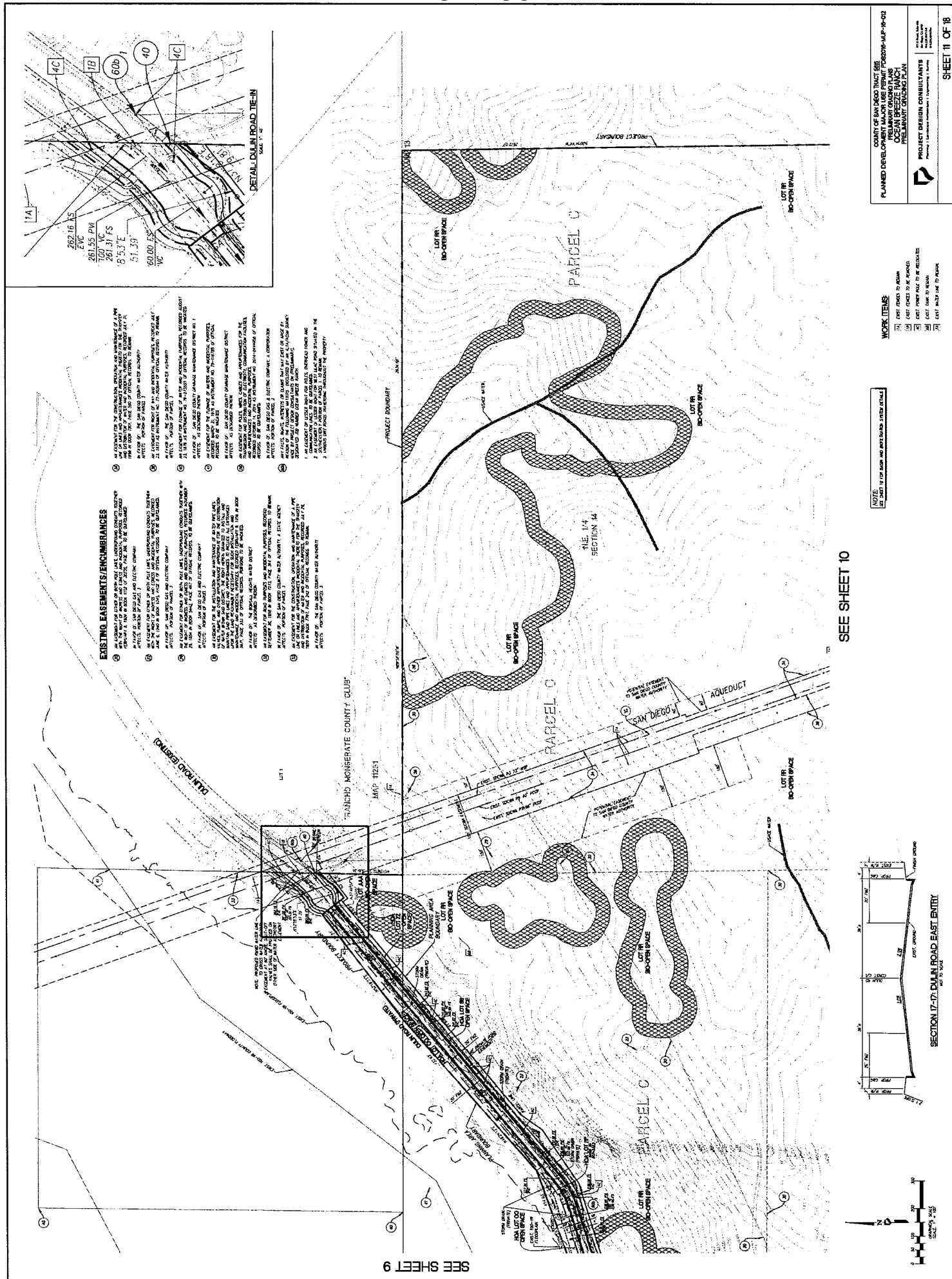
WORK ITEMS

- 1. FIELD SURVEY TO BE MADE.

NOTE: THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES SHOWN ON THE RECORD MAPS AND PLANS OF THE SAN DIEGO AQUEDUCT, THE PROJECT SHALL BE SUBJECT TO THE EASEMENTS AND ENCUMBRANCES THEREON.

COUNTY OF SAN DIEGO, TITLE FOR
 PLANNED DEVELOPMENT MAP FOR USE PERMIT (PD2020-01P-18-02)
 PRELIMINARY GRADING PLANS
 PROJECT: 2020-01P-18-02
 PREPARED BY: [Firm Name]

PROJECT DESIGN CONSULTANTS
 [Firm Name]

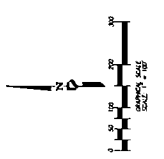
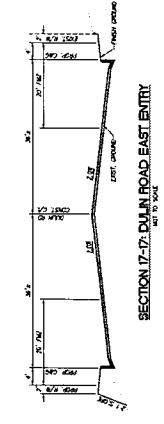


EXISTING EASEMENTS/ENCUMBRANCES

1. ALL EASEMENTS AND ENCUMBRANCES SHOWN ON THIS PLAN ARE AS SHOWN ON THE RECORD MAPS AND PLANS ON FILE IN THE COUNTY CLERK'S OFFICE.
2. ALL EASEMENTS AND ENCUMBRANCES SHOWN ON THIS PLAN ARE AS SHOWN ON THE RECORD MAPS AND PLANS ON FILE IN THE COUNTY CLERK'S OFFICE.
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SEE SHEET 9

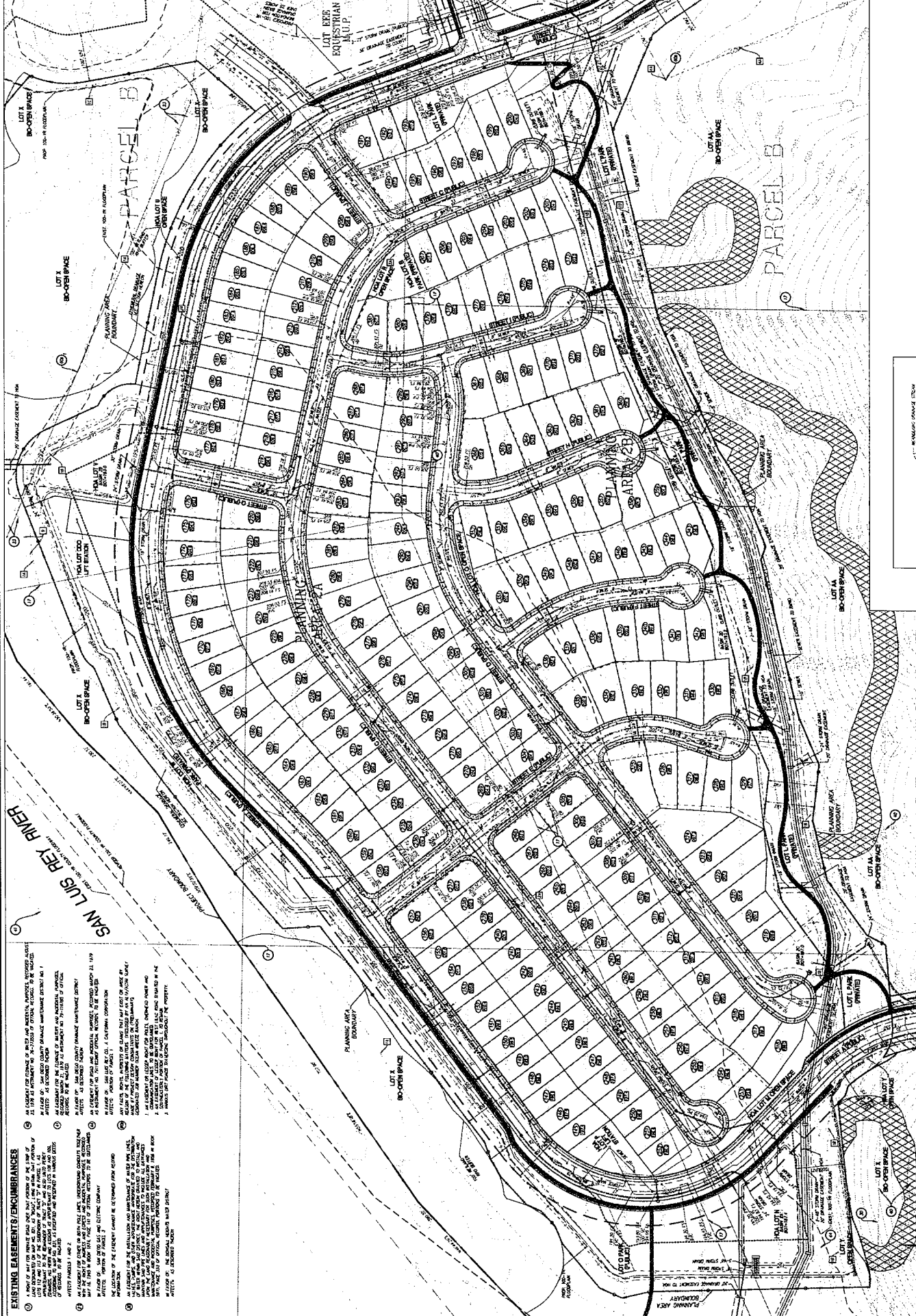
SEE SHEET 10



WORK ITEMS

1. SET POINTS TO BE SET
2. SET POINTS TO BE SET
3. SET POINTS TO BE SET
4. SET POINTS TO BE SET
5. SET POINTS TO BE SET

COUNTY OF SAN DIEGO TRACT 166
 PLANNED DEVELOPMENT MAP FOR USE PERMIT FOR 2006-16P-16-02
 PRELIMINARY ENGINEERING PLAN
 PRELIMINARY GRADING PLAN
 PROJECT DESIGN CONSULTANTS
 Parsons | Construction Management | Engineering | Survey
 SHEET 11 OF 18

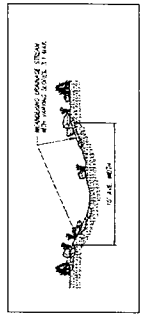


- EXISTING ENCUMBRANCES**
- 1. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 2. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 3. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 4. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 5. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
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 - 10. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.

CONTRACT NO. 100-1000-1000
 PLANNING AREA
 PRELIMINARY PLANNING
 PRELIMINARY PLANNING
 PRELIMINARY PLANNING

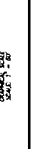
PROJECT DESIGN CONSULTANTS
 PROJECT DESIGN CONSULTANTS
 PROJECT DESIGN CONSULTANTS

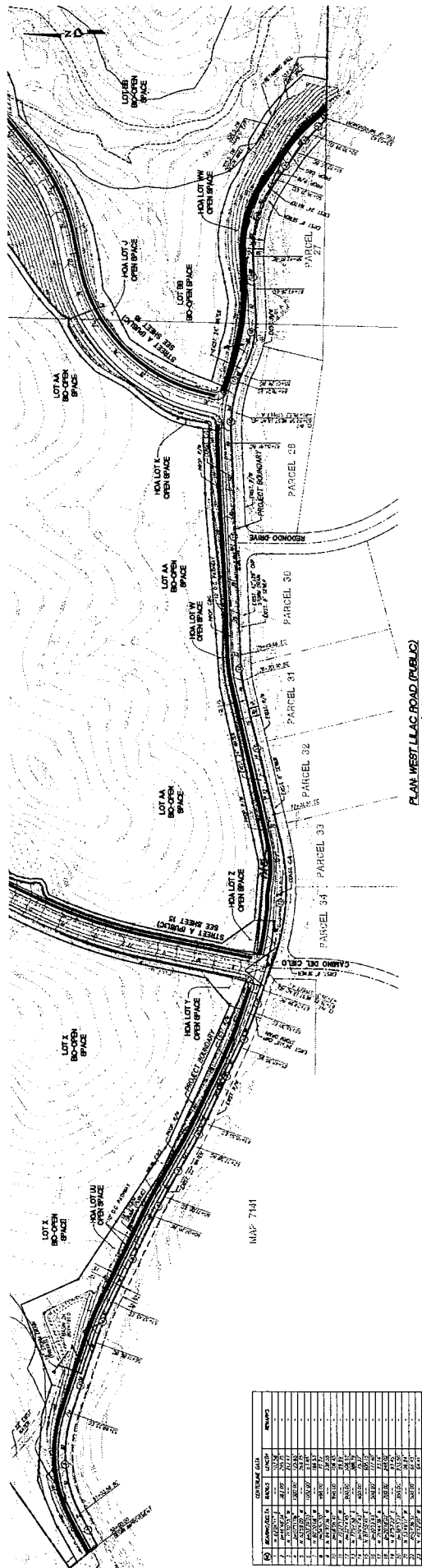
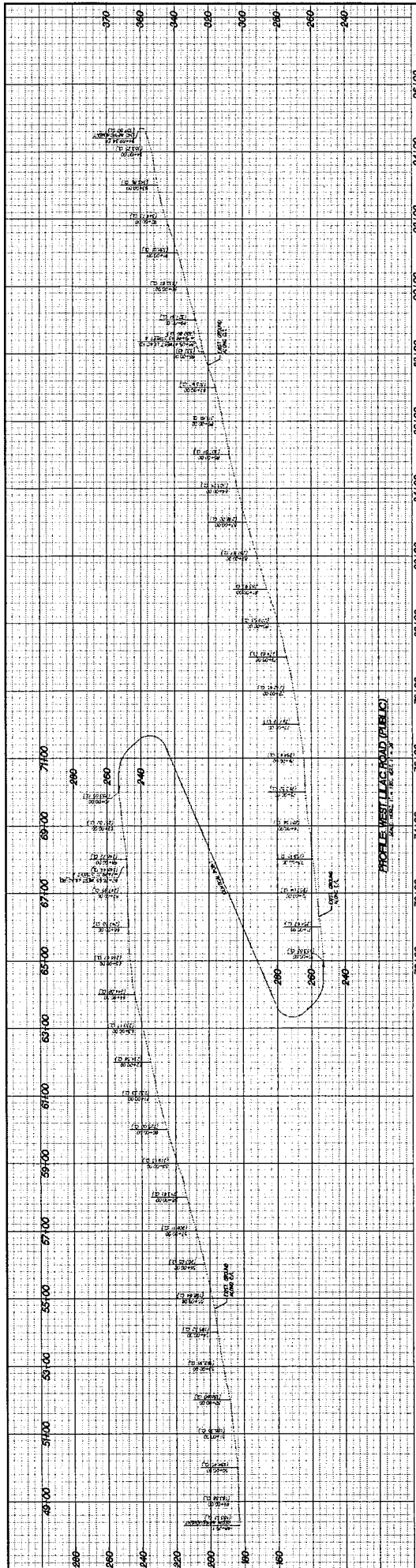
- WORK ITEMS**
- 1. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 2. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 3. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 4. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.
 - 5. ALL EXISTING ENCUMBRANCES SHALL BE SHOWN AND IDENTIFIED BY REFERENCE TO THE RECORD DRAWINGS AND RECORD PLANS.



SECTION EPHEMERAL DRAINAGE
 SECTION EPHEMERAL DRAINAGE

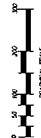
NOTE: SEE SHEET 13 FOR PLAN AND SECTION EPHEMERAL DRAINAGE.





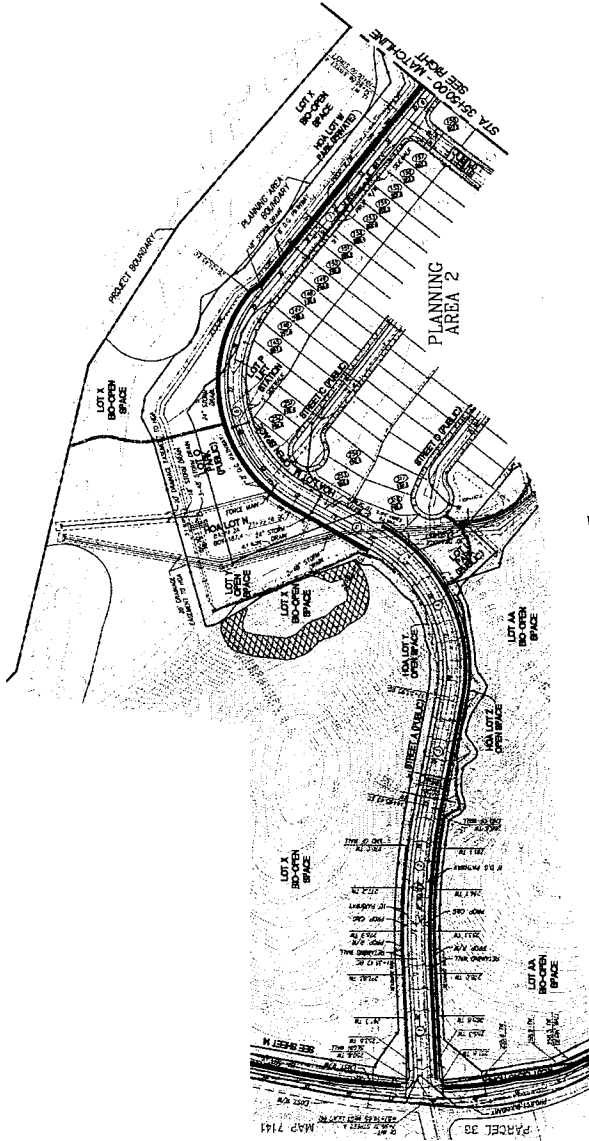
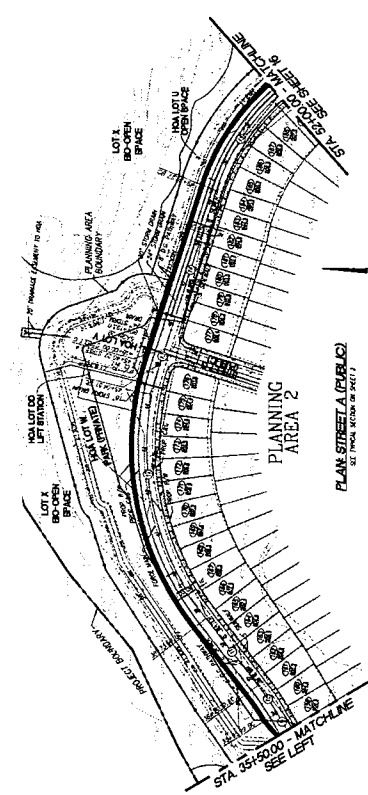
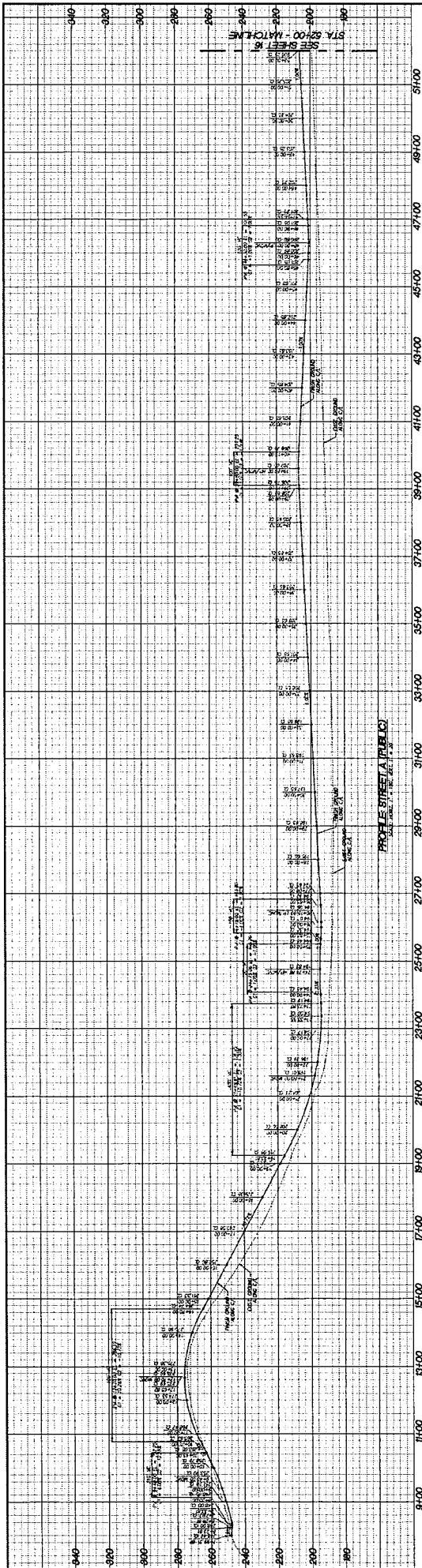
NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT
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2	LOT 1B BO-OPEN SPACE	10,000	10.00
3	LOT 1C BO-OPEN SPACE	10,000	10.00
4	LOT 1D BO-OPEN SPACE	10,000	10.00
5	LOT 1E BO-OPEN SPACE	10,000	10.00
6	LOT 1F BO-OPEN SPACE	10,000	10.00
7	LOT 1G BO-OPEN SPACE	10,000	10.00
8	LOT 1H BO-OPEN SPACE	10,000	10.00
9	LOT 1I BO-OPEN SPACE	10,000	10.00
10	LOT 1J BO-OPEN SPACE	10,000	10.00
11	LOT 1K BO-OPEN SPACE	10,000	10.00
12	LOT 1L BO-OPEN SPACE	10,000	10.00
13	LOT 1M BO-OPEN SPACE	10,000	10.00
14	LOT 1N BO-OPEN SPACE	10,000	10.00
15	LOT 1O BO-OPEN SPACE	10,000	10.00
16	LOT 1P BO-OPEN SPACE	10,000	10.00
17	LOT 1Q BO-OPEN SPACE	10,000	10.00
18	LOT 1R BO-OPEN SPACE	10,000	10.00
19	LOT 1S BO-OPEN SPACE	10,000	10.00
20	LOT 1T BO-OPEN SPACE	10,000	10.00
21	LOT 1U BO-OPEN SPACE	10,000	10.00
22	LOT 1V BO-OPEN SPACE	10,000	10.00
23	LOT 1W BO-OPEN SPACE	10,000	10.00
24	LOT 1X BO-OPEN SPACE	10,000	10.00
25	LOT 1Y BO-OPEN SPACE	10,000	10.00
26	LOT 1Z BO-OPEN SPACE	10,000	10.00
27	TOTAL	100,000	100.00

NOTE: SEE SHEET 14 OF 18 FOR THE PLAN VIEW OF THE ROAD AND THE ELEVATION OF THE ROAD.



COUNTY OF SAN DIEGO, CALIFORNIA
 PLANNED DEVELOPMENT MAP NO. 7481 (SEE PREVIOUS SHEETS)
 PRELIMINARY GRADING PLANS
 OPEN SPACE DESIGN PLANS
 WEST LLAG ROAD - LOT 1A THROUGH LOT 1Z

PROJECT DESIGN CONSULTANTS
 Planning & Engineering Consultants, Inc.

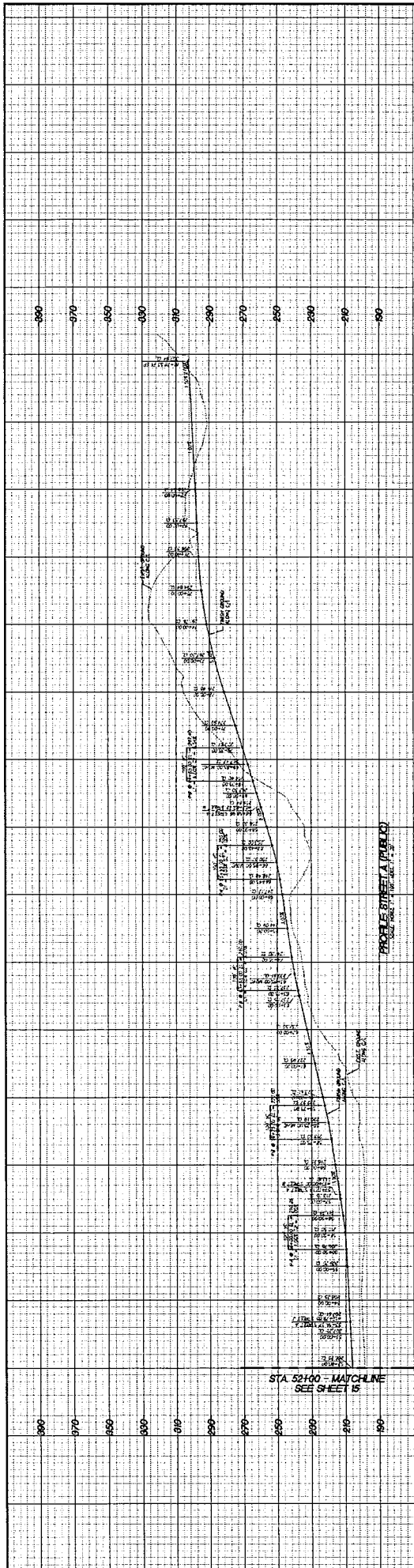


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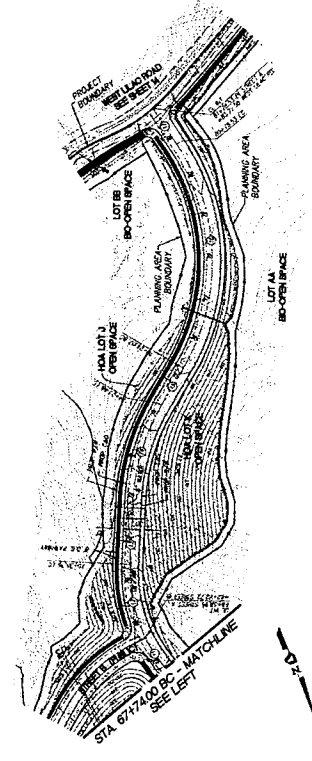
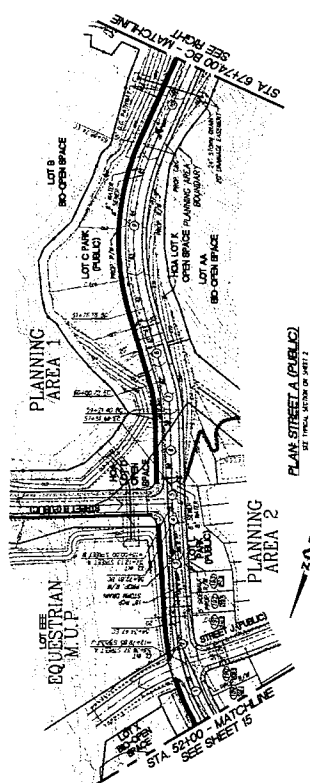
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT DEPARTMENT
 PRELIMINARY PLANS FOR PLAN STREET A (PUBLIC)
 STREET A - PLAN AND PROFILE
 PROJECT DESIGN CONSULTANTS
 PROJECT: [Redacted] (Project 1)
 SHEET 15 OF 18

NOTE: ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 SCALE: 1" = 40'

NO.	DESCRIPTION	AMOUNT	DATE	BY
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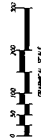


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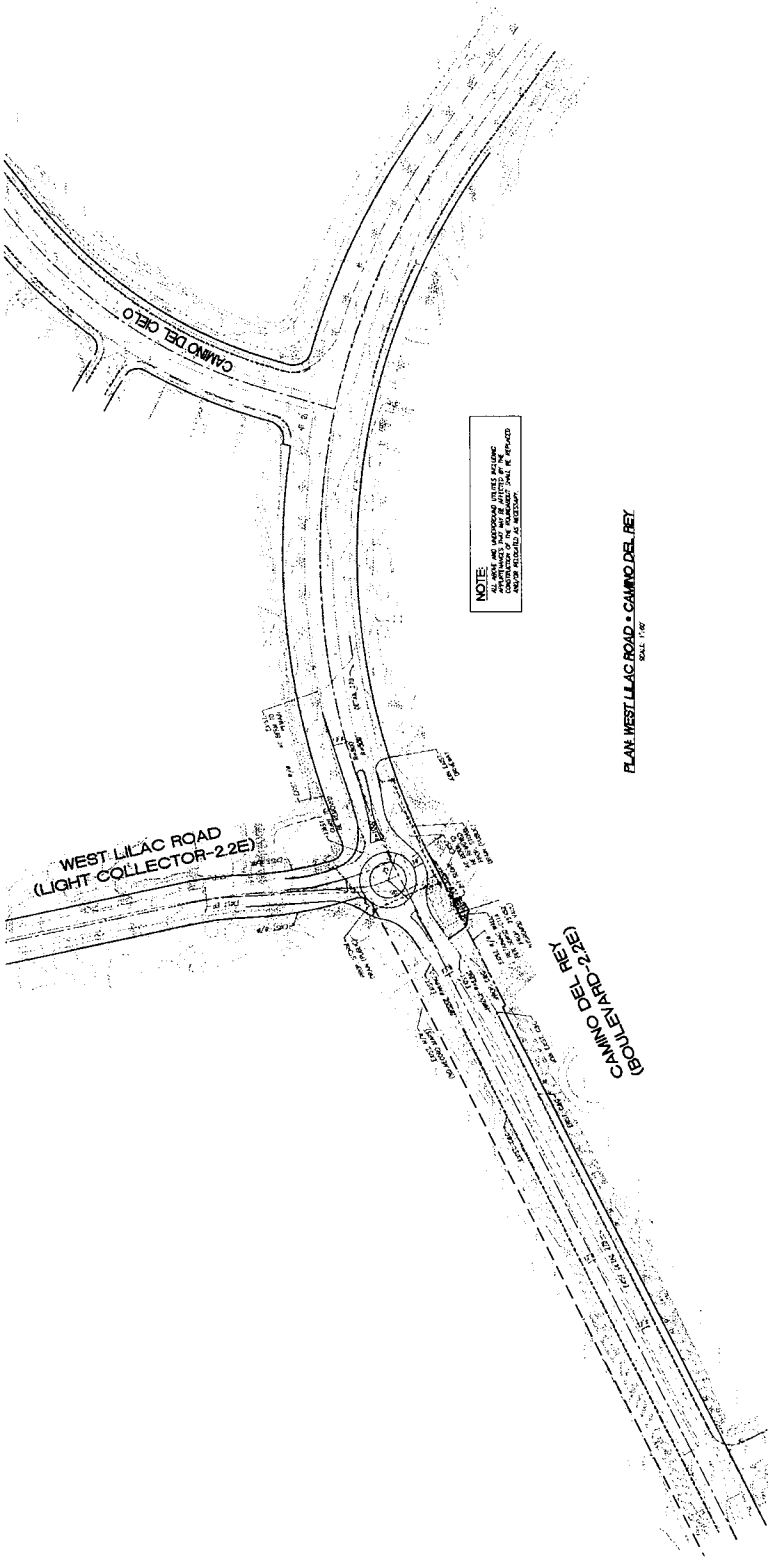
PLAN STREET A (PUBLIC)
SET FINAL SETBACK OF 34FT 7"

PLAN STREET A (PUBLIC)
SET FINAL SETBACK OF 34FT 7"



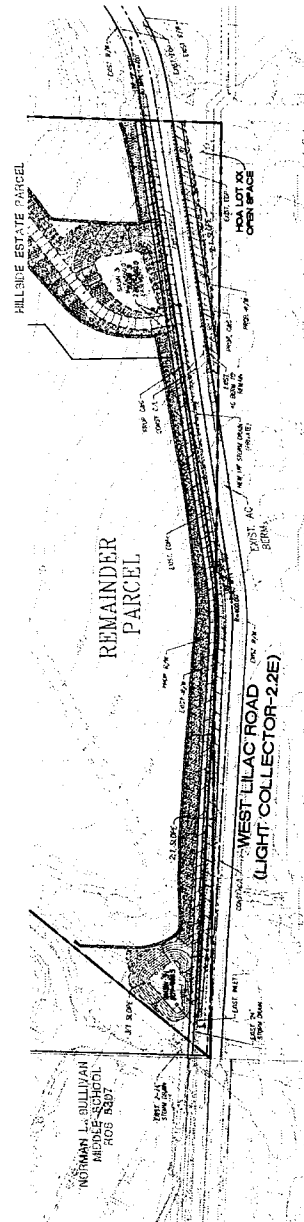
COUNTY OF SAN DIEGO TRUST USE
PLANNED DEVELOPMENT MAJOR USE PERMIT FD02006-MUP-16-02
PRELIMINARY GRADING PLAN
PLAN STREET A (PUBLIC)
SHEET A - PLAN AND PROFILE

PROJECT DESIGN CONSULTANTS
Randy J. Williams, Professional Engineer - Civil
Randy J. Williams & Associates, Inc.



NOTE:
ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF UTILITIES SHOWN ARE APPROXIMATE. THE LOCATION AND DEPTH OF UTILITIES SHOWN ARE APPROXIMATE. THE LOCATION AND DEPTH OF UTILITIES SHOWN ARE APPROXIMATE.

PLAN WEST LILAC ROAD & CAMINO DEL REY
SCALE 1"=40'

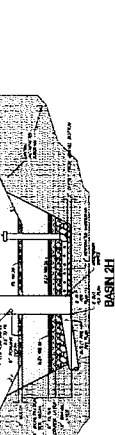
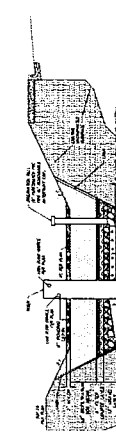
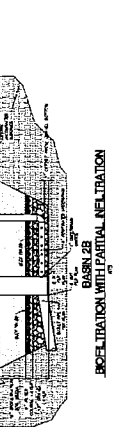
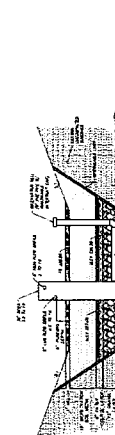
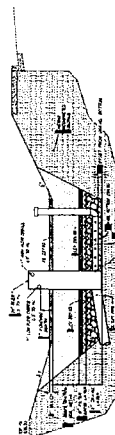
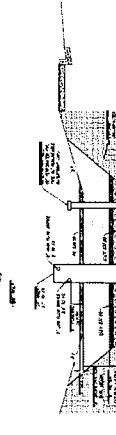
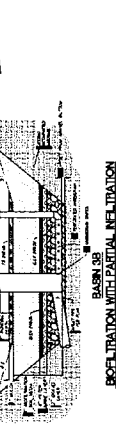
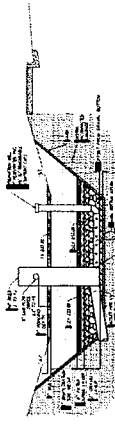
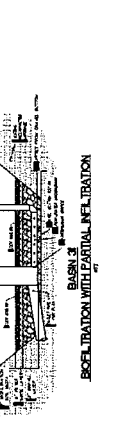
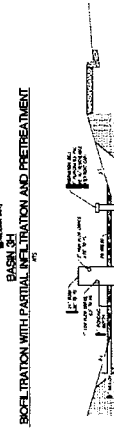
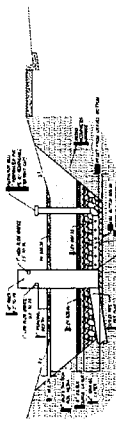
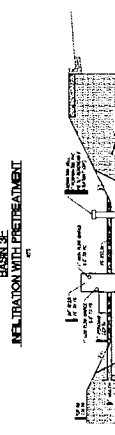
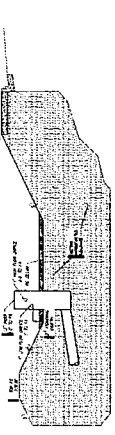
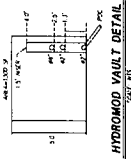


PLAN WEST LILAC ROAD & SCHOOL SITE
SCALE 1"=40'



COUNTY OF SAN DIEGO
PLANNED DEVELOPMENT DEPARTMENT
PLANNING DIVISION
CITY OF SAN DIEGO
CITY ENGINEER'S OFFICE
CITY ENGINEER
CITY ENGINEER'S OFFICE
CITY ENGINEER'S OFFICE

PROJECT DESIGN CONSULTANTS
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Attachment F
ENVIORNMENTAL DOCUMENTATION



County of San Diego

MARK WARDLAW
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
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KATHLEEN A. FLANNERY
ASSISTANT DIRECTOR

STATEMENT OF REASONS TO PERMIT THE PROPOSED USE AND ELIMINATE ACCESS TO MINERAL RESOURCES OF REGIONAL SIGNIFICANCE (MRZ-2)

Project Name: OCEAN BREEZE RANCH PARCEL MAP; PDS2016-TM-5615;
PDS2016-MUP-16-012; PDS2016-MUP-013; PDS2016-STP-16-
032, PDS2015-ER-15-08-001

Project Location: The property is located at 5820 West Lilac Road, Bonsall in the
Bonsall and Fallbrook Community Plan areas, within the
unincorporated San Diego County.

Date: December 13, 2019

Purpose of Notice

Section 2762(d) of the Public Resources Code requires the County of San Diego (County) as Lead Agency to prepare, in conjunction with the preparation of an Environmental Impact Report (EIR), and prior to approving a project, a statement specifying the County's reasons for permitting a proposed use in an area that contains mineral resource deposits of regional significance. The County is considering the approval of the proposed Ocean Breeze project, which would allow a planned community in a location that currently contains lands classified by the Mineral Resource Zone (MRZ) System. The County's statement is as follow.

Comments on the project related to mineral resource issues should be directed to Bronwyn Brown at Bronwyn.Brown@sdcounty.ca.gov or at the above address. The comment period begins on September 19, 2019 and ends at 4:30 pm on November 4, 2019

BACKGROUND INFORMATION

Mineral Resource Zone

As mandated by the Surface Mining and Reclamation Act of 1975 (SMARA), the California State Geologist classifies California mineral resources with the MRZ system. The four MRZ zones are defined as follows:

- MRZ-1 – Areas where adequate information indicates that no significant mineral deposits are present or likely to be present.
- MRZ-2 – Areas where adequate information indicates that significant mineral deposits are present or where it is judged that there is a high likelihood for their presence.
- MRZ-3 – Areas containing mineral deposits, the significance of which cannot be evaluated from available data. In contrast to MRZ-2 areas where it has been judged that there is a high likelihood of minable, marketable mineral deposits (notably Portland cement and asphaltic concrete aggregate), MRZ-3 areas are areas where the data is not sufficient to evaluate the significance of any potential aggregate deposit.
- MRZ-4 - Areas where available information is inadequate for assignment to any other MRZ zone.

These zones have been established based on the presence or absence of significant sand and gravel deposits and crushed rock source area, e.g., mineral products used in the production of cement. The classification system emphasizes Portland Cement Concrete (PCC) aggregate, which is subject to a series of specifications to ensure the manufacture of strong durable concrete.

General Plan Update Environmental Impact Report

The General Plan Update Environmental Impact Report (GPU EIR) concluded significant and unavoidable impacts to mineral resources. The Project would result in significant impacts to mineral resources. As there are no feasible mitigation measures, the Project's impacts to mineral resources would be significant and unavoidable. Since the GPU EIR concluded significant and unavoidable impacts to mineral resources, the Project would not result in an impact which was not adequately evaluated by the GPU EIR.

Project Description

The Ocean Breeze Ranch consists of two distinct parts: A residential development project containing 396 single family detached lots, roads, parks and landscaping and an equestrian facility primarily consisting of previously constructed buildings and facilities, and several future proposed additional structures. The project site is approximately 1,402 acres and is located off West Lilac Road, west of Interstate 15 and

south of SR 76. The project includes preservation of 954.25 acres as biological open space.

Potentially available mineral resources on MRZ-2 lands within the Project Site:

According to the *Mineral Resources Investigation Ocean Breeze Ranch (2019)* dated March 12, 2019 completed by GeoSoils, Inc. for the County of San Diego, the amount of onsite land of MRZ-2 quality within the Ocean Breeze Ranch project site is estimated at 251.09 acres.

Potential project impacts on the MRZ-2 Area (Project Site and Adjacent Lands):

The area proposed to be included in the development footprint would preclude future access to the underlying minerals. Thus, the project would effectively eliminate access for mineral extraction (on- and off-site) to approximately 398.54 acres of significant mineral resources (MRZ-2). This includes MRZ-2 quality material located on adjacent land within a 1,300-foot buffer of the residences proposed by the project. This buffer would be utilized to achieve adequate separation of the proposed residences from the noise and dust of a hypothetical mining operation on the adjacent lands. The 398.54 acres equates to an estimated 13,373,940 tons of MRZ-2 mineral resources with an estimated value of \$187,235,155.00 (2018 dollars).

REASONS WHY COUNTY MAY PERMIT THE LOSS OF POTENTIAL MINERAL RESOURCES, BY IMPLEMENTATION OF THE PROPOSED PROJECT

The County of San Diego has the following reasons why it may permit the loss of potential mineral resources at the Ocean Breeze project site:

Biological Open Space

A substantial portion of the property, comprising 832.7 acres or 59.4% of the site, will be preserved in as open space for the protection of biological and natural resources. An open space easement will protect these lands in perpetuity and will restrict future uses in order to preserve their biological value. The site has been identified by the County, California Department of Fish and Wildlife and the US Fish and Wildlife Service as part of an important biological core area as discussed in the Biological Resources Report dated 08/17/19 and prepared by HELIX Environmental. This core area is under consideration for preservation in a proposed North County Multiple Species Conservation Plan. The function of the property as a biological core resource area cannot be duplicated or moved to another location. Mineral extraction would not be compatible with the protection of biological resources.

Other Open Space

The proposed project would preserve 15.7 acres for private and public parkland and recreational opportunities.

County-wide Use of Crushed Stone as an alternative to Alluvial Sand and Gravel

Map Sheet 52 Aggregate Sustainability in California provided by the California Geological Survey and updated in 2012 specifically states “Although more care is required in pouring and placing a wet mix containing crushed stone, PCC made with this aggregate is as satisfactory as that made with alluvial sand and gravel of comparable rock quality. Owing to environmental concerns and regulatory constraints in many areas of the state, it is likely that extraction of sand and gravel resources from instream and floodplain areas will become less common in the future. If this trend continues, crushed stone may become increasingly important to the California market.” The *County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements Mineral Resources state*, “Within the County, crushed rock is the primary source of locally mined PCC aggregate.” These guidelines additionally state, “Within the unincorporated portion of the County, potential deposits for crushed rock are extensive (hundreds of square miles).... PCC made with crushed rock aggregate can generally be satisfactory and can supplement the local supply of alluvial sand and gravel.”

Crushed stone is already the predominate supply of aggregate in San Diego County, where there are extensive potential recoverable deposits. These deposits are currently utilized and can be utilized in the future to supply not only the unincorporated portion of San Diego County that the County has land use jurisdiction over, but can also be utilized by all of the incorporated communities that may not have alluvial or crushed stone deposits, or may be unwilling to permit the extraction of their deposits.

County of San Diego General Plan Housing Element

Although several Conservation and Open Space Policies have been referenced in this statement, the County must also consider its commitment to the General Plan Housing Element. As stated in the Policy Framework “the County is allocated a share of the region’s housing needs that is equivalent to 22,412 units. The County must, through appropriate zoning and development standards, accommodate these units through a variety of housing types and various income groups.” Just as the County is expected to consider the importance of the MRZ-2 minerals to their market region as a whole and not just on the unincorporated portion of San Diego County, the County must consider its commitment to providing its regional fair share of housing opportunities for all San Diego County residents, and not just those that currently live in the unincorporated portions of San Diego County that the County has land use jurisdiction over. The Ocean Breeze project would provide 396 residential units which would help the County achieve its share of the region’s housing needs.

Road Improvements

The proposed project would contribute several million dollars toward public road improvements. Improvements will include a roundabout at Camino del Rey and West Lilac intersection; a signalization at West Lilac and Old Highway 395 and an all-way stop control at Lilac Road and Old Castle Road. The project will also be required to make contributions to Caltrans SR-76 for corridor improvements as well as Transportation Impacts Fees (TIF) associated with county facilities.

Employment

The proposed project would provide interim employment opportunities during construction and permanent employment opportunities to support the commercial component of the project.

Fire Safety

The proposed project would improve fire safety on the subject property and in surrounding areas. Two Fire Protection Plans, one for the Planned Residential Development and one for the equestrian facility have been prepared by Firewise 2000, Inc. for the proposed project. The fire protection plans have considered the property location, topography, geology, combustible vegetation (fuel types), climatic conditions and fire history as part of the assessment. In addition, the plan addresses water supply, access, structural ignitability and ignition resistive building features, fire protection systems and equipment, impacts to existing emergency services, defensible space, and vegetation management. Based on the above factors and analysis, the plans identify areas for hazardous fuel reduction treatments and recommends, the types and methods of such treatment, as well as measures that the property owners would take to reduce the probability of ignition of structures throughout the development.

**REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH
ORDINANCES/POLICIES**

**FOR PURPOSES OF CONSIDERATION OF
OCEAN BREEZE RANCH, PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-
MUP-013, PDS2016-STP-16-032, PDS2016-ER-16-02-006, PDSXXXX-HLP-XXX**

December 13, 2019

I. HABITAT LOSS PERMIT ORDINANCE – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES NO NOT APPLICABLE/EXEMPT

Discussion:

The project site is located outside of the Multiple Species Conservation Program (MSCP) boundaries and contains habitat subject to the Habitat Loss Permit Ordinance. The project complies with the Habitat Loss Permit Ordinance as demonstrated in the Draft Habitat Loss Permit (PDSXXXX-HLP-XX-XXX, dated September 19, 2019)

II. MSCP/BMO - Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance

YES NO NOT APPLICABLE/EXEMPT

Discussion:

The proposed project and any off-site improvements related to the proposed project are located outside of the boundaries of the Multiple Species Conservation Program. Therefore, conformance with the Multiple Species Conservation Program and the Biological Mitigation Ordinance is not required.

III. GROUNDWATER ORDINANCE - Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES NO NOT APPLICABLE/EXEMPT

The project will obtain potable water from the Rainbow Municipal Water District that obtains water from surface reservoirs or other imported sources. Existing groundwater wells for the existing Equestrian Facility will continued to be used existing outdoor irrigation and facility uses. Pursuant to Section 67.750(b) the project is exempt from the

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 ER-15-08-001; HLP-XXX

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Groundwater Ordinance because the project is proposing a Major Use Permit for an existing equestrian facility that provides ranch support structures, barns and sheds.

IV. RESOURCE PROTECTION ORDINANCE - Does the project comply with:

The wetland and wetland buffer regulations (Sections 86.604(a) and (b)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Floodways and Floodplain Fringe section (Sections 86.604(c) and (d)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The <u>Steep Slope</u> section (Section 86.604(e))?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Sensitive Habitat Lands section (Section 86.604(f)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Significant Prehistoric and Historic Sites section (Section 86.604(g)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>

Discussion:

Wetland and Wetland Buffers:

Even though wetlands and/or wetland buffer areas have been identified on the subject property, the project has been found to be consistent with Article IV of the Resource Protection Ordinance (RPO), due to the following reasons: a) the project would not result in the placement of any non-permitted uses within wetlands; b) the project would not result in grading, filling, construction, or placement of structures within identified wetlands; and c) the project would not result in any non-permitted uses within wetland buffer areas. Therefore, it has been found that the proposed project complies with Sections 86.604(a) and (b) of the RPO.

Floodways and Floodplain Fringe:

Federal Emergency Management Agency (FEMA) and County mapped floodplains are identified on the project site. The proposed development encroaches within the existing FEMA and County mapped floodplain. The Hydraulic Analysis prepared by Chang Consultants, certifies that the project can reduce the existing floodplain area through the Conditional Letter of Map Revision (CLOMR) and Letter of Map Revision (LOMR) process. According to the Hydraulic Analysis prepared by Chang Consultants and dated May 22, 2019, two portions of the proposed Project would encroach into the San Luis Rey floodplain. However, the analysis concluded that no grading would encroach within the revised floodway and the proposed residential pads have been designed to be several feet higher than the adjacent 100-year water surface elevations. The Project's grading

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would meet the County and FEMA hydraulic regulations. In addition, a Conditional Letter of Map Revision (CLOMR) and a Letter of Map Revision (LOMR) pursuant to the Federal Emergency Management Agency (FEMA) would be required for the Project.

Steep Slopes:

Slopes with a gradient of 25 percent or greater and 50 feet or higher in vertical height are required to be placed in open space easements by the San Diego County Resource Protection Ordinance (RPO). There are steep slopes on the property however, an open space easement is proposed over the entire steep slope lands. Therefore, it has been found that the proposed project complies with Sections 86.604(e) of the RPO.

Areas for which the Project does not strictly conform to avoidance requirements total 16.76 acres. This represents 4.2 percent of the on-site RPO steep slopes, and includes areas associated with road/utility placement and residential lots. Together, these areas represent approximately 1.2 percent of the site overall. Pursuant to RPO Section 86.604(e)(2)(aa) any lots containing less than 75 percent of the lot area in steep slopes may encroach a maximum of 10 percent into those steep slopes. For each of these lots, there would be less than 10 percent encroachment into steep slopes as a result of Project design. Consistent with Section 86.604(e)(2), conservation easements would be placed over all steep slope areas on these lots, highlighting the area into which grading would be restricted. As a Project Condition, pad placement would receive review and approval, resulting in protection of a minimum of 90 percent of the steep slopes on those lots. Those lots would therefore strictly comply with the RPO.

Sensitive Habitats:

The project site contains sensitive habitat lands as defined by the Resource Protection Ordinance in the western portion of the site which supports occupied coastal California gnatcatcher habitat, as well as in the eastern hills, where one pair of gnatcatchers was observed and which have high potential to support breeding gnatcatcher as the habitat recovers from 2014 and 2017 fires. The project would impact sensitive habitat lands consisting of 32.5 acres of occupied gnatcatcher habitat in the western portion of the site. All feasible measures necessary to protect and preserve the sensitive habitat lands, including preservation of onsite habitat within a biological open space easement with ongoing management, and breeding season avoidance, have been made conditions of approval of project and it has been determined that the mitigation provides an equal or greater benefit to the affected species.

Significant Prehistoric and Historic Sites:

The property has been surveyed by a County of San Diego approved archaeologist/historian (Brian F. Smith) and it has been determined there is one (or more) archaeological/historical site(s) present. Testing and other investigation determined that the archaeological/historical sites CA-SDI-776 Locus A, CA-SDI-776 Locus B, and CA-SDI-8237 meets the definition of a significant site set forth in the Resource Protection Ordinance. Sites CA-SDI-21874 and P-37-031762 are assumed RPO significant in the absence of testing. The project complies with the Resource Protection Ordinance because the site(s) will be preserved in place.

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 MUP-16-013; STP-16-032;
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V. STORMWATER ORDINANCE (WPO) - Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES NO NOT APPLICABLE

Discussion:

The project Storm Water Quality Management Plan and Hydromodification Management Study has/have been reviewed and is/are found to be complete and in compliance with the WPO.

VI. NOISE ORDINANCE – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES NO NOT APPLICABLE

Discussion:

Staff has reviewed the Acoustical Analysis prepared by Lnd Consulting Inc. dated June 23, 2019 for Ocean Breeze project, TM-5615 MUP-16-012 & MUP-16-013. Documentation is considered acceptable and staff has final recommendations to ensure conformance to the County Noise standards. The project consists of proposed 381 single-family detached production lots, 15 estate sized 5-acre lots, local parks, biological preservation, right-of-way dedication, 30 acre vacant remainder lot, and a privately-owned equestrian facility. The equestrian facility would encompass the existing equestrian operations. The project site is subject to the County Noise Ordinance, which regulates the operational and temporary construction noise associated with the project. It is also subject to the Noise Elements of the County General Plan, which doesn't allow the exterior noise exposure level to exceed 60 dB CNEL and 45 dB (CNEL) for the interior noise at any proposed noise sensitive residential lots.

The primary noise source to impact the site is from the vehicular traffic along SR-76 to the north and West Lilac Road. The report analyzed the worst-case scenario and have demonstrated that the cumulative exterior noise level from these roadways to the site is 54.1 dBA CNEL, which is in conformance with the Noise Elements. Therefore, mitigation measures are not required, as there are no noise impacts. In addition, traffic generated by this project to the existing roadways will not result in a direct noise impact. Based on the report, noise created by this project will not result in any roadways to increase more than 3 dBA CNEL. The project will also not produce a significant impact to the cumulative noise levels; the increases in noise levels will be incremental and not instantaneously perceivable and would be consistent with the General Plan. Based on this information, the project will not result in the exposure of any on- or off-site, existing, or foreseeable

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future NSLU to noise levels that exceed the noise standards, therefore, complies with the General Plan.

Pursuant to the Noise Ordinance, the site as well as surrounding parcels are subject to the Noise level limit of 50 dBA daytime and 45 dBA nighttime. The onsite operational noise consists of mechanical equipment, the normal residential activities, and continued use of the equestrian facility operations. Due to the distances of the nearest noise sensitive property line of 1,200 feet, the noise from the HVAC, residential activities, and existing equestrian operation is anticipated to comply with the Noise Ordinance, Section 36.404.

Section 36.409 of the County Noise Ordinance states that construction noise shall not exceed 75 dBA at the property line during an eight-hour period between 7 a.m. to 7 p.m. No work will be conducted on Sundays and Holidays, per Section 36.408. The main noise would be produced by the construction activity from grading. Grading activities are expected to last 10 months and an additional 9 months for the underground trenching. Construction equipment include Loader, Excavator, and a Dozer. Based on the report, the noise level generated by the construction activities resulted in an eight-hour average noise level of 74.9 dBA for the worse-case scenario at the property line. Therefore, would comply with the noise level limit of 75 dBA as specify in the Noise Ordinance, Section 36.409.

Rock drills will be located at a minimum of 200 feet from the nearest occupied residential property line would comply with the Noise Ordinance noise limit of 82 dBA, Section 36.410 (a). However, to be in compliance with the 75 dBA noise limit pursuant to Section 36.409, the rock drill must be at least 225 feet from any occupied NSLU. If blasting or rock drilling occurs within 225 feet from NSLU, then monitoring and/or mitigation may be required as conditioned for the Planned Development and Equestrian MUP. There will be three separate blasting events. Blasting operation will comply with the County's Consolidated Fire Code. If clearing, grubbing, and grading activities occur during the nesting/breeding season and sensitive species within the 60 dBA contour, further noise analysis, monitoring, and or mitigation shall be required. Lastly, the vibration noise would not be a significant impact because there are no existing or proposed frequent activities on or near the proposed project site that would cause any significant vibration levels to exceed buildings near the project site. Based on this information, the construction noise will comply with the Noise Ordinance, Section 36.408 through 410.



County of San Diego

MARK WARDLAW
DIRECTOR

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KATHLEEN A. FLANNERY
ASSISTANT DIRECTOR

PLEASE NOTE THAT A FORMAL APPLICATION FOR A HABITAT LOSS PERMIT HAS NOT BEEN FILED AT THIS TIME. THE FOLLOWING IS A DRAFT FORM OF DECISION FOR A HABITAT LOSS PERMIT SHOWING THE FORMAT AND POSSIBLE CONDITIONS FOR A FUTURE HABITAT LOSS PERMIT. BECAUSE A FORMAL APPLICATION HAS NOT BEEN FILED, CERTAIN DATES, FINDINGS AND OTHER INFORMATION IS ABSENT FROM THE DRAFT FORM OF DECISION, THIS INFORMATION WILL BE INCLUDED IN THE FINAL FORM OF DECISION.

DATE (To Be Determined)

Ocean Breeze Ranch LLC
1550 South Coast Highway, Ste. 201
Laguna Beach, CA 92651

DRAFT
Habitat Loss Permit

APPLICATION NUMBER: HLP XX-XXX

ASSOCIATED PERMIT(S): Ocean Breeze Ranch; PDS2016-TM-5615; PDS2016-MUP-16-012; PDS2016-MUP-013; PDS2016-STP-16-032; PDS2016-ER-16-02-006)

NAME OF APPLICANT: Ocean Breeze Ranch LLC

DESCRIPTION/LOCATION OF LOSS:

The Project site consists of 1,402.52 acres located at 5820 West Lilac Road, within the Bonsall and Fallbrook Community Plan areas, within unincorporated San Diego County (APNs 124-150-28, 124-150-34, 124-150-35, 125-080-21, 125-131-48, 125-131-49, 125-131-54, 126-060-78, 127-191-20, 127-230-59, 127-271-01, and 127-271-02). The proposed Ocean Breeze Ranch (Project) includes two components, a planned residential development (PRD) and a private equestrian facility. The residential development would include 396 residential lots divided into three planning areas (PA1, PA2, and PA3). The PRD would also include parks, roads and landscaped areas. The equestrian facility consists primarily of previously constructed buildings and structures; additional

improvements are also proposed. The project would also preserve 833.85 acres of the Project site as biological open space.

The proposed Project is for a Habitat Loss Permit and will impact 32.5 acres of Diegan coastal sage scrub (CSS) as shown on the attached Habitat Loss Exhibit (Figure 1). The Project would impact one location where breeding gnatcatchers were detected, in the southwestern portion of the site.

DECISION:

The Director of Planning & Development Services has approved your application for a HABITAT LOSS PERMIT. This Habitat Loss Permit approval does not become final until both the United States Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) concur with the Director's approval, by either of the following:

1. Concurrence implied by allowing a 30-day period, initiated by their receipt of this decision, to lapse without presenting written notification to the County that the decision is inconsistent with the Southern California Coastal Sage Scrub (CSS) Natural Community Conservation Planning (NCCP) Process Guidelines (CDFW, November 1993) or any approved subregional mitigation guidelines; or
2. Granting concurrence through written notification to the County prior to the conclusion of the 30-day period, initiated by their receipt of this decision, that the project is consistent with the Southern California CSS NCCP Process Guidelines or any approved subregional mitigation guidelines.

Pending the issuance of an associated Grading Permit, Clearing Permit or Improvement Plan from the County of San Diego, this Habitat Loss Permit allows for the loss of the above-described coastal sage scrub habitat (see attached Habitat Loss Exhibit) and incidental take of the California gnatcatcher for a period of one calendar year commencing the day concurrence is given by both the USFWS and CDFW. If the loss of habitat, as authorized by this Habitat Loss Permit, has not occurred within this one-year period, this Habitat Loss Permit and the authorization for the loss of coastal sage scrub habitat expires.

This Habitat Loss Permit cannot be relied upon for the clearing, grading or removal of any vegetation until a valid Grading Permit, Clearing Permit or Improvement Plan has been issued from the County of San Diego authorizing such vegetation removal. Furthermore, use and reliance upon this Habitat Loss Permit cannot occur until all of the requirements as specified within the "Conditions of Approval" section of this permit have been satisfied.

CONDITIONS OF APPROVAL:

The following conditions are being placed on the Tentative Map (PDS2016-TM-5615). For the final Habitat Loss Permit, the list of conditions will be modified to require satisfaction of all conditions prior to use and reliance on the HLP.

BIO-1a Mitigation for impacts to coastal California gnatcatcher habitat (32.5 acres of Diegan coastal sage scrub and 1.4 acres of flat-topped buckwheat scrub) shall occur at a 3:1 ratio through the on-site preservation of 101.7 acres of Diegan coastal sage scrub within a biological open space easement.

The preferred approach to site development would be for no grubbing or clearing of vegetation to occur within 500 feet of occupied Diegan coastal sage scrub or flat-topped buckwheat scrub during the breeding season of the coastal California gnatcatcher (February 15 – August 31). All grading permits, improvement plans, and the final map shall state the same. If clearing or grubbing must occur during the gnatcatcher breeding season within 500 feet of suitable coastal California gnatcatcher breeding habitat, a pre-construction survey shall be conducted to determine whether gnatcatchers occur within the impact area(s). The pre-construction survey shall consist of three site visits with each site visit occurring at least seven days apart, and the third visit occurring no more than three days prior to the start of construction. To avoid take under the federal ESA, impacts to occupied habitat shall be avoided. If there are no gnatcatchers nesting (includes nest building or other breeding/nesting behavior) within that area, grading and clearing shall be allowed to proceed upon receipt of concurrence from County and the Wildlife Agencies. If, however, any gnatcatchers are observed, but no nesting or breeding behaviors are noted, two additional surveys for breeding/nesting behaviors shall be conducted a minimum of three days apart. If any gnatcatchers are observed nesting or displaying breeding/nesting behavior during the pre-construction survey or additional surveys within the area, construction shall be postponed within 300 ft of any location at which gnatcatchers have been observed until all nesting (or breeding/nesting behavior) has ceased or until after August 31. (See BIO-5 for mitigation for indirect noise effects.)

Impacts to gnatcatcher would require take authorization either through either through a Section 7 consultation with the USFWS and/or an HLP from the County. A Section 7 consultation is anticipated given the federal nexus between impacts to waters of the U.S. and impacts to gnatcatcher-occupied habitat and USFWS critical habitat for this species. However, if the action area for the USACE does not include all impacts to gnatcatcher habitat, an HLP also may be required.

BIO-1b: Mitigation for impacts to 0.19 acre of potential foraging habitat for least Bell's vireo (southern willow scrub, mule fat scrub, and tamarisk scrub) shall occur at a 3:1 ratio through one or a combination of the following: on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of 0.57 acre of riparian habitat; and/or off-site purchase of riparian habitat mitigation credits at an approved mitigation bank, such as the San Luis Rey Mitigation Bank, or other location deemed acceptable by the County and Regulatory Agencies. The establishment/creation component must be at least 1:1 while the remaining 2:1 can be restoration and enhancement.

The preferred approach to site development would be for no grubbing or clearing of vegetation to occur within riparian habitat during the breeding season of the least Bell's vireo (March 15 through September 15). All grading permits, improvement plans, and the final map shall state the same. If clearing or grubbing must occur during the least Bell's vireo breeding season, a pre-construction survey shall be conducted to determine whether vireos occur within the impact area(s). The pre-construction survey shall consist of three site visits (at least three days apart) with the final site visit occurring the day prior to the start of construction. To avoid take under the federal and California ESAs, impacts to occupied habitat shall be avoided. If there are no vireos nesting (includes nest building or other breeding/nesting behavior) within that area, grading and clearing shall be allowed to proceed upon receipt of concurrence from County and the Wildlife Agencies. If, however, any vireos are observed, but no nesting or breeding behaviors are noted, two additional surveys for breeding/nesting behaviors shall be conducted a minimum of three days apart. If any vireos are observed nesting or displaying breeding/nesting behavior during the pre-construction survey or additional surveys within that area, construction shall be postponed within 300 ft of any location at which vireos have been observed until all nesting (or breeding/nesting behavior) has ceased or until after September 15. (See BIO-5 for mitigation for indirect noise effects.)

Impacts to least Bell's vireo would require take authorization either through a Section 7 consultation or a Section 10(a) HCP from the USFWS. A Section 7 consultation is anticipated given the federal nexus between impacts to waters of the U.S. and impacts to potential vireo habitat.

BIO-1c: Pre-construction surveys for Stephens' kangaroo rat will be conducted in suitable habitat within the project impact area by a qualified biologist. Surveyors would search for signs of kangaroo rat presence, and if observed, a trapping survey would be conducted to capture individuals and identify them to species. Results of the surveys will be submitted to the Wildlife Agencies and County PDS. In the event of a positive survey, the project proponent will coordinate with the Wildlife Agencies and County PDS to determine next steps.

BIO-2: The preferred approach to site development would be for no grubbing or clearing of vegetation to occur during the general avian breeding season (January 15 to July 15 for raptors and February 15 to August 31 for general nesting birds). All grading permits, improvement plans, and the final map shall state the same. If grubbing or clearing must occur during the general avian breeding season within 300 feet of general nesting habitat or 500 feet of nesting raptor habitat, a pre-construction survey shall be conducted by a qualified biologist no more than three days prior to the commencement of the activities to determine if active bird nests are present in the affected areas, with results submitted to the County and Wildlife Agencies. If there are no nesting birds (includes nest building or other breeding/ nesting behavior) within this area, clearing and grubbing shall be allowed to proceed. Furthermore, if construction activities are to resume in an area where they have not occurred for a period of seven or more days during the breeding season, an updated survey for avian nesting will be conducted, with results submitted to the County and Wildlife Agencies. If active nests or nesting birds are observed within the area, the biologist shall submit the nesting bird survey results and proposed nest buffers to the County and Wildlife agencies. The biologist shall then flag buffers around the active nests and construction activities shall avoid active nest buffers until nesting behavior has ceased, nests have failed, or young have fledged, with results sent to the County and Wildlife Agencies.

BIO-3a: Temporary toad exclusionary fencing (silt fencing) will be installed along the northern limits of Planning Area 2 and Planning Area 3 (or as determined by the USFWS during Section 7 consultation for CWA Section 404 permitting) prior to initiation of clearing or grading activities in these areas. Translocation surveys would be conducted by a qualified biologist to relocate arroyo toad (if present) with approval from USFWS and western spadefoot individuals from within the impact area to suitable areas of biological open space on the project site or north of the project site along the San Luis Rey River.

If arroyo toad is found on site, impacts to this species would require take authorization either through a Section 7 consultation or a Section 10(a) HCP from the USFWS. A Section 7 consultation is anticipated given the federal nexus between impacts to waters of the U.S. and impacts to critical habitat for this species.

BIO-3b: Following completion of construction activities within Planning Area 2 and Planning Area 3, and concurrent with the removal of temporary fencing associated with each of these planning areas, permanent toad exclusionary fencing will be installed along the northern limits of Planning Area 2 and portions of Planning Area 3, or as determined by the USFWS during Section 7 consultation for CWA Section 404 permitting.

If arroyo toad is found on site, impacts to this species would require take authorization either through a Section 7 consultation or a Section 10(a) HCP from the USFWS. A Section 7 consultation is anticipated given the federal nexus between impacts to waters of the U.S. and impacts to critical habitat for this species.

- BIO-3c:** The project will conserve suitable foraging and aestivation habitat for arroyo toad and western spadefoot along the northern project boundary and along the eastern riparian corridor within biological open space, with direct connections to offsite habitat along the San Luis Rey River. In addition, a limited use easement will be placed over pastures in the equestrian facility, such that these areas would remain undeveloped and could be used by foraging and aestivating toads, although this habitat is not expected to be frequently utilized by these species.
- BIO-3d:** The project shall not impede flows from the eastern riparian corridor leading offsite to the Caltrans mitigation parcel. In conjunction with the improvements to Dulin Road, hydrologic connectivity under the road at the eastern riparian corridor shall be maintained by construction of box culverts sized to adequately convey flow volumes, as determined through civil engineering design.
- BIO-3e:** Concurrent with or prior to the initiation of project construction, areas adjacent to the eastern riparian corridor that are currently in row crops will be planted/seeded with coastal sage scrub species, with the goal of improving the habitat quality of the wetland buffer, reducing the potential for sedimentation in the creek, and providing higher quality upland foraging habitat for toads. The acreage, configuration, and implementation methodology is described in the Conceptual Upland Restoration Plan (HELIX 2019). This proposed habitat enhancement is not required as habitat mitigation and does not require posting of a bond, however, monitoring and maintenance will be incorporated into the restoration effort.
- BIO-4a:** Mitigation for impacts to 37.6 acres of non-native grassland shall occur at a 0.5:1 ratio through the on-site preservation of 18.8 acres of non-native grassland within a biological open space easement. The mitigation shall be provided prior to the issuance of a grading permit.
- BIO-4b:** Mitigation for impacts to 58.5 acres of pasture shall occur at a 0.5:1 ratio through the on-site preservation of 29.3 acres of grassland habitat and/or other like-functioning habitat (e.g., fallow orchard) within a biological open space easement. The mitigation shall be provided prior to the issuance of a grading permit.

- BIO-5:** If operation of construction equipment occurs within 500 feet of suitable habitat during the breeding seasons for the coastal California gnatcatcher (February 15 to August 31), nesting raptors (January 15 to July 15), or least Bell's vireo (March 15 to September 15), pre-construction survey(s) shall be conducted by a qualified biologist, as applicable, to determine whether these species occur within the areas potentially impacted by noise, with the final survey occurring within 3 days of the proposed start of construction and results submitted to the County and Wildlife Agencies. If it is determined at the completion of pre-construction surveys that active nests belonging to these sensitive species are absent from the potential impact area, construction shall be allowed to proceed. If pre-construction surveys determine the presence of active nests belonging to these sensitive species, then construction shall: (1) be postponed until a qualified biologist determines the nest(s) is no longer active or until after the respective breeding season; or (2) not occur until a temporary noise barrier or berm is constructed at the edge of the development footprint and/or around the piece of equipment to ensure that noise levels are reduced to below 60 dBA or ambient, whichever is greater, and the type(s) and location(s) of noise barrier(s) will be provided to the County and Wildlife Agencies along with noise measurements demonstrating compliance with required noise level reductions. Decibel output will be confirmed by a County-approved noise specialist and intermittent monitoring by a qualified biologist to ensure that conditions have not changed will be required. If pre-construction surveys identify coastal California gnatcatcher, nesting raptors, or least Bell's vireo, blasting will be restricted to the non-breeding season for the identified birds (September 1 to February 14 for coastal California gnatcatcher; July 16 to January 14 for nesting raptors; and September 16 to March 14 for least Bell's vireo) or be completed using wholly chemical means. All grading permits, improvement plans, and the final map shall state the same.
- BIO-6a:** Mitigation for impacts to 0.01 acre of southern willow scrub, 0.17 acre of mule fat scrub, and less than 0.01 acre of tamarisk scrub shall occur at a 3:1 ratio with at least 1:1 creation as specified in BIO-1b, above. Mitigation shall occur through one or a combination of the following: on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of 0.57 acre of riparian habitat; and/or off-site purchase of riparian habitat mitigation credits at an approved mitigation bank, such as the San Luis Rey Mitigation Bank, or other location deemed acceptable by the County and Regulatory Agencies. The establishment/creation component must be at least 1:1 while the remaining 2:1 can be restoration and enhancement. Any mitigation completed through purchase of mitigation credits shall be provided prior to the issuance of a grading permit. Any applicant-initiated mitigation must be implemented prior to or concurrent with associated project impacts.

- BIO-6b:** Mitigation for impacts to 0.4 acre of coast live oak woodland and 2.2 acres of oak root protection zone (consisting of 0.2 acre of Diegan coastal sage scrub, 0.9 acre of non-native grassland, 0.1 acre of pasture, 0.4 acre of disturbed habitat, and 0.6 acre of developed land [Figure 14c]) shall occur at a 3:1 ratio through on-site preservation of a minimum of 7.8 acres of coast live oak woodland within a biological open space easement. The mitigation shall be provided prior to the issuance of a grading permit.
- BIO-6c:** Mitigation for 32.5 acres of impacts to Diegan coastal sage scrub and 1.4 acres of impacts to flat-topped buckwheat scrub shall occur at a 3:1 ratio through the on-site preservation of 101.7 acres of Diegan coastal sage scrub within a biological open space easement. The mitigation shall be provided prior to the issuance of a grading permit.
- BIO-6d:** Mitigation for 37.6 acres of impacts to non-native grassland shall occur through the on-site preservation of 18.8 acres of non-native grassland within a biological open space easement, as described in Measure BIO-4a. The mitigation shall be provided prior to the issuance of a grading permit.
- BIO-7a:** Impacts to 0.20 acre of USACE jurisdictional non-wetland waters of the U.S. shall be mitigated at a minimum 1:1 ratio through one or a combination of the following: on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of 0.20 acre waters of the U.S.; and/or off-site purchase of waters of the U.S. credits at an approved mitigation bank, such as the San Luis Rey Mitigation Bank, or other location deemed acceptable by the USACE. Any mitigation completed through purchase of mitigation credits shall be provided prior to the issuance of a grading permit. Any applicant-initiated mitigation must be implemented prior to or concurrent with impacts to waters of the U.S. Impacts to waters of the U.S. would require issuance of a Section 404 CWA permit from the USACE prior to impacts.
- BIO-7b:** Impacts to 0.01 acre of CDFW jurisdictional southern willow scrub, 0.17 acre of CDFW jurisdictional mule fat scrub, and less than 0.01 acre of CDFW jurisdictional tamarisk scrub will be mitigated at a 3:1 ratio as described in BIO-1b and 6a above, totaling 0.57 acre of riparian habitat mitigation. Impacts to 0.21 acre of CDFW streambed will be mitigated at a minimum 1:1 ratio through one or a combination of the following: on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of 0.21 acre riparian and/or stream habitat; and/or off-site purchase of riparian and/or stream credits at an approved mitigation bank, such as the San Luis Rey Mitigation Bank, or other location deemed acceptable by the CDFW. Combined mitigation for CDFW riparian habitat and streambed totals 0.78 acre. Any mitigation completed through purchase of mitigation credits shall be provided prior to the issuance of a grading permit. Any applicant-initiated mitigation must be implemented prior to or

concurrent with impacts to CDFW habitat. Impacts to CDFW jurisdictional habitat would require issuance of a CFG Section 1602 Streambed Authorization Agreement from the CDFW prior to impacts.

- BIO-7c:** Impacts to 0.19 acre of RPO wetland (0.01 acre of southern willow scrub, 0.17 acre of mule fat scrub, and less than 0.01 acre of tamarisk scrub) will be mitigated at a 3:1 ratio with at least 1:1 creation, for a total mitigation requirement of 0.57 acre for County RPO wetlands. Impacts to southern willow scrub, mule fat scrub, and tamarisk scrub will be mitigated as described in BIO-1b and BIO-6a, above. Any mitigation completed through purchase of mitigation credits shall be provided prior to the issuance of a grading permit. Any applicant-initiated mitigation must be implemented prior to or concurrent with impacts to RPO wetlands.
- BIO-8a:** The project requires preparation of a Resource Management Plan (RMP) for on-site biological open space to be approved by the County. The RMP will provide direction for the permanent preservation and management of the on-site biological open space in accordance with County regulations.
- BIO-8b:** The project will incorporate a 100-ft wide limited building zone easement extending outward from the edge of the biological open space easement.
- BIO-9a:** The project requires preparation of a wetland revegetation plan for impacts to wetland habitat and jurisdictional waters to be approved by the County (wetland impacts only) and USACE, CDFW, and RWQCB (impacts to waters of the U.S. and CDFW wetlands). Approval of the plan by the USACE, CDFW, and RWQCB will be a condition of the associated wetland permits for the project.
- BIO-9b:** The project requires preparation of an upland revegetation plan for impacts to sensitive upland habitat be approved by the County and Wildlife Agencies (USWFS and CDFW). Although the project has sufficient upland preservation onsite to meet the required habitat mitigation ratios for impacts to sensitive uplands (coast live oak woodland, Diegan coastal sage scrub, flat-topped buckwheat scrub, and non-native grassland) and raptor foraging habitat (non-native grassland and pasture), the project proponent has agreed to implement upland restoration and enhancement efforts above and beyond the habitat preservation requirement.
- BIO-10a:** To help ensure errant impacts to sensitive vegetation communities outside of the impact footprint are avoided during construction, environmental fencing (including silt fencing where determined necessary by the SWPPP), would be installed at the edges of the impact limits prior to initiation of grading. All construction staging shall occur within the approved limits of construction.

BIO-10b: A qualified biologist will monitor the installation of environmental fencing wherever it would abut sensitive vegetation communities, jurisdictional waters or wetlands, or biological open space. The biologist also will conduct a pre-construction environmental training session for construction personnel to inform them of the sensitive biological resources on site and avoidance measures to remain in compliance with project approvals. The biologist also will monitor vegetation clearing, grubbing, and grading activities on a regular basis to help ensure compliance with project approvals.

ENVIRONMENTAL FINDINGS:

A. CEQA Findings

TO BE PROVIDED

B. FINDINGS MADE IN SUPPORT OF THE ISSUANCE OF THE HABITAT LOSS PERMIT:

The following findings are made based upon all of the documents contained in the record for this project, and pursuant to Section 86.104 of County of San Diego Ordinance No. 8365 (N.S.) and Section 4.2.g of the CSS NCCP Process Guidelines (CDFW, November 1993):

Finding 1.a: The habitat loss does not exceed the five percent guideline.

The Project would impact 32.5 acres of coastal sage scrub and one location where breeding gnatcatchers were detected, in the southwestern portion of the site. Approved coastal sage scrub losses as of the date of July 31, 2019 and including this approval, for the entire unincorporated County, outside the boundaries of the Multiple Species Conservation Program (MSCP), are presented in the following table:

Unincorporated Area Coastal Sage Scrub Cumulative Losses	
Total loss allowed under five percent guideline:	2953.30 acres
Cumulative loss of Coastal sage scrub to date:	1655.88 acres
Net loss due to this project:	32.5 acres
Total cumulative loss:	1688.38 acres
Remaining loss under five percent guideline:	1,264.92 acres

Finding 1.b: The habitat loss will not preclude connectivity between areas of high habitat values.

The Project site occurs mostly within lands identified as Pre-Approved Mitigation Area (PAMA) under the Draft MSCP North County Plan. The site is part of a core

wildlife area of 500 acres of wildlife habitat or more and has been known to support viable populations of coastal California gnatcatcher in addition to multiple other wildlife species.

Undeveloped areas within the Project site are concentrated in the eastern and southwestern portions of the site, consisting of hills primarily supporting native scrub communities. Diegan coastal sage scrub is the dominant vegetation community on site. Surrounding land uses include the San Luis Rey River to the north, with SR 76 and rural residential development occurring to the north side of the river, I-15 and rural residential development to the east, and rural residential development to the south and west. In addition, a California Department of Transportation (Caltrans) mitigation site is located along the northern property boundary, extending to the San Luis Rey River.

CSS covers 509.2 acres (includes disturbed CSS) on the Project site. This habitat occurs in large swaths in the eastern and southern portions of the site. Disturbed coastal sage scrub on site occurs as narrow bands of habitat along the slopes of three incised drainages within lands used for row crops.

Gnatcatcher pairs were observed in four locations in the southwestern portion of the site during the 2015 protocol survey, though not all pairs were detected during each of the three surveys. Two fledglings also were observed in one location in the southwestern hills during the 2015 survey. A pair of gnatcatchers also was observed in the eastern hills in early July 2016, and two separate sightings of single male individuals were noted in the eastern hills in March 2017. Gnatcatchers in the region could use other scrub-vegetated portions of the site and immediate vicinity for foraging, dispersal, and migration activities. It is noted that nearly all sage scrub on site burned in the 2017 Lilac Fire, thus rendering most of the habitat unsuitable for gnatcatcher occupation until the vegetation sufficiently recovers.

On the Project site, the eastern hills provide a large block of natural habitat that connects to grassland just north of the site, and then further north to the San Luis Rey River. The eastern hills consist primarily of CCS, with lesser coverage by oak woodland and mixed chaparral; these habitats burned in May 2014 and December 2017. Native habitat is anticipated to regenerate and wildlife use is expected to increase as the habitat recovers from the fires.

The eastern hills connect to a range of hills that extends westward across the southern portion of the Project site, connecting to riparian habitat along the river at the site's western tip. Habitat on these hills comprises a mosaic of large stands of coastal sage scrub interspersed with expanses of orchard, fallow orchard, and row crops. These hills provide opportunities for east-west wildlife movement across the site, as well as connectivity to important resources associated with the San Luis Rey River.

In the Project vicinity, the San Luis Rey River functions to allow wildlife movement in the local area. The presence of SR 76 along the northern side of the river, together with the preponderance of small, privately-owned parcels north of SR 76, greatly limits connectivity to the north. Connectivity to the south of the Project site is also limited by fragmentation resulting from residential and semi-rural development and roads. Thus, the greatest opportunity for wildlife movement in the Project vicinity occurs in an east-west direction along the San Luis Rey River and associated undeveloped floodplain areas directly north of the site, rather than in the fragmented and developed lands further north and south of the river.

Most of the Project development would be within areas that have been altered by decades of agricultural and equestrian uses; however, the Project would impact 32.5 acres of CSS. This habitat loss represents approximately 6.4% of the CSS on the Project site. The majority of impacted CSS is occupied by coastal California gnatcatcher, based on 2015 survey results. The Project would impact one location where breeding gnatcatchers were detected, in the southwestern portion of the site. The impacted habitat is considered intermediate quality habitat based on the NCCP flowchart, but due to the high concentration of gnatcatchers would be mitigated at a 3:1 ratio.

The Project would conserve a total of 832.7 acres as biological open space. This acreage is in excess of the acreage required to mitigate the Project's impacts. The proposed biological open space includes 467.8 acres of CSS, including 149 acres in the western half of the Project site where the majority of gnatcatcher detections have occurred to date. Gnatcatcher use of the eastern hills is expected to increase as the habitat continues to recover from the 2014 and 2017 wild fires, as one pair was already been detected in the area in 2015 and this portion of the site is in close proximity to numerous records of gnatcatcher east of the site along the I-15 corridor.

The proposed biological open space would also maintain adequate habitat connectivity for gnatcatcher with off-site lands to the east, north, and west of the site, as well as sufficient habitat on site to continue to support breeding, foraging, dispersal, and migration activities for the species. Additionally, proposed restoration activities would increase the amount of sage scrub on site, providing additional habitat for gnatcatcher.

The Project has been designed to provide a wide corridor of biological open space extending from the large block of habitat comprising the eastern hills to the western portion of the site and connecting with off-site conserved habitat along the river. The proposed development has been designed to allow for continued gnatcatcher connectivity across the site, and to off-site habitat along the San Luis Rey River and to the east of the site along I-15.

Biological open space at the western end of the site connects to off-site conserved lands associated with the San Luis Rey River along an approximately 1,400 linear-ft distance. At the eastern end of the site, biological open space connects to

undeveloped lands west of I-15 along an approximately 1,700-linear ft distance, and to undeveloped lands on the north side of Dulin Road over an approximately 3,200-linear ft distance. This wide swath of on-site biological open space ranges in width from over 900 ft to approximately 3,000 ft and contains over three linear miles of biological open space in an east-west direction across the site. The eastern 2.5 miles of biological open space are uninterrupted, while the western 0.5 mile is interrupted by proposed development and associated access roads. The Project development is not expected to substantially interfere with the linkage, as lines-of-sight are maintained across the roads. The on-site portions of the linkage are most important for avian species such as coastal California gnatcatcher. The Project development and associated access roads traversing portions of the biological open space would not substantially interfere with their ability to disperse across the site, or to off-site areas, as adequate connectivity is maintained.

Although the Project would impact areas used by coastal California gnatcatcher for foraging and breeding, the Project would not impede wildlife access to on-site areas necessary for reproduction, as sufficient habitat to support these species would be conserved on site, and connections to off-site lands also would be maintained. Existing CSS and other sage scrub habitats would be largely conserved on site, thus continuing to contribute to live-in and dispersal habitat for coastal California gnatcatcher. The Project would also allow for the continued viability of the core wildlife area by conserving the majority of existing habitat in biological open space and supporting connectivity across the site and to offsite lands along the San Luis Rey River as well as to undeveloped lands along the I-15 corridor. Therefore, the Project would not preclude connectivity between areas of high habitat values.

Finding 1.c: The habitat loss will not preclude or prevent the preparation of the subregional NCCP.

The Project would occur within areas identified as PAMA under the Draft North County MSCP; however, Project implementation would not preclude or prevent finalizing and adoption of this Plan. The majority of project development is concentrated in existing agricultural and equestrian-use areas and large areas of the site, including most of the native habitat areas, would be conserved in biological open space.

The Project would result in preservation of 832.7 acres of biological open space, the majority of which occurs within draft PAMA. This acreage is in excess of the acreage required to mitigate the Project's impacts.

The Project's conservation design is consistent with targets for the region. The Project would conserve a wide corridor of biological open space extending from the large block of habitat comprising the eastern hills to the western portion of the site. The Project would maintain wildlife access from off-site conserved lands along the San Luis Rey River to the eastern hills and western tip of the site. The biological open space would also allow for continued gnatcatcher connectivity across the

site, and to off-site habitat along the San Luis Rey River and to the east of the site along I-15. The onsite biological open space would contribute 467.8 acres of coastal sage scrub, as well as other vegetation community types. This contribution would expand regional live-in habitat placed in preservation.

An analysis was completed for Project impacts on coast live oak woodland, coastal sage scrub (including coastal sage-chaparral scrub), and non-native grassland compared to those reported for the region, including data related to proposed PAMA designations and conservation targets identified in the 2009 public review Draft MSCP North County. This analysis is included in the Biological Resources Technical Report for the Project (see Tables 8 and 9). The analysis demonstrates that project impacts on coast live oak woodland, Diegan coastal sage scrub, and non-native grassland are extremely small compared to the amount of existing regional habitat reported within the Draft North County MSCP area, including the total expected and targeted for conservation within PAMA.

One of the key targets for the Draft MSCP North County Plan and preserve assemblage for PAMA is the gnatcatcher. The Project site supports Diegan coastal sage scrub within PAMA and the California Gnatcatcher Habitat Evaluation Model ranks portions of the eastern hills and southwestern hills on site as having high and very high value for this species. Gnatcatchers have been confirmed nesting in the southwestern portion of the site and a pair was also observed in the eastern hills in July 2016, in addition to two separate sightings of single male individuals in the eastern hills in March 2017. The Project would conserve gnatcatcher habitat and dispersal routes from the eastern hills across the site to the southwestern corner. Alternative dispersal routes also occur along the San Luis Rey River to the north of the site and connect to on-site biological open space at the eastern and western ends of the site.

The Project has been designed to assist in implementing the proposed PAMA and contribute to long-term habitat value for plants and wildlife in the region. The configuration of the proposed biological open space results in conservation of a large block of preserved land that contributes substantially to the viability of the MSCP North County Preserve by providing large areas of live-in habitat and dispersal habitat for key species of concern (e.g., coastal California gnatcatcher).

Furthermore, the Project supports the conservation goals and objectives for the Lower San Luis Rey River Linkage by minimizing impacts to sage scrub; providing for conservation of potential foraging and aestivation habitat for arroyo toad and western spadefoot; maintaining and restoring riparian habitat near the San Luis Rey River; incorporating long-term management of biological open space, which will include directives for management of invasive species; and maintaining connectivity for wildlife movement between the project site, San Luis River, and hills offsite to the east near I-15. Thus, the Project would not preclude or prevent the successful preparation and implementation of the North County MSCP.

Finding 1.d: The habitat loss has been minimized and mitigated to the maximum extent practicable in accordance with Section 4.3 of the NCCP Process Guidelines.

The Project would impact 32.5 acres of CSS habitat, out of 509.2 acres of the Project site. Section 4.3 of the NCCP Guidelines (CDFW 1993a) states, in part: "Project design must be consistent with the Conservation Guidelines and with any guidelines adopted by the subregion and concurred with by the CDFG and USFWS and must, to the maximum extent practicable, minimize habitat loss." Impacts are allowable according to the Southern California Coastal Sage Scrub NCCP Conservation Guidelines (CDFW 1993b) when the site's potential value for conservation is considered.

Based solely on the NCCP Logic Flow Chart, the quality of habitat supported by the Project site is defined as being "Intermediate Value." However, because the 32.5-acre area that would be impacted is occupied habitat and due to the concentration of gnatcatchers on the Project site, the habitat is considered high quality and would be mitigated at the higher ratio.

Mitigation for impacts to 32.5 acres of CSS shall occur at a 3:1 ratio through on-site preservation. The 97.5 acres of CSS required for mitigation will be preserved within a biological open space easement. In addition, the Project would also place an additional 370.3 acres of CSS within a biological open space easement. Thus the Project would preserve a total of 467.8 acres of CSS on-site as biological open space.

Therefore, with consideration of the on-site required mitigation and additional excess contribution of CSS to the region, the habitat loss has been minimized and mitigated to the maximum extent practicable.

Finding 2: The habitat loss will not appreciably reduce the likelihood of survival and recovery of listed species in the wild.

Two listed species have been observed within the Project site: coastal California gnatcatcher and least Bell's vireo. Impacts and mitigation for these two species are discussed below.

Gnatcatcher pairs were observed in four locations in the southwestern portion of the site during the 2015 protocol survey, a pair of gnatcatchers also was observed in the eastern hills in 2016, and two separate observations of single male individuals were noted in the eastern hills in 2017. The project would impact one location where breeding coastal California gnatcatchers were detected.

The project would conserve 467.8 acres of coastal sage scrub in biological open space, including 149.0 acres in the western half of the site where the majority of

gnatcatcher detections have occurred to date. Gnatcatcher use of the eastern hills is expected to increase as the habitat continues to recover from the 2014 and 2017 wildfires. Proposed biological open space would maintain adequate habitat connectivity for gnatcatcher with off-site lands to the east, north, and west of the site, as well as sufficient habitat on site to continue to support breeding, foraging, dispersal, and migration activities for the species. Additionally, proposed restoration activities would increase the amount of sage scrub on site, providing additional habitat for gnatcatcher. Edge effects on gnatcatcher as a result of project development would be addressed through a variety of mitigation measures and project design features.

Thus the project would not reduce the likelihood of survival and recovery of gnatcatcher as a result of the following mitigation and design features: designing the biological open space to conserve large, connected areas of sage scrub; maintaining connectivity to offsite dispersal habitat along the San Luis Rey River; restoration and enhancement of sage scrub on site; implementation of avoidance and minimization measures during construction; mitigation and project design features to address edge effects; and long-term monitoring and management to be conducted for biological open space under a project-specific RMP to be approved by the County.

There is also a potential for impacts to least Bell's vireo if they should move onto the site for nesting. However, a breeding territory was not documented on site during focused surveys conducted in 2015 and 2016, and the site would not be expected to support a significant population of vireos, as this species is known to occupy the San Luis Rey River north of the site, which supports higher quality, much more extensive habitat for the species. Further, the Project would increase the amount of riparian habitat on site through restoration. Therefore, the project would not reduce the likelihood of survival or recovery for least Bell's vireo.

Finding 3: The habitat loss is incidental to otherwise lawful activities.

The Project will require grading plans and improvement plans from the County, as well as 401/404 and 1600 permits for impacts to USACE, RWQCB, and CDFW jurisdictional areas. The issuance of a Habitat Loss Permit by the County of San Diego, with the concurrence of the Department of Fish and Wildlife and U.S. Fish and Wildlife Service and approval by the County of San Diego of a Grading Permit, Clearing Permit, or Improvement Plan is required prior to the clearing of any coastal sage scrub supported on the project site. No state or federal permits other than those mentioned above are identified as being required at this time. Construction and/or land use modification will not commence until all appropriate permits have been issued. The project has been found to be in conformance with Section 86.104 of the San Diego County Code. As such, the anticipated loss will be incidental to "otherwise lawful activities".

NCCP FLOWCHART

1. Is natural vegetation present? **Yes.**
2. Is Coastal sage scrub present? **Yes.**
3. Is Coastal sage scrub the most dense in the subregion? **No.**
4. Is the land close to high value district. **Yes**
5. Is the land located in a corridor between higher value districts. **Yes.**
6. Does the land support high density of target species? **Yes.**

Based solely on the NCCP Logic Flow Chart process, the Project site is defined as "Intermediate Value" because it is not located within the most dense subregion. However, the Project site features large blocks of CSS, provides a linkage, and features a high concentration of gnatcatchers. For these reasons, the Project site is considered to feature "High Value" CSS and mitigation shall be provided at a 3:1 ratio.

MITIGATION MONITORING AND REPORTING PROGRAM:

The following shall be the Mitigation Monitoring or Reporting Program for this Habitat Loss Permit:

Public Resources Code Section 21081.6 requires the County to adopt a mitigation reporting or monitoring program for any project that is approved on the basis of a mitigated Negative Declaration or an Environmental Impact Report for which findings are required under Section 21081(a)(1). The program must be adopted for the changes to a project which the County has adopted, or made a condition of project approval, in order to mitigate or avoid significant effects on the environment. The program must be designed to ensure compliance during project implementation.

The mitigation monitoring program is comprised of all the environmental mitigation measures adopted for the project. The full requirements of the program (such as what is being monitored, method and frequency, who is responsible, and required time frames) are found within the individual project conditions. These conditions are referenced below by category under the mechanism which will be used to ensure compliance during project implementation.

- Subsequent Project Permits

Compliance with the following conditions is assured because specified subsequent permits or approvals required for this project will not be approved until the conditions have been satisfied:

Compliance with the following conditions is assured because specified subsequent permits or approvals required for this project will not be approved until the conditions have been satisfied:

BIO-1a through BIO-10b

NOTICE: The issuance of this permit by the County of San Diego does not authorize the applicant for said permit to violate any federal, state, or county laws, ordinances, regulations, or policies, including but not limited to, the federal Endangered Species Act and any amendments thereto.

NOTICE: This subject property is known to contain Coastal sage scrub plant community. Such plant community is habitat for the coastal California gnatcatcher. The Federal government recently listed the gnatcatcher as a threatened species under the Federal Endangered Species Act of 1973 (16 U.S.C. Section 1531 et seq.). THE LISTING MAY RESULT IN AN APPLICANT'S INABILITY TO PROCEED WITH HIS/HER PROJECT WITHOUT A PERMIT FROM THE FEDERAL GOVERNMENT IF THE SPECIES OR ITS HABITAT ARE PRESENT ON THE PROJECT SITE. It is advisable to contact the United States Fish and Wildlife Service to determine the applicability of the prohibitions under the Act to each applicant's property.

NOTICE: The subject property contains wetlands, a lake, a stream, and/or waters of the U.S. which may be subject to regulation by State and/or federal agencies, including, but not limited to, the Regional Water Quality Control Board, U.S. Army Corps of Engineers and the California Department of Fish and Wildlife. It is the applicant's responsibility to consult with each agency to determine if a permit, agreement or other approval is required and to obtain all necessary permits, agreements or approvals before commencing any activity which could impact the wetlands, lake, stream, and/or waters of the U.S. on the subject property. The agency contact information is provided below.

U.S. Army Corps of Engineers: 6010 Hidden Valley Rd, Suite 105, Carlsbad, CA 92011-4219; (858) 674-5386; <http://www.usace.army.mil/>

Regional Water Quality Control Board: 9174 Sky Park Court, Suite 100, San Diego, CA 92123-4340; (858) 467-2952; <http://www.waterboards.ca.gov/sandiego/>

California Department of Fish and Wildlife: 3883 Ruffin Rd., San Diego, CA 92123; (858) 467- 4201; <http://www.dfg.ca.gov/>

NOTICE: The subject property contains habitat which may be used for nesting by migratory birds. Any grading, brushing or clearing conducted during the migratory bird breeding season, February 1 – August 31, has a potential to impact nesting or breeding birds in violation of the Migratory Bird Treaty Act. The applicant may submit evidence that nesting or breeding migratory birds will not be affected by the grading, brushing or clearing to these agencies: California Department of Fish and Wildlife, 3883 Ruffin Rd., San Diego, CA 92123, (858) 467- 4201, <http://www.dfg.ca.gov/>; and United States Fish and Wildlife Service, 6010 Hidden Valley Rd, Carlsbad, CA 92011-4219, (760) 431-9440, <http://www.fws.gov/>.

HLP _____

-19-

Date

JUDICIAL REVIEW TIME LIMITATIONS: The time within which judicial review of this decision must be sought is governed by Code of Civil Procedure Section 1094.6, which has been made applicable in the County of San Diego by San Diego County Code Section 11.120. Any petition or other paper seeking judicial review must be filed in the appropriate court not later than the 90th day following the date on which this decision becomes final; however, if within 10 days after the decision becomes final a request for the record of the proceedings is filed and the required deposit in an amount sufficient to cover the estimated cost of preparation of such record is timely deposited, the time within which such petition may be filed in court is extended to not later than the 30th day following the date on which the record is either personally delivered or mailed to the party, or the party's attorney of record. A written request for the preparation of the record of the proceedings shall be filed with the Director, Planning & Development Services, 5510 Overland Avenue, Suite 110, San Diego, California 92123.

The foregoing decision was approved by the Director of Planning & Development Services on TO BE DETERMINED. A copy of this decision, and the documentation supporting the decision, is on file in the Planning & Development Services office at 5510 Overland Avenue, Suite 110, San Diego, California.

PLANNING & DEVELOPMENT SERVICES
MARK WARDLAW, DIRECTOR

BY:

DARIN NEUFELD, CHIEF
Project Planning Division

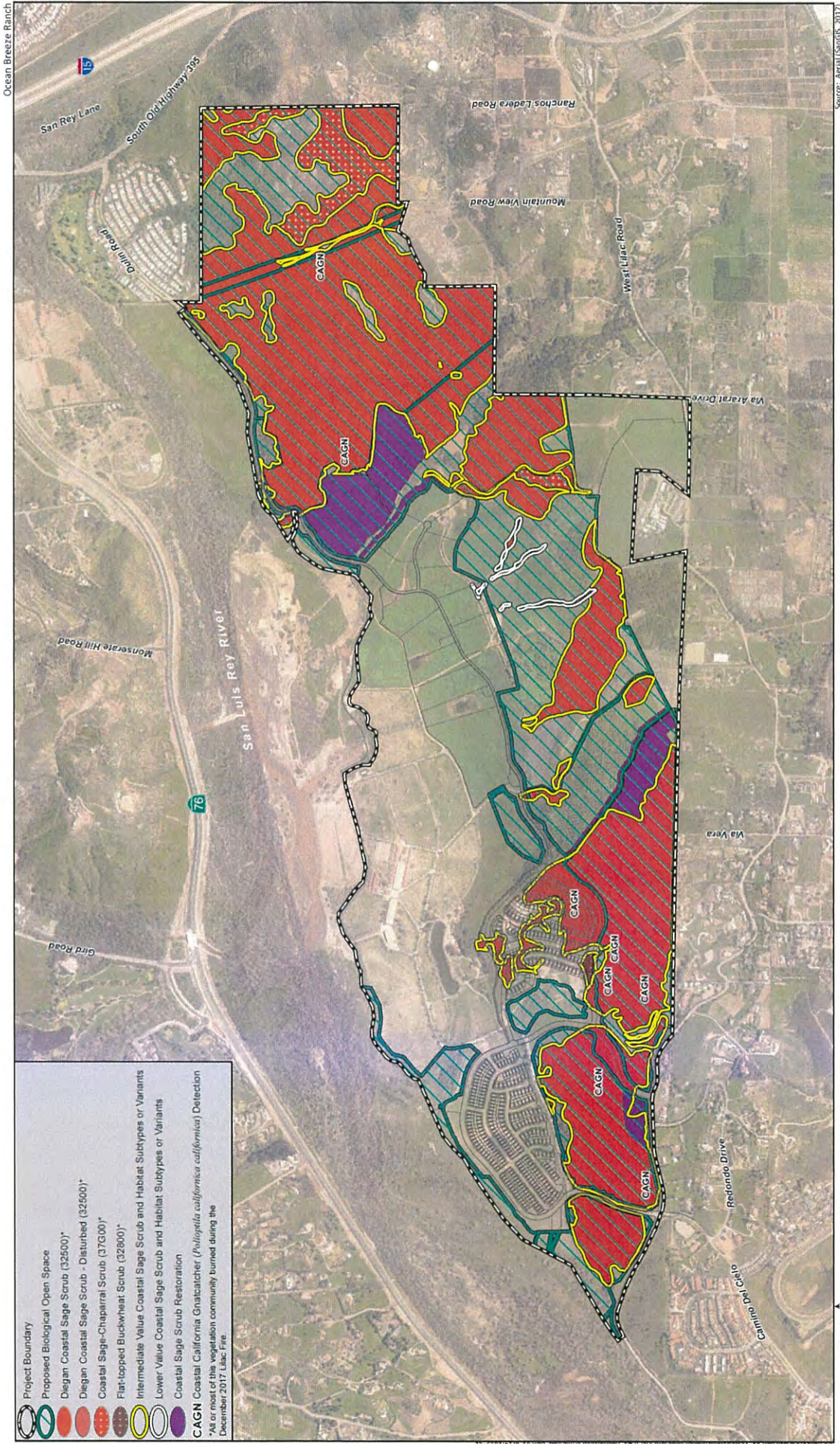
Attachments

Figure 1: Habitat Loss Permit Exhibit

cc: To be provided at issuance of Habitat Loss Permit

email cc:

Bronwyn Brown, Planning Manager, Project Planning, Planning & Development Services
Darin Neufeld, Chief, Project Planning, Planning & Development Services
Bonsall Community Sponsor Group
Fallbrook Community Planning Group



- Project Boundary
- Proposed Biological Open Space
- Diegan Coastal Sage Scrub (32500)*
- Diegan Coastal Sage Scrub - Disturbed (32500)*
- Coastal Sage-Chaparral Scrub (37G00)*
- Flat-topped Buckwheat Scrub (32800)*
- Intermediate Value Coastal Sage Scrub and Habitat Subtypes or Variants
- Lower Value Coastal Sage Scrub and Habitat Subtypes or Variants
- Coastal Sage Scrub Restoration
- CAGN Coastal California Gnatcatcher (*Phainopepla nitens californica*) Detection
- *All or most of the vegetation community burned during the December 2017 Lila Fire

Habitat Loss Permit Exhibit
Figure 1



County of San Diego

MARK WARDLAW
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
(858) 505-6445 General
www.SDCPDS.org

KATHLEEN A. FLANNERY
ASSISTANT DIRECTOR

December 13, 2019 ~~September 19, 2019~~

Statement of Reasons for Exemption from Additional Environmental Review and 15183 Checklist Pursuant to CEQA Guidelines §15183

Project Name: Ocean Breeze Ranch
Project Record Numbers: PDS2016-TM-5615; PDS2016-MUP-16-012; PDS2016-MUP-013;
PDS2016-STP-16-032
Environmental Log Number: PDS2016-ER-16-02-006
Habitat Loss Number: PDSXXXX-HLP-XXX

APN(s): 124-150-28, 124-150-34, 124-150-35, 125-080-21, 125-131-48,
125-131-49, 125-131-54, 126-060-78, 127-191-20, 127-230-59,
127-271-01, 127-271-02.

Lead Agency Name and Address:
County of San Diego
Planning and Development Services
5510 Overland Avenue, Suite 110
San Diego, CA 92123-1239

County Staff Contact:
Jenna Roady, Project Environmental Coordinator
(858) 495-5437
Jenna.Roady@sdcounty.ca.gov

Project Location:
The Proposed Project (Project) is located within the unincorporated community of Bonsall in northern San Diego County. The 1,402.52-acre Project site is located at 5820 West Lilac Road, Bonsall. The site is located within the Bonsall and Fallbrook Community Plan areas. The San Luis Rey River is located to the north of the Project site, with State Route 76 (SR-76) and rural residential development occurring to the north side of the river. Interstate 15 (I-15) and rural residential development are located to the east, and rural residential development to the south and west. In addition, a California Department of Transportation (Caltrans) mitigation site is located along the northern property boundary, extending to the San Luis Rey River. The mitigation site is associated with the SR 76 East – South

15183 Statement of Reasons

Mission Road to Interstate 15. Sullivan Middle School abuts the southern boundary of the Project site, adjacent to West Lilac Road.

Project Applicant Name and Address:

Ocean Breeze Ranch LLC
1550 South Coast Highway, Ste. 201
Laguna Beach, CA 92651

General Plan

Community Plan:	Bonsall
Regional Categories:	Village, Semi-Rural, Rural, No Jurisdiction
Land Use Designations:	Village Residential (VR-4.3), Semi-Rural Residential (SR-4), Semi-Rural Residential (SR-10), Rural Lands (RL-20), and Rural Lands (RL-40)
Density:	VR-4.3, SR-4, SR-10, RL-20, RL-40
Floor Area Ratio (FAR)	N/A

Zoning

Use Regulation:	Variable Family Residential (RV), Limited Agriculture (A70), and Open Space (S80)
Minimum Lot Size:	1 du per 6,000 Square Feet, 1 du per 2 Acres, 1 du per 4 Acres, 1 du per 8 acres
Special Area Regulation	Community Design Review (B), Flood Plain (F), Airport (C)

Description of Project:

Ocean Breeze Ranch (Project) includes two components, a planned residential development (PRD) and a private equestrian facility. The residential development would include 396 residential lots divided into three planning areas (PA1, PA2, and PA3). The PRD would also include parks, roads and landscaped areas. The equestrian facility consists primarily of previously constructed buildings and structures; additional improvements are also proposed. The Project would also preserve ~~833.85~~ 832.7 acres of the Project site as biological open space. The components of the Project are described in greater detail below.

Project Site Description:

The Project site includes a variety of terrain, from the relatively flat alluvial plain along the San Luis Rey River on the northern boundary of the site, to ridges and hillsides near the southern boundary. Elevations range from approximately 175 feet above mean sea level (msl) along the river to 825 feet in the southeastern portion of the site. Historically the site been used for agriculture, including farming and ranching, since the late 1800s. In more recent decades, the site has also been used as an equestrian facility for stallion breeding. Existing structures in the lower elevations of the site include barns, stables, covered and uncovered pens, extensive pastures for horses, a small office, a veterinary building, and employee homes.

Discretionary Actions:

Discretionary permits for the Planned Residential Development include a Tentative Map and Major Use Permit (MUP). The as-built equestrian facility also requires an MUP. The Project is consistent with the residential density allowable under the County General Plan. The PRD would reallocate and condense the majority of dwelling units to western portion of the Project site.

Planned Residential Development:

The Project has been designed as a Conservation Subdivision by consolidating the development footprint in a way which minimizes impacts to environmental resources, with avoided areas set aside as

open space. The Project encompasses a total of 396 residential lots within three planning areas – PA 1, PA 2, and PA 3 as shown in the table below. A single larger estate parcel is also proposed totaling approximately 24 acres.

Description	Gross Area (Acres)	Use	Residential Lots	Minimum Lot Size
Planning Area 1	67.41	Residential	144	5,000 Sq Ft
Planning Area 2	66.69	Residential	237	4,500 And 5,000 Sq Ft
Planning Area 3	153.47	Residential	14	5 Acres
Lot EEE	203.61	Equestrian Mup	N/A	N/A
Net Bio-Open Space	832.72	Bio-Open Space	N/A	N/A
Impact Neutral Easement	14.10	Bio-Open Space	N/A	N/A
Hillside Estate	24.24	Residential	1	N/A
Remainder Parcel	30.22	School	N/A	N/A
West Lilac Road	10.06	Road/Slopes	N/A	N/A
Total	1,402.52		396	

Access to the residential development in PA 1 and PA 2 would be provided from West Lilac Road. The estate parcel would also be accessed off West Lilac Road. Access to PA 3 would be provided by a gated private road off Dulin Road. The Project includes a network of internal access roads, including public streets in PA 1 and PA 2, and private/gated roadways in PA3. In PA 1 and PA 2, streets would be constructed to meet public standards. All roads within PA 3 would be privately owned and maintained by a homeowners' association.

To meet County and North County Fire Protection District requirements, the Project must provide an interim secondary emergency access/evacuation route after the first 50 homes are constructed in PA 1. Ultimately, the Project would extend Dulin Road westward on site through PA 3 and connect to other proposed internal roadways. Until the Dulin Road secondary access is fully constructed, an interim access route (IAR) is identified, which would use selected existing roads within the equestrian facility to provide an emergency evacuation route that connects between the existing reach of Dulin Road in the northeastern portion of the site and the existing paved Vessels Ranch Road in the western portion of the site. The IAR through the equestrian facility would overlap existing dirt roads.

The Project would incorporate forms indicative of traditional farmhouse and Craftsman style architecture with porches, dormers, and simple roof shapes. Conceptual residential designs are proposed for homes to be built within Planning Areas 1 and 2. A variety of floor plans and elevations have been designed to provide for aesthetic diversity. Planning Area 3 is proposed with individual custom lots and architectural design.

The Project proposes a total of 15.71 acres of public or private parks within Planning Areas 1 and 2, which includes 3.34 acres of public and private park area meeting the County's definition of usable park area. Two of the parcels would be public parks for a total of 3.21 acres meeting the County's definition of useable park area. Two public parks are planned (1.68 and 2.81 acres) for a total of 4.49 acres. The remaining five parks are planned to be private, (ranging from 0.34 to 7.02 acres), and would total 11.22 acres. An internal network of sidewalks, pathways and trails would be provided within PA 1 and PA 2 to provide access to proposed residential neighborhoods, parks, and nearby regional trail facilities planned for the future by the Department of Parks and Recreation.

The Project proposes within Planning Areas 1 and 2 walking loops on either sidewalks or trails, with allowances for connection points to the County's future San Luis Rey River Trail at the Project's northern boundary of the Project site. The Project also includes establishing a 15-foot wide trail

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easement over an existing dirt road connecting the east end of Planning Area 1 southeast to HOA Lot DD, and then eastward along the southern edge of HOA Lot DD toward Sullivan Middle School. Outside of HOA Lot DD, the trail easement crosses biological open space, and would be fenced on either side. The easement would incorporate a 8-foot wide decomposed granite trail and would be gated at either end to prevent unauthorized vehicle access into biological open space. Conceptual Landscaping Plans have been prepared. These plans would define the extent and type of irrigation and plantings used for common area lots, as well as roadway parkways. Water conservation designs would be proposed, in order to both reduce land areas needing irrigation, as well as the water demands of plant materials being proposed.

In addition, the Project has been designed to include energy saving project features. The following list has been condensed. For a full list of energy saving features, please see sections 6. Energy and 7. Greenhouse Gas Emissions.

Energy saving project design features would include:

- Project-related construction activities would use Tier 3 or better construction equipment with Diesel Particulate Filters
- Install high-efficiency Light Emitting Diode (LED) street and area lighting to achieve reduction in overall lighting energy.
- The Project would only install Natural Gas fireplaces within all 396 residential units.
- The Project would seek to also achieve a 75% diversion goal by providing areas for storage and collection of recyclables and provide literature promoting recycling to achieve additional waste diversion.
- The Project applicant would demonstrate a 40% reduction in outdoor use and would submit a Landscape Document Package to show such compliance.
- Installation of low flow indoor water fixtures in all residential units.
- Plumb and install a single Level 2 electric vehicle (EV) charging station in each of the 396 residential units.
- The Project would install 1,973 KW of PV which is equivalent to 6,577 300-watt panels or an average of 16.6 panels per home.
- Building efficiency features such as High-Efficiency HVAC system, sealed (tight) air ducts that minimize heating and cooling HVAC losses, tankless water heaters and Low E dual pane windows.
- Increase new tree plantings throughout the neighborhood by planting two trees per dwelling unit which is equivalent to a minimum of 792 trees within the Project Site.
- Install weather-based irrigation systems which include rain sensing timers.

Equestrian Facility:

The private equestrian facility is an existing use on the Project site which includes approximately 165 horses on approximately 375 acres of land. The proposed equestrian facility is subject to a Major Use Permit and would permit a maximum of 400 horses on 203.15 acres of land. No expansion of the overall footprint is proposed for the MUP. The majority of the work proposed for the equestrian facility includes formalizing existing uses and structures through permits, although some improvements are proposed within the facility. Please see the lists below for the facility's existing components and the proposed facility improvements.

The following existing components are currently located within the area proposed to be covered by the equestrian facility and MUP:

- a. 8 barns
- b. 5 houses (used as employee housing)
- c. 1 manufactured home (used as employee housing)

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- d. 5 water wells including 3 well houses
- e. ~~37~~ 34 horse pens (covered and uncovered, and of varying sizes)
- f. 1 horse exercise arena
- g. 2 open air training arenas
- h. ~~14~~ 9 horse shade structures
- i. ~~21~~ 25 pastures

In addition to existing structures, the following proposed improvements are included in the overall site plan for the equestrian facility:

- a. ~~11~~ 16 horse shade structures
- b. 1 horse aquatic therapy pool
- c. 1 relocated manufactured home (used as employee housing)
- d. 1 replacement manufactured home (used as employee housing)
- e. 1 replacement equipment maintenance shop
- f. 4 horse pens (covered and uncovered, and of varying sizes)

The primary access into the equestrian facility would be from Road A, which would be a new two-lane public road with 40 feet of paved width and a minimum of 62 feet of right-of-way. Secondary access would be from the private segment of Dulin Road at the east end of the equestrian facility.

Grading and Construction

Earthwork is anticipated to consist of 1.9 million cubic yards of even cut and fill. No off-site import or export would be required for the Project. Construction is anticipated to commence in 2022 and be completed by 2029. The Project's anticipated occupancy date is 2030.

Overview of 15183 Checklist

California Public Resources Code section 21083.3 and California Environmental Quality Act (CEQA) Guidelines Section 15183 provide an exemption from additional environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an Environmental Impact Report (EIR) was certified, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that: (1) Are peculiar to the project or the parcel on which the project would be located, and were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent, (2) Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan or zoning action, or (3) Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR. Section 15183(c) further specifies that if an impact is not peculiar to the parcel or to the proposed project, has been addressed as a significant effect in the prior EIR, or can be substantially mitigated by the imposition of uniformly applied development policies or standards, then an additional EIR need not be prepared for that project solely on the basis of that impact.

General Plan Update Program EIR

The County of San Diego General Plan Update (GPU) establishes a blueprint for future land development in the unincorporated County that meets community desires and balances the environmental protection goals with the need for housing, agriculture, infrastructure, and economic vitality. The GPU applies to all of the unincorporated portions of San Diego County and directs population growth and plans for infrastructure needs, development, and resource protection. The GPU included adoption of new General Plan elements, which set the goals and policies that guide future development. It also included a corresponding land use map, a County Road Network map, updates to

Community and Subregional Plans, an Implementation Plan, and other implementing policies and ordinances. The GPU focuses population growth in the western areas of the County where infrastructure and services are available in order to reduce the potential for growth in the eastern areas. The objectives of this population distribution strategy are to: 1) facilitate efficient, orderly growth by containing development within areas potentially served by the San Diego County Water Authority (SDCWA) or other existing infrastructure; 2) protect natural resources through the reduction of population capacity in sensitive areas; and 3) retain or enhance the character of communities within the unincorporated County. The SDCWA service area covers approximately the western one third of the unincorporated County. The SDWCA boundary generally represents where water and wastewater infrastructure currently exist. This area is more developed than the eastern areas of the unincorporated County, and would accommodate more growth under the GPU.

The GPU EIR was certified in conjunction with adoption of the GPU on August 3, 2011. The GPU EIR comprehensively evaluated environmental impacts that would result from Plan implementation, including information related to existing site conditions, analyses of the types and magnitude of project-level and cumulative environmental impacts, and feasible mitigation measures that could reduce or avoid environmental impacts.

Summary of Findings

The Ocean Breeze Ranch Project is consistent with the analysis performed for the GPU EIR. Further, the GPU EIR adequately anticipated and described the impacts of the Project, identified applicable mitigation measures necessary to reduce Project specific impacts, and the Project implements these mitigation measures (see [http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_7.00 - Mitigation Measures 2011.pdf](http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_7.00_-_Mitigation_Measures_2011.pdf) for complete list of GPU Mitigation Measures.

A comprehensive environmental evaluation has been completed for the Project as documented in the attached §15183 Exemption Checklist. This evaluation concludes that the Project qualifies for an exemption from additional environmental review because it is consistent with the development density and use characteristics established by the County of San Diego General Plan, as analyzed by the San Diego County General Plan Update Final Program EIR (GPU EIR, ER #02-ZA-001, SCH #2002111067), and all required findings can be made.

In accordance with CEQA Guidelines §15183, the Project qualifies for an exemption because the following findings can be made:

1. **The Project is consistent with the development density established by existing zoning, community plan or general plan policies for which an EIR was certified.**
The Project would subdivide a 1,402.5-acre property into 396 lots as a Conservation Subdivision, which is consistent with the development density established by the General Plan and the certified GPU EIR. County Subdivision Ordinance Section 81.401(r) calls for residential Projects with lands designated as SR-10, and RL-20 through RL-80 to be designed as conservation subdivision. The Project has been designed as a conservation subdivision but consolidating the Project's development footprint in a way which minimizes impacts to environmental resources per Sec. 81.401(r)(1), with avoided areas set aside from development by conservation easements per Sec. 81.401(r)(1).
2. **There are no Project specific effects which are peculiar to the Project or its site, and which the GPU EIR Failed to analyze as significant effects.**
The subject property is no different than other properties in the surrounding area, and there are no Project specific effects which are peculiar to the Project or its site. The Project site is located in an area developed with similarly sized, estate residential lots with associated accessory uses.

15183 Statement of Reasons

The property does not support any peculiar environmental features, and the Project would not result in any peculiar effects.

In addition, as explained further in the 15183 Checklist below, all Project impacts were adequately analyzed by the GPU EIR. The Project could result in potentially significant impacts to Agriculture/Forestry Resources, Biological Resources, Cultural Resources, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Transportation and Traffic, and Wildfire. However, applicable mitigation measures specified within the GPU EIR have been made conditions of approval for this Project. Transportation and Traffic impacts would remain significant and unmitigable but would not result in a peculiar impact or a more severe impact, than anticipated by the GPU EIR.

3. There are no potentially significant off-site and/or cumulative impacts which the GPU EIR failed to evaluate.

The Project is consistent with the density and use characteristics of the development considered by the GPU EIR and would represent a small part of the growth that was forecast for build-out of the General Plan. The GPU EIR considered the incremental impacts of the Project, and as explained further in the 15183 Exemption Checklist below, no potentially significant off-site or cumulative impacts have been identified which were not previously evaluated.

4. There is no substantial new information which results in more severe impacts than anticipated by the GPU EIR.

As explained in the 15183 exemption checklist below, no new information has been identified which would result in a determination of a more severe impact than what had been anticipated by the GPU EIR.

5. The Project will undertake feasible mitigation measures specified in the GPU EIR.

As explained in the 15183 exemption checklist below, the Project will undertake feasible mitigation measures specified in the GPU EIR. These GPU EIR mitigation measures will be undertaken through Project design, compliance with regulations and ordinances, or through the Project's conditions of approval.



Signature

12/13/2019 9/19/2019

Date

Jenna Roady

Printed Name

Land Use/Environmental
Planner

Title

CEQA Guidelines §15183 Exemption Checklist

Overview

This checklist provides an analysis of potential environmental impacts resulting from the Project. Following the format of CEQA Guidelines Appendix G, environmental effects are evaluated to determine if the Project would result in a potentially significant impact triggering additional review under Guidelines section 15183.

- Items checked “Significant Project Impact” indicates that the Project could result in a significant effect which either requires mitigation to be reduced to a less than significant level or which has a significant, unmitigated impact.
- Items checked “Impact not identified by GPU EIR” indicates the Project would result in a Project specific significant impact (peculiar off-site or cumulative that was not identified in the GPU EIR).
- Items checked “Substantial New Information” indicates that there is new information which leads to a determination that a Project impact is more severe than what had been anticipated by the GPU EIR.

A Project does not qualify for a §15183 exemption if it is determined that it would result in: 1) a peculiar impact that was not identified as a significant impact under the GPU EIR; 2) a more severe impact due to new information; or 3) a potentially significant off-site impact or cumulative impact not discussed in the GPU EIR.

A summary of staff’s analysis of each potential environmental effect is provided below the checklist for each subject area. A list of references, significance guidelines, and technical studies used to support the analysis is attached in Appendix A. Appendix B contains a list of GPU EIR mitigation measures.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
1. AESTHETICS – Would the Project:			
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

A Visual Impact Analysis has been prepared by Helix Environmental Planning, August 2019, for the proposed Project. The following discussion has incorporated the analysis from the Visual Impact Analysis.

1(a) The GPU EIR concluded this impact to be less than significant with mitigation. A vista is a view from a particular location or composite views along a roadway or trail. Scenic vistas often refer to views of natural lands but may also be compositions of natural and developed areas, or even entirely of developed and unnatural areas, such as a scenic vista of a rural town and surrounding agricultural lands. What is scenic to one person may not be scenic to another, so the assessment of what constitutes a scenic vista must consider the perceptions of a variety of viewer groups.

The items that can be seen within a vista are visual resources. Adverse impacts to individual visual resources or the addition of structures or developed areas may or may not adversely affect the vista. Determining the level of impact to a scenic vista requires analyzing the changes to the vista as a whole and also to individual visual resources.

As described in the General Plan Update Environmental Impact Report (GPU EIR; County of San Diego 2011), the County contains visual resources affording opportunities for scenic vistas in every community. Resource Conservation Areas (RCAs) are identified within the GPU EIR and are the closest that the County comes to specifically designating scenic vistas. Many public roads in the County currently have views of RCAs or expanses of natural resources that would have the potential to be considered scenic vistas. Numerous public trails are also available throughout the County. New development can often have the potential to obstruct, interrupt, or detract from a scenic vista.

The Project site is located at 5820 West Lilac Road, within the Bonsall and Fallbrook Communities of the unincorporated County of San Diego. The Project site spans across 1,402.52 acres and is located just south of SR-76 and the San Luis Rey River. The I-15 is located approximately 0.3 mile east of the Project site. Both the SR-76 and the I-15 are County designated scenic highways. For further information on scenic highways, refer to response I(b).

A number of RCAs have been identified by the County that are located within approximately 3 miles of the Project site. While the RCAs within a 3-mile radius of the site are generally focused on sensitive habitats, the following are also identified as visual resources: San Marcos Mountain, Gopher Canyon and Lancaster Mountain. Both the San Marcos Mountains and Gopher Canyon are located approximately 3 miles south of the Project site, with Gopher canyon located just north east of the San Marcos Mountains. Lancaster Mountain is located east of the I-15 and north of Woods Valley Road, approximately 1.4 miles east of the Project site. Due to distance, intervening topography and the elevation of the Project site, the Project would not detract from any views of the aforementioned RCAs. In addition, the Project would not be expected to diminish any viewsheds from the RCAs. Because of the distance and intervening topography, viewsheds from the San Marcos Mountains and Gopher Canyon would not be impacted by the Proposed Project. Further, there are no identified County trails on the scenic portion of Lancaster Mountain. The Lancaster Creek trail crosses along the lower elevation of the mountain but would not afford views of the Project site.

Additional trail systems and public parks exist throughout the Project vicinity (figure 3 of the Visual Impact Analysis) that are not designated as a County RCA, however none would provide topographically accessible views to the Project. The County has also identified a number of proposed community trails within the Community Trails Master Plan that would have views of the site based on topography. However, visibility to the site is restricted due to intervening land uses and/or vegetation. Further, where trails are future actions (e.g., the San Luis River South trail that would enter the Project), viewers are not expected to be particularly sensitive to Project changes. Individuals would not be walking/riding immediately adjacent to, or on, site unless the Project is already developed and would therefore not be comparing the views to any existing condition. Moreover, the proposed Project would provide for the protection of 832.7 acres within biological open space and would not be developed, further reducing visibility of the development footprint within the site.

As previously discussed, the GPU EIR determined impacts on scenic vistas to be less than significant with mitigation. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 1(b) The GPU EIR concluded this impact to be less than significant with mitigation. State scenic highways refer to those highways that are officially designated by the California Department of Transportation (Caltrans) as scenic (Caltrans - California Scenic Highway Program). Generally, the area defined within a State scenic highway is the land adjacent to and visible from the vehicular right-of-way. The dimension of a scenic highway is usually identified using a motorist's line of vision, but a reasonable boundary is selected when the view extends to the distant horizon. The scenic highway corridor extends to the visual limits of the landscape abutting the scenic highway.

No Scenic Highways designated by Caltrans are in proximity to the Project site. However, the County General Plan identifies roadways that are designated as scenic corridors within the Conservation and Open Space Element and have been included as part of the County Scenic Highway System. Designated scenic roadways located in the vicinity of the Project site include I-15 from Escondido city limits to Riverside County Line, SR-76 from Oceanside city limits to I-15, Mission Road from SR-76 east to Reche

Road, Gird Road from its intersection with SR-76 north to Reche Road and Camino Del Rey from SR-76 to its terminus at Old Highway 395.

No direct views to the Project site are available from South Mission Road, Camino Del Rey, or Gird Road due to constraining intervening topography, structures, and landscaping. Views into the Project site from the SR-76 are also minimal due to the San Luis Rey River dense vegetation. Only peek views, such as roofing, of planning area one (PA1), would be available from certain areas along SR-76 where vegetation thins. The Project site would generally be hidden and these small glimpses of the Project site would not substantially detract from the views available along the SR-76. This is also true for views from the I-15 located 0.3 mile to the east of the Project site. Thick continuous vegetation, as well as intervening topography, provide minimal views of the Project site. In addition, the majority of the proposed development is located on the west end of the 1,402.52 acre site. The most noticeable features from the I-15 (Photo 19 of the Visual Analysis Report) would include intervening land uses located east of the Project site, a recycling facility located off of Old Highway 395, as well as the hills to the north and south of the Project in the background. Although the I-15 serves a large number of viewers, the majority of views of the Project site are obscured or inconsequential.

In addition to the General Plan Scenic Highway System, West Lilac Road is a Mobility Element Road which has been noted as unique and aesthetically important within the Bonsall Community Plan. Views to the Project from most portions of West Lilac Road would be shielded by intervening topography and vegetation. However, along portions of West Lilac Road between Old Highway 395 and its western terminus Camino del Rey, brief views are available into the Project site. These locations would include the following: a peek view of the westernmost corner of the site as a traveler rounds a bend; near the proposed east entrance to the site between Jimdora Way and Redondo Drive (identified as Key View 1 in the Visual Analysis Report); and along the eastern edge of the property where it borders West Lilac Road east of Sullivan Middle School. Structures which would be available to be seen from the SR-76 would be built consistent with the Bonsall Community Plan and Design Guidelines. This includes being constructed of muted tones (creams, browns, tans, and taupes) to blend in with their surroundings as well as incorporation of various textures and elements that would provide visual interest, and minimize monotony of structures. These would include varied roof and gable lines, porches/recessed front doors, window treatments (e.g., decorative shutters, recessed windows), exterior cladding materials and textures, sectional garage doors, articulations, massing, and other architectural design elements. In addition, Although the built nature of the Project would vary from the existing condition, it is not expected to demonstrate character that is inconsistent with other residential uses in the overall area.

Lastly, no identified visual resources such as unique topographic features have been identified on-site. It is noted that rock outcroppings on-site would generally be retained in the approximately 61 percent of site acreage within the Biological Open Space easement. Historic resources have also been identified on-site as a cluster of 5 structures in conjunction with the equestrian use, but would be preserved in perpetuity.

As previously discussed, the GPU EIR determined impacts on scenic resources to be less than significant with mitigation. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with

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the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 1(c) The GPU EIR concluded this impact to be significant and unavoidable. Visual character is the objective composition of the visible landscape within a viewshed. Visual character is based on the organization of the pattern elements line, form, color, and texture. Visual character is commonly discussed in terms of dominance, scale, diversity and continuity. Visual quality is the viewer's perception of the visual environment and varies based on exposure, sensitivity and expectation of the viewers.

The existing visual character and quality of the Project surroundings are characterized by the San Luis Rey River valley and surrounding hills, rural residential development, and agricultural use types. The existing setting includes uses to large lot/estate homes, with some visible agricultural or equestrian elements. Large expanses of retained open space (primarily of scrub habitats) on hillsides, groves and landscaping provide visually unifying natural elements as they are located within and around structural development. Viewer groups of the Project site would include motorists, and to a lesser extent recreationalists, such as walkers, bikers and hikers. As indicated in response 1(a), the viewer exposure to the site is limited due to a number of factors including distance, as well as intervening topography, vegetation and structures.

In addition, the Project within the landscape would not detract from or contract with the existing visual character and/or quality of the surrounding area for the following reasons: consistency with the General Plan Density allowance on-site, conformance with the Bonsall Community Plan and Bonsall Design Guidelines, location of development within the site surrounded by vast open areas preserved within biological open space easements (approximately 61% of the site) and overall relatively low viewer exposure within the site of the proposed development. As discussed in section 1(b), the Project would also use muted tones (creams, browns, tans, and taupes) to blend in with the surroundings as well as incorporate various textures and elements to minimize monotony of structures.

Further, the overall bulk and scale of the proposed buildings would be minimized and rendered more visually interesting through breaking up façades using: vertical and horizontal elements; incorporating variation in the roofline through the use of gables, overhangs, rafter tails, etc.; and use of accent colors on trim, shutters, and architectural elements to provide visual interest and character. Roofs would uniformly be of concrete tiles in reds, browns and dark greys, and exterior façades and design elements would be in greys and earth tones to visually blend with the surrounding area. The Project would incorporate forms indicative of traditional farmhouse and Craftsman style architecture with porches, dormers, and simple roof shapes. Thus, the proposed Project would not substantially degrade the existing visual character or quality of the site and its surroundings.

As previously discussed, the GPU EIR determined impacts on visual character or quality to be significant and unavoidable. However, the Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 1(d) The GPU EIR concluded this impact to be significant and unavoidable. The Project would use outdoor lighting but is not located within Zone A of the County of San Diego

Light Pollution Code (within twenty miles of the Mount Laguna Observatory or the Palomar Observatory). The Project is located within Zone B of the Light Pollution Code (at least twenty miles of the Mount Laguna Observatory or the Palomar Observatory) and would not adversely affect nighttime views or astronomical observations because the Project would be required to conform to the Light Pollution Code (Section 51.201-51.209). This would include the utilization of the Zone B lamp type and shielding requirements per fixture and hours of operation limitations for outdoor lighting and searchlights. The Code was developed by the County in cooperation with lighting engineers, astronomers, and other experts to effectively address and minimize the impact of new sources light pollution on nighttime views. Compliance with the Code would be required prior to issuance of a building permit. Thus, the proposed Project would not create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area.

As previously discussed, the GPU EIR determined impacts from light or glare to be significant and unavoidable. However, the proposed Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Aesthetics, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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2. Agriculture/Forestry Resources

– Would the Project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide or Local Importance as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, or other agricultural resources, to a non-agricultural use?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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c) Conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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d) Result in the loss of forest land, conversion of forest land to non-forest use, or involve other changes in the existing environment, which, due to their location or nature, could result in conversion of forest land to non-forest use?

e) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Important Farmland or other agricultural resources, to non-agricultural use?

Discussion

The Project has incorporated design features from the Guidelines for Determining Significance, Agricultural Resources. Design features are measures the applicant willingly incorporates into the Project that is then factored into the analysis of potential impacts:

Design Considerations

The following is a list of design considerations for the Project:

- Incorporate compatibility buffers to separate agricultural parcels from non-agricultural land uses, potentially including measures such as natural and/or planted vegetation, physical barriers (e.g., roads or walls), and easements that restrict incompatible uses (with the referenced Guidelines identifying compatibility buffers as "...the primary tool to increase compatibility between agricultural resources and non-agricultural uses.").
- Incorporate appropriate land use transitions such as reduced density near adjacent farmland to decrease the number of residents that abut farms.
- Incorporate appropriate fencing or barriers to minimize trespass.

2(a) The GPU EIR concluded this impact to be significant and unavoidable. According to the Agricultural Resources Report (Helix Environmental Planning, August 2019), the Project site is an important agricultural resource. The County uses the Local Agricultural Resource Assessment (LARA) model to assess the relative value of agricultural resources in the County of San Diego. The LARA Model resulted in a high rating for climate, water, surrounding land use and land use consistency, and a moderate rating for soil quality and topography. Based on the ratings of the factors above, the site was determined to be an important agricultural resource pursuant to the LARA Model. Specific documentation of the LARA model can be found in the Guidelines for Determining Significance for Agricultural Resources.

Direct Impact Analysis

Pursuant to the Agricultural Resources Report and LARA Model, the Project site has land designated as Farmland of Local (205.47 acres), Statewide (230.50 acres), Prime (120 acres), and Unique (239.91 acres) candidate soils as defined by the State Farmland Mapping and Monitoring Program (FMMP). Portion of the Project site have been used for cattle ranching in the late 19th Century, with cultivation of various crops beginning in the 1930s and expanding through the 1970s. The agricultural use varied through the years and were ultimately burned in the 2017 Lilac Fire. No agricultural uses are currently taking place on-site today. However, due to the history of agricultural use on-site and significant soils, the Project would be required to mitigate for 244 acres of direct on and off-site agricultural resources at a 1:1 ratio pursuant to the Guidelines for

Determining Significance for Agricultural Resources. To ensure the agricultural resources would remain viable for future use, the dedication of an offsite agricultural easement would be required as a condition of the Project.

The County has an agricultural conservation program known as the Purchase of Agricultural Conservation Easement (PACE) Program, which was conceptually identified in the GPU EIR as mitigation measure Ag-1.4. The PACE Program promotes the long term preservation of agriculture in the County of San Diego. Under the PACE Program, willing agricultural property owners are compensated for placing a perpetual easement on their property that limits future uses to agriculture. As a result, the agricultural land is preserved and the property owner receives compensation making the land's continued use for agriculture more viable. The PACE Program Mitigation Bank and Credits was adopted in 2014. With this expanded component, easement lands acquired by the County under the PACE Program can be utilized as off-site mitigation for agricultural impacts resulting from private development Projects. The applicant has the option to mitigate through a separate entity, to enter into PACE, or a combination of both. With the incorporation of the below mitigation measure, the proposed Project would reduce direct impacts to farmland.

Mitigation

The following mitigation measure would be required for the Project, which is consistent with General Plan mitigation measure Ag-1.4:

Agricultural Preservation

- The Project applicant shall provide 244 acres of mitigation to address identified direct impacts to on- and off-site agricultural resources from the proposed development, through a combination of either: (1) acquiring 244 acres of pertinent agricultural resource credits through the County PACE Program; or (2) purchasing off-site agricultural lands or easements totaling 244 acres that conform with the County Agricultural Guidelines (pursuant to County approval).

Indirect Impact Analysis

The proposed Project would place development in proximity to land that has been designated as Farmland of Local (334.06 acres), Statewide (61.44 acres), Prime (24.09 acres) and Unique (574.97 acres) candidate soils as defined by FMMP. Portions of the important agricultural resources surrounding the Project site are located within existing agricultural operations. The operations would include relatively large-scale orchards and commercial nurseries, as well as smaller areas of row-field crops, greenhouses, and vineyards. Based on these conditions, the proposed Project has the potential to result in interface conflicts with the nearby agricultural operations. In order to reduce any interface conflicts with an off-site agricultural resource, design considerations, including compatibility buffers, fencing and land use transitions have been incorporated from the Guidelines for Determining Significance. For a list of Project design features, please see above in analysis.

As previously discussed, the GPU EIR determined impacts from direct and indirect conversion of agricultural resources to be significant and unavoidable. However, the proposed Project would have a less-than-significant indirect impact and would incorporate the GPU EIR mitigation measure Agr-1.4 for a less-than-significant direct impact with mitigation. Therefore, the Project would be consistent with the analysis provided within the GPU EIR.

- 2(b) The GPU EIR concluded this impact to be less than significant with mitigation. The Project site is not located within a Williamson Act contract or an agricultural preserve. Two active Williamson Act Contracts (Contract Nos. 77-48 and 78-05) are located approximately 0.7 mile north and 0.4 mile northeast of the Project site. No associated interface conflicts or impacts are anticipated from implementation of the proposed Project due to intervening distances, as well as the type of crop. Both contracts consist of orchards which are generally compatible with most rural residential uses pursuant to the Guidelines of Determining Significance, Agricultural Resources.

However, portions of the Project site are zoned for agriculture. In addition, a number of surrounding properties within a quarter mile radius of the Project site, particularly areas to the south, include Zoning designations (e.g., A 70) and related conditions (undeveloped areas) that would potentially accommodate additional agricultural uses under County Jurisdiction. While these undeveloped properties could potentially be subject to future agricultural use, associated significant interface conflicts or impacts related to the proposed Project residential uses are not anticipated based on the following considerations:

- Off-site land use and zoning designations are not exclusive to agriculture, with agricultural uses in these areas typically associated with additional uses, such as estate residential development (with numerous areas of such mixed agricultural/residential use already present). In addition the County Guidelines for Determining Significance for Agricultural Resources permit and anticipate the co-existence of single-family estate housing and high-value crop production, such as orchards
- The Proposed Project would include required conformance with the County Agricultural Enterprises and Consumer Information Ordinance (County Code Section 63.401 et seq.). This Ordinance is intended primarily to identify and limit the circumstances under which agricultural activities may constitute a nuisance. The ordinance notes that agricultural uses may be converted to other uses or zones, whether or not the parcels are zoned for agricultural uses. It prohibits land use changes in the vicinity of existing agricultural uses, however (when such uses have been established for a minimum of 3 years), that would result in the existing agricultural uses to be deemed a nuisance if they were not a nuisance prior to the proposed land use change. In addition, the Ordinance requires prospective property buyers (new or resale buyers) in unincorporated areas to be notified that agricultural activities may occur in the vicinity, and that associated inconveniences, irritations or discomforts could potentially result.

As previously discussed, the GPU EIR determined impacts from land use conflicts to be less than significant with mitigation. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 2(c) The GPU EIR concluded this impact to be significant and unavoidable. The project site including any offsite improvements do not contain any forest lands as defined in Public Resources Code section 12220(g), therefore Project implementation would not result in the loss or conversion of forest land to a non-forest use. The outer edge of the Cleveland National Forest is located approximately 9.0 mile to the east of the Project

site. Thus, due to distance, the Project would have no impact on the Forest. In addition, the County of San Diego does not have any existing Timberland Production Zones.

As previously discussed, the GPU EIR determined impacts from direct and indirect conversion of agricultural resources (including forest resources), to be significant and unavoidable. However, the Project would have a less-than-significant impact to forest resources. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

2(d) The GPU EIR concluded this impact to be significant and unavoidable. As indicated in response 2(c), the Project site, or any off-site improvements, are not located near any forest lands. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

2(e) The GPU EIR concluded this impact to be significant and unavoidable. No agricultural operations are currently taking place on the Project site. In addition, no impacts would occur in association with interface conflicts due to Project design features. Please refer to response 2(a) and 2(b) for a discussion on off-site agricultural resources, interface conflicts and design features.

As previously discussed, the GPU EIR determined impacts from direct and indirect conversion of agricultural resources (including forest resources) to be significant and unavoidable. The proposed Project also determined impacts to agricultural resources to be potentially significant. However, the proposed Project would have a less-than-significant indirect impact and would incorporate the GPU EIR mitigation measure Agr-1.4 for a less-than-significant direct impact with mitigation. In addition, the Project would have a less than significant impact from land-use conflicts. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Agricultural/Forestry Resources, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR (Agr-1.4) would be applied to the Project. This mitigation measure, detailed above, requires the project applicant shall provide 244 acres of mitigation to address identified direct impacts to on- and off-site agricultural resources from the proposed development, as fully detailed above.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
3. Air Quality – Would the Project:			
a) Conflict with or obstruct implementation of the San Diego Regional Air Quality Strategy (RAQS) or applicable portions of the State Implementation Plan (SIP)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

An Air Quality Assessment was prepared for the Project by Ldn Consulting, Inc. on July 23, 2019.

The proposed Project has incorporated design features, which have been included within the below analysis:

- The Project would only install Natural Gas fireplaces within all 396 residential units.
- The Project would utilize architectural coatings compliant with San Diego Air Pollution Control District (SDAPCD) Rule 67 (SDAPCD, 2015).

3(a) The GPU EIR concluded this impact to be less than significant. The RAQS and SIP are based on General Plans within the region and the development assumptions contained within them. The proposed Project is for the development of 396 residential lots and an existing equestrian facility with proposed improvements. The density allowed on the Project site per the County General Plan and the Zoning Ordinance is 402 units. Thus, the proposed Project is consistent with the density allowed under the General Plan and would not conflict with the RAQS or SIP.

As previously discussed, the GPU EIR determined impacts on air quality plans to be less than significant. As the proposed Project would have a less-than-significant for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

3(b) The GPU EIR concluded impacts to be significant and unavoidable.

The air quality analysis takes into account both the construction and operational phases of the Project.

Construction

Grading of the proposed Project would commence in year 2022 with construction ending in year 2029. Approximately 1.9 million cubic yards of balanced cut and fill would be required for the development. CalEEMod 2016.3.2 was utilized for all calculations and included manual updates to the model to reflect the usage of SDAPC Rule 67 paint VOC limits as well as design features to use Tier 3 or better ratings with diesel particulate filters for all diesel equipment used during grading and construction. The model also incorporated the required moving of 945,000 cubic yards of dirt to PA-1 and PA-2 on-site as well as the three separate blasts to occur on-site.

The model results for grading and construction concluded that the Project would not exceed County screening level thresholds with the implementation of Project conditions:

- The proposed Project would utilize Tier 3 or better U.S.EPA/CARB-certified construction equipment with diesel particulate filters
- The proposed Project would utilize no more than six (6) tons of ammonium nitrate per blast and would not blast an area greater than 20,000 square feet per day.

In addition, all grading operations associated with the construction of the Project would be subject to the Grading Ordinance, which requires the implementation of dust control measures. Moreover, emissions from the construction phase would be temporary and localized.

Operation

Operational emissions were calculated using CalEEMod 2016.3.2, an air quality and GHG emissions software model. The model was run for the winter and summer scenarios to determine operational impacts for the buildout year of full operations. Operational emissions would primarily occur from vehicle trips from residents that would occupy the site. The vehicle trips generated from the Project would result in 3,990 Average Daily Trips. Based on those calculations, the proposed Project would not exceed SDAPCD operational air quality significance thresholds with the implementation of Project design features.

Projects that generate traffic may result in the formation of locally high concentrations of CO, known as CO "hot spots". An analysis for Carbon Monoxide (CO) hotspots was included within the Air Quality Analysis and was based upon the results of direct and cumulative impacts to intersection included within the Traffic Study. For the majority of the intersections analyzed, the Project was found to not result in a CO hotspots due either to its trip generation or peak hour trips. One specific intersection (Highway 76/ Olive Hill Road/ Camino Del Rey) did result in over 5,074 vehicles during the PM peak-hour of which 80 and Project related. To determine if the intersection would result in a CO hotspot, the EMFAC2014 model was used. Based on the model of the worst case intersection having the highest number of peak hour vehicles and the highest number of Project added vehicles, the Project would produce less than significant CO impacts according to the San Diego Air Pollution Control District standards. Impacts would be less than significant.

As previously discussed, the GPU EIR determined significant and unavoidable impacts to air quality violations. However, the Project would have a less-than-significant impact to air quality violations with the incorporation of Project conditions for construction. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

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- 3(c) The GPU EIR concluded this impact to be significant and unavoidable. The Project would contribute to particulate pollution (PM₁₀), nitrogen oxide gases (NO_x), and volatile organic compounds (VOCs) emissions from construction/grading activities; however, the incremental increase would not exceed established screening thresholds (see question 3(b) above).

As previously discussed, the GPU EIR determined significant and unavoidable impacts to non-attainment criteria pollutants. However, the Project would have a less than significant impact to non-attainment criteria pollutants with the incorporation of Project conditions. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 3(d) The GPU EIR concluded this impact to be significant and unavoidable. The Project would introduce additional residential homes which are considered new sensitive receptors and an equestrian facility; however, the Project site is not located within a quarter-mile of any identified point source of significant emissions. Similarly, the Project does not propose uses or activities that would result in exposure of these sensitive receptors to significant pollutant concentrations and would not place sensitive receptors near any CO hotspots.

As previously discussed, the GPU EIR determined significant and unavoidable impacts to sensitive receptors. However, the Project would have a less than significant impact to sensitive receptors. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 3(e) The GPU EIR concluded this impact to be less than significant. The proposed Project includes an existing equestrian facility which would continue to operate as a separate facility. These equestrian activities would generate equestrian odors which cannot be avoided. Each residential unit sold within the Project site would require full disclosure in perpetuity of any equestrian activities taking place within the Project site. In addition, a Vector Control Plan and a Manure Management Plan have been prepared for the equestrian facility. The facility would be required to follow all applicable odor and vector control guidance by both the San Diego Air Pollution Control District and the County of San Diego.

The Project could also produce objectionable odors during construction and operation of the residential components; however, these substances, if present at all, would only be in trace amounts (less than 1 µg/m³). Therefore, the Project would not create objectionable odors affecting a substantial number of people.

As previously discussed, the GPU EIR determined less than significant impacts from objectionable odors. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Air Quality, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
4. Biological Resources – Would the Project:			
a) Have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Conflict with the provisions of any adopted Habitat Conservation Plan, Natural Communities Conservation Plan, other approved local, regional or state habitat conservation plan or any other local policies or ordinances that protect biological resources?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

Biological resources on the Project site were evaluated in a Biological Resources Report prepared by Helix Environmental Planning, Inc. (HELIX), dated August 7, 2019. General biological surveys of the Project site were conducted between 2013 and 2016 and mapping for the offsite Camino del Rey Project component was conducted in 2019. A formal jurisdictional delineation, rare plant surveys, habitat assessments for burrowing owl (*Athene cunicularia*), Stephens' kangaroo rat (*Dipodomys stephensi*), arroyo toad (*Anaxyrus californicus*), Hermes copper butterfly (*Lycaena hermes*), coastal cactus wren (*Camphylorhynchus brunneicapillus*), and coastal California gnatcatcher (*Poliophtila californica californica*), protocol-level surveys for Hermes copper butterfly, burrowing owl, coastal California gnatcatcher, least Bell's vireo (*Vireo bellii pusillus*), southwestern willow flycatcher (*Empidonax traillii extimus*), and Stephens' kangaroo rat and focused surveys for western spadefoot (*Spea hammondi*) were also conducted.

- 4(a) The GPU EIR concluded this impact to be significant and unavoidable.

Habitat Types

A total of 22 vegetation community/land cover types occur within the Project site including southern cottonwood willow riparian forest, southern willow scrub, mule fat scrub, freshwater marsh, herbaceous wetland, tamarisk scrub, open water/freshwater pond, coast live oak woodland, Diegan coastal sage scrub, flat-topped buckwheat scrub, coastal sage-chaparral scrub, southern mixed chaparral, non-native grassland, pasture, row crops, agricultural pond, eucalyptus woodland, orchard, fallow orchard, non-native vegetation, disturbed habitat, and developed lands.

The Project would result in impacts to southern willow scrub, mule fat scrub, tamarisk scrub, coast live oak woodland, Diegan coastal sage scrub, flat-topped buckwheat scrub, non-native grassland and pasture.

Special Status Plant Species

Four special status plant species were observed on the Project site, which include Brewer's Calandrinia (*Calandrinia breweri*), Delicate Clarkia (*Clarkia delicata*), Graceful Tarplant (*Holocarpha virgata* ssp. *elongata*), and Smooth Tarplant (*Centromadia pungens* ssp. *laevis*). Apart from the species observed on site, no additional special status plant species were considered to have high potential to occur based on results of focused surveys and analysis of species with potential to occur in the region.

No impacts would occur to County List A or B plant species. The Project would result in impacts to one County List D species: graceful tarplant. No other County Group C or D plant species would be impacted by the Project.

Special Status Animal Species

Twenty-seven special status animal species have been observed or detected on or directly adjacent to the Project site or flying over the site. The Project would result in impacts to suitable breeding or foraging habitat for 21 special status animal species observed or detected on or adjacent to the site, including coastal California gnatcatcher, least Bell's vireo, northern harrier, southern California rufous-crowned sparrow, Cooper's hawk, California horned lark, red-shouldered hawk, vermilion flycatcher, western bluebird, white-tailed kite, loggerhead shrike, white-faced ibis, turkey vulture, barn owl, snow goose, Canada goose, great blue heron, western spadefoot, coastal western whiptail, yellow warbler, and northwestern San Diego pocket mouse.

Mitigation Measures

As considered by the GPU EIR, Project impacts to sensitive habitat and/or species would be mitigated through ordinance compliance and through implementation of mitigation measures Bio 1.6 and Bio 1.7.

Specific mitigation measures BIO-1a through BIO-5 as detailed in the Biological Resources Report dated August 7, 2019, are also recommended for the Ocean Breeze Ranch Project as a condition of approval and are consistent with mitigation in the GPU EIR. These mitigation measures include the following:

- The applicant shall mitigate for the impacts to the California Gnatcatcher Habitat through preservation of 101.7 acres of Diegan Coastal Sage Scrub on-site within a biological open space easement
- The applicant shall mitigate for impacts to the least Bell's vireo foraging habitat through one or a combination of the following: on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of riparian habitat; and/or off-site purchase of riparian habitat mitigation credits at an approved mitigation bank, such as the San Luis Rey Mitigation Bank, or other location deemed acceptable by the County and Regulatory Agencies
- A qualified biologist shall conduct pre-construction surveys for Stephens' kangaroo rat. In the event of a positive survey, the Project proponent would coordinate with the Wildlife Agencies and the County PDS
- The applicant shall conform to the breeding season avoidance measures pursuant to the Migratory Bird Treaty Act (MBTA) occurring January 15 to July 15 for raptors and February 15 to August 31 for general nesting birds
- Temporary toad exclusionary fencing shall be installed prior to initiation of clearing or grading activities. Translocation surveys shall also be conducted by a qualified biologist to relocate arroyo toad (if present).
- Permanent toad exclusionary fencing shall be installed following the completion of construction activities along the northern limits of Planning Area 2 and portions of Planning Area 3, or as determining by the USFWS during Section 7 Consultation for CWA Section 404 permitting.
- Suitable foraging and aestivation habitat for arroyo toad and western spadefoot along the northern Project boundary and along the eastern riparian corridor shall be conserved within a biological open space easement. A limited use easement shall also be placed over pastures within the equestrian facility.
- The Project shall not impede flows from the eastern riparian corridor leading offsite to the Caltrans mitigation parcel. In conjunction with the improvements to Dulin Road, hydrologic connectivity under the road at the eastern riparian corridor shall be maintained by construction of box culverts sized to adequately convey flow volumes, as determined through civil engineering design.
- Concurrent with or prior to the initiation of Project construction, areas adjacent to the eastern riparian corridor that are currently in row crops would be planted/seeded with coastal sage scrub species, with the goal of improving the habitat quality of the wetland buffer. Monitoring and maintenance would be incorporated into the restoration effort.
- The applicant shall mitigate for impacts to non-native grassland through on-site preservation of 18.8 acres of non-native grassland within a biological open space easement.

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- The applicant shall mitigation for impacts to pasture through on-site preservation of 29.3 acres of grassland habitat and/or other like-functioning habitat within a biological open space easement.

As previously discussed, the GPU EIR determined impacts to special status species as significant and unavoidable. The Project also determined impacts to be significant. However, the proposed Project would incorporate the GPU EIR mitigation measures Bio 1.6 and Bio 1.7 (as well as Project specific mitigation measures consistent with the GPU EIR) for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 4(b) The GPU EIR concluded this impacts to be significant and unavoidable. Riparian habitat and other sensitive natural communities on the Project site were reevaluated in a Biological Resources Report prepared by Helix Environmental Planning, Inc. (HELIX), dated August 7, 2019. As detailed in 4(b) above, the Project would result in impacts to sensitive natural communities. The Project would also result in impacts to jurisdictional wetlands and riparian habitats as defined by the United States Army Corps of Engineers (USACE), California Department of Fish and Wildlife (CDFW), and/or County, including 0.01 acre of southern willow scrub, 0.17 acre of mule fat scrub, and less than 0.01 acre tamarisk scrub. The USACE non-wetland waters and CDFW unvegetated stream channel also would be impacted. Impacts to jurisdictional waters and wetlands include 0.20 acre of USACE non-wetland waters of the U.S., 0.40 acre of CDFW jurisdictional areas (including 0.19 acre of vegetated habitat and 0.21 acre of unvegetated stream channel), and 0.19 acre of County RPO wetland.

Mitigation Measures

As considered by the GPU EIR, Project impacts to riparian habitat or other sensitive natural community would be mitigated through ordinance compliance and through implementation of mitigation measures Bio 1.6, Bio 1.7, and Bio-2.2 through Bio-2.4.

Specific mitigation measures BIO-6a through BIO-10b as detailed in the Biological Resources Report dated August 7, 2019 are also recommended for the Ocean Breeze Ranch Project and are consistent with mitigation in the GPU EIR. A Conceptual Upland Restoration Plan (HELIX 2019) and Conceptual Wetland Restoration Plan (HELIX 2019) have been prepared for the Project. These mitigation measures include the following:

- Impacts to southern willow scrub, mule fat scrub, and tamarisk scrub would be mitigated through on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of 0.57 acre of riparian habitat; and/or off-site purchase of riparian habitat mitigation credits
- Impacts coast live oak woodland and oak root protection zones shall occur on-site within a biological open space easement.
- Impacts to Diegan coastal sage scrub and flat-topped buckwheat scrub shall occur on-site within a biological open space easement.
- Impacts to non-native grassland shall occur on-site within a biological open space easement.
- Impacts to USACE jurisdictional non-wetland waters of the U.S. would be mitigated through on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of waters of the U.S.; and/or off-site purchase of waters of the U.S. credits

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- Impacts to RPO wetland (southern willow scrub, mule fat scrub, and tamarisk scrub) would be mitigated at a 3:1 ratio with at least 1:1 creation, for a total mitigation requirement of 0.57 acre for County RPO wetlands.
- A Resource Management Plan (RMP) would be prepared for the on-site biological open space.
- A 100-ft wide limited building zone easement extending outward from the edge of the biological open space easement would be dedicated.
- A wetland revegetation plan for impacts to wetland habitat and jurisdictional waters to be submitted and approved by the County (wetland impacts only) and USACE, CDFW, and RWQCB (impacts to waters of the U.S. and CDFW wetlands).
- An upland revegetation plan for impacts to sensitive upland habitat would be prepared and approved by the County and Wildlife Agencies (USWFS and CDFW).
- Vegetation communities outside of the impact footprint shall be avoided during construction, environmental fencing (including silt fencing where determined necessary by the SWPPP), would be installed at the edges of the impact limits prior to initiation of grading. All construction staging shall occur within the approved limits of construction.
- A qualified biologist would monitor the installation of environmental fencing, would conduct a pre-construction environmental training session for construction personnel, and would monitor vegetation clearing, grubbing, and grading activities.

As previously discussed, the GPU EIR determined impacts to riparian habitat and other sensitive natural communities as significant and unavoidable. The proposed Project also determined impacts to be significant. However, the proposed Project would incorporate the GPU EIR mitigation measures Bio 1.6, Bio 1.7, and Bio 2.2 through Bio 2.4 (as well as Project specific mitigation measures consistent with the GPU EIR) for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 4(c) The GPU EIR concluded this impact to be less than significant with mitigation. Impacts to jurisdictional waters and wetlands would occur in order to accommodate necessary road crossings. Mitigation would occur through a combination of on- or off-site creation, restoration, enhancement, and/or purchase of credits at an approved wetland mitigation bank.

No federal wetlands as defined by Section 404 of the Clean Water Act would be impacted by the Project, however, 0.20 acre of non-wetland waters of the U.S. would be impacted. The impact to non-wetland waters of the U.S. would be potentially significant. Implementation of mitigation, as detailed in section 4b above, would reduce the impact to less than significant.

In addition, 0.40 acre of wetlands and waters under CDFW jurisdiction, and 0.19 acre of County RPO wetland would be impacted. These impacts to CDFW and RPO wetlands would be potentially significant. Implementation of mitigation, as detailed in section 4b above, would reduce these impacts to less than significant.

The Project requires preparation of a wetland revegetation plan for impacts to wetland habitat and jurisdictional waters to be approved by the County (wetland impacts only) and USACE, CDFW, and RWQCB (impacts to waters of the U.S. and CDFW wetlands) as detailed in section 4b above.

Mitigation Measures

As considered by the GPU EIR, Project impacts to jurisdictional wetlands and waters would be mitigated through ordinance compliance and through implementation of mitigation measures Bio 1.6, Bio 1.7, and Bio-2.2 through Bio-2.4.

Specific mitigation measures BIO-7a through BIO-7c as detailed in the Biological Resources Report dated August 7, 2019 are also recommended for the Ocean Breeze Ranch Project; the specific mitigation measures listed below are consistent with mitigation in the GPU EIR. These mitigation measures include the following:

- Impacts to USACE jurisdictional non-wetland waters of the U.S. would be mitigated through on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of waters of the U.S.; and/or off-site purchase of waters of the U.S. credits
- Impacts to southern willow scrub, mule fat scrub, and tamarisk scrub would be mitigated through on- and/or off-site establishment, re-establishment, rehabilitation, and/or enhancement of 0.57 acre of riparian habitat; and/or off-site purchase of riparian habitat mitigation credits
- Impacts to RPO wetland (southern willow scrub, mule fat scrub, and tamarisk scrub) would be mitigated at a 3:1 ratio with at least 1:1 creation, for a total mitigation requirement of 0.57 acre for County RPO wetlands.
- A wetland revegetation plan for impacts to wetland habitat and jurisdictional waters to be submitted and approved by the County (wetland impacts only) and USACE, CDFW, and RWQCB (impacts to waters of the U.S. and CDFW wetlands).

The Project would not result in impacts to federal wetlands; however, the Project would impact non-wetland waters of the U.S., CDFW streambed, and County RPO wetlands. With the implementation of mitigation measures BIO-7a, BIO-7b, BIO-7c, and BIO-9a, as summarized above, these impacts would be reduced to less than significant.

As previously discussed, the GPU EIR determined impacts to federally protected wetlands as less than significant with mitigation. The Project determined impacts to federally protected wetlands as potentially significant. However, the proposed project would incorporate the GPU EIR mitigation measures Bio 1.6 and Bio 1.7 (as well as Project specific mitigation measures consistent with the GPU EIR) for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 4(d) The GPU EIR concluded this impact to be significant and unavoidable. The Project's development footprint would be concentrated in previously disturbed areas, conserving native habitat to the extent feasible. Most of Project's proposed development is within lands that have been altered by decades of agricultural and equestrian uses. Only 72.1 acres (22 percent) of the 327.7 acres of on- and off-site impact are within native habitat or naturalized grassland.

The majority of native habitat present on the Project site would be conserved within the 832.7-acre biological open space easement, including 467.8 acres of Diegan coastal sage scrub. The majority of proposed biological open space is concentrated in a wide band of native scrub and woodland habitats across the eastern hills and southern portions of the Project site. Biological open space includes several hilltops and ridgelines that provide long lines-of-sight for birds and mammals. The Project would also increase

the viability of north-south wildlife movement on the Project site by revegetating the wetland buffer along the eastern riparian corridor from disturbed agriculture lands to sage scrub. Although portions of the biological open space in the eastern hills may ultimately be sold to another entity, any such sale would only be for preservation/conservation of habitat, thus maintaining the continuity of open space and wildlife connectivity through the area.

The wide swath of proposed on-site biological open space ranges in width from over 900 ft to approximately 3,000 ft and contains over three linear miles of biological open space in an east-west direction across the Project site. The eastern 2.5 miles of biological open space are uninterrupted, while the western 0.5 mile is interrupted by proposed development and associated access roads. Proposed development is not expected to substantially interfere with the linkage, as lines-of-sight are maintained across the roads.

The San Luis Rey River and associated riparian areas function as a wildlife linkage just north of the Project site, and on-site riparian corridors function as local movement corridors for wildlife. However, the western riparian corridor is not contiguous across the site, and both riparian corridors are already constrained by existing equestrian and agricultural operations on site. The on-site portion of the linkage is already constrained by existing equestrian and agriculture uses, as well as by existing semi-rural development to the south of the site.

The Project would introduce new barriers on the Project site itself, but the impediments would not substantially interfere with access due to alternate travel routes in the local area, particularly the east-west corridor along the San Luis Rey River. Adequate space and connectivity of habitat would remain in the local area, and local and regional movement functions would continue along the river north of the site and within the southern range of hills on site. In conclusion, although site development would introduce a new impediment to local wildlife movement within the site, the effects would not be substantially adverse and no artificial corridors would be created.

Large estate lots to be developed in the central portion of the site are within existing agricultural lands on the lower hill slopes and would not block visual continuity within the linkage. Planning Area 2 is in the lower valley area within areas currently used for equestrian purposes and also would not block visual continuity within the linkage. Project development in the west-central portion of the site (Planning Area 1) would occur partially within native habitats on the hills. However, adequate visual continuity would be maintained in this area, as the residential lots are situated more than 900 ft to the north of the southern property boundary, with biological open space occurring in a wide band to the south, linking the east and west portion of the site. As such, the Project would not impair visual continuity within corridors or linkages in the local area and impacts would be less than significant.

Project noise is not anticipated to adversely impact wildlife corridors/linkages as on-site riparian areas have been appropriately buffered, and development has been setback from the San Luis Rey River to the extent feasible. In addition, ongoing equestrian and agriculture activities generate noise in portions of the site, including noise from mowing the pastures and noise from tilling and harvesting row crops, as well as maintenance of the orchards; thus, some level of noise disturbance already exists on site. The off-site linkage between SR 76 south to the Project site ranges in width from approximately 1,500 to 3,000 ft, which is sufficiently wide to maintain wildlife corridor functions without being significantly affected by noise generated on the Project site.

Nighttime lighting is not anticipated to adversely impact the linkage or on-site movement corridors. All project-related lighting would be required to adhere to Division 9 of the San

Diego County Light Pollution Code. Project lighting adjacent to undeveloped habitat would be of the lowest illumination allowed for human safety, selectively placed, shielded, and directed away from such habitat. No significant impact to wildlife corridors or linkages resulting from lighting or noise would occur.

Although the Project would impact areas used by coastal California gnatcatcher and other species for foraging and breeding, the Project would not impede wildlife access to on-site areas necessary for reproduction, as sufficient habitat to support these species would be conserved on site, and connections to off-site lands also would be maintained. Preservation of habitat would continue to provide foraging and breeding habitat for a variety of species, including coastal California gnatcatcher.

Project construction would lessen the area available for terrestrial wildlife movement in a direct north-south route in the western portion of the site between the San Luis Rey River (off site to the north), across the westernmost pasture and continuing to the southwestern range of hills. However, this route is likely to be used primarily by commonly occurring, suburban-adapted larger wildlife species, such as coyotes, which are frequently observed throughout the site and do not avoid the wide open, exposed pasture areas that make up the bulk of land between the southwestern hills and offsite areas along the river.

Mule deer and mountain lion are the largest mammal species that could potentially occur on site. While suitable expanses of habitat exist for deer and mountain lion to move through the area, these species are considered unlikely to be utilizing the Project site based on lack of observation of these species or evidence of these species (e.g., scat, shed antlers, deer kill, etc.) during numerous field visits and discussions with on-site ranch staff who have lived on the site for many years. If these species were to occur in the area, they are most likely to use the San Luis Rey River corridor and could potentially use the on-site eastern hills which are more remote than the remainder of the site, as large portions of the site have been subjected to human-related disturbances over many years.

Movement of other large- to medium-sized mammals, such as bobcat, is more likely to follow riparian areas and other areas with sufficient cover. Such a connection currently exists in the far western tip of the site, where sage scrub-covered hills slope down toward riparian habitat associated with the river, as well as in the eastern hills, which slope down to the river's floodplain. The Project would maintain this connection to offsite areas along an approximately 1,000-foot distance in the westernmost tip of the site which would be placed in biological open space, allowing for continued wildlife access from the Project site to the river. Further, the Project would conserve a continuous connection of land between the eastern hills and the eastern riparian corridor, consisting of an uninterrupted gradient of upland to wetland habitat along approximately 3,000-foot distance. Movement of avian species that forage in the pastures is not anticipated to be impacted by the Project, which would avoid the majority of existing pastures and maintain the equestrian uses that currently exist in the avoided pastures.

Mitigation Measures

As considered by the GPU EIR, Project impacts to wildlife movement and corridors would be mitigated through ordinance compliance and through implementation of mitigation measures Bio 1.6, Bio 1.7, and Bio-2.3.

Consistent with GPU EIR mitigation measure Bio-1.6, the Project would comply with the RPO and would obtain a Habitat Loss Permit (HLP). The Project would also comply with the County Noise Ordinance and other ordinances identified in Bio-1.7. The Project's

impacts to wildlife movement and corridors would be less than significant. Therefore, no new mitigation measures are recommended.

As previously discussed, the GPU EIR determined impacts to wildlife movement corridors as significant and unavoidable. The Project impacts were also determined to be potentially significant. However, the proposed Project would incorporate the GPU EIR mitigation measures Bio-1.6, Bio-1.7 and Bio-2.3 for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 4(e) The GPU EIR concluded this impact to be less than significant. With regards to local policies and ordinances, the Project would impact wetlands and sensitive habitat lands outlined in the RPO. The Project would impact sensitive habitat lands consisting of 32.5 acres of occupied gnatcatcher habitat in the western portion of the site (i.e., Diegan coastal sage scrub). The Project also would result in unavoidable impacts to 0.19 acre of RPO wetlands to construct a necessary road crossing. The crossing is allowed by the RPO because the required conditions are met, as analyzed in detail the Biological Resources Technical Report dated August 7, 2019 there is no feasible alternative that avoids the wetland; the crossings are limited to the minimum number feasible; and the crossings are located and designed in such a way as to cause the least impact to environmental resources, minimize impacts to sensitive species and prevent barriers to wildlife movement; the least-damaging construction methods are utilized; and there would be no net loss of wetlands and impacts to wetlands would be mitigated at a minimum ratio of 3:1. Therefore, the Project would comply with the RPO.

The Project site lies within the boundaries of the Draft Multiple Species Conservation Program (MSCP) North County Plan boundaries. The MSCP North County Plan identifies a draft Pre-Approved Mitigation Area (PAMA). Much of the Project site (1,176.9 of 1,402.5 acres, or 84 percent) occurs within areas identified as PAMA within the Lower San Luis Rey River Linkage, as identified in the draft plan.

While the Project would impact a total of 257.6 acres of land identified as PAMA (256.5 acres on site and 1.1 acres off site), 186.9 acres of impacts within PAMA are to non-sensitive vegetation communities, representing nearly three quarters (73 percent) of the Project impacts within PAMA. Most of the land supporting sensitive vegetation communities within on-site portions of the linkage would be conserved by the Project and placed in biological open space. The proposed Project supports the conservation goals and objectives for the Lower San Luis Rey River Linkage by minimizing impacts to sage scrub; providing for conservation of potential foraging and aestivation habitat for arroyo toad and western spadefoot; maintaining and restoring riparian habitat near the San Luis Rey River; incorporating long-term management of biological open space, and maintaining connectivity for wildlife movement between the Project site, San Luis Rey River, and hills offsite to the east near I-15.

The Project has been designed to assist in implementing the proposed PAMA and to contribute to long-term habitat value for plants and wildlife within the draft MSCP North County Plan boundaries. The configuration of proposed biological open space results in conservation of a large block of preserved land that contributes substantially to the viability of the Preserve by providing large areas of live-in habitat and dispersal habitat for key species of concern (e.g., coastal California gnatcatcher). The Project would not preclude or prevent the successful preparation and implementation of the NC MSCP Plan.

The Project would mitigate coastal sage scrub habitat loss in accordance with Section 4.3 of the NCCP Guidelines. The Project would impact a combined total of 33.9 acres of Diegan coastal sage scrub and flat-topped buckwheat scrub on and offsite. Extensive coordination has taken place with County and Wildlife Agency staff regarding the Project footprint and proposed conservation, resulting in a Project design that minimizes habitat loss to the maximum extent feasible. Therefore, no significant impact would occur.

Mitigation Measures

As considered by the GPU EIR, future Projects proposed under the GPU would be required to comply with applicable HCPs and NCCPs. Regulatory processes to ensure compliance are already in place. Therefore, a potentially significant impact associated with conflicts with HCPs and NCCPs would not occur. No mitigation measures were identified in the GPU EIR.

The Project's impact would be less than significant; therefore, no specific mitigation measures are identified.

As previously discussed, the GPU EIR determined impacts on local policies and ordinances as well as habitat conservation plans and natural community conservation plans as less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Biological Resources, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR (Bio-1.6, Bio-1.7, Bio-2.2, Bio-2.3, and Bio-2.4) would be applied to the Project. Those mitigation measures, detailed above, requires the Project applicant to provide for on- and off-site biological open space and preservation, as well as preserve wetlands, comply with ordinances and storm water management, and obtain permits through the wildlife agencies.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
5. Cultural Resources – Would the Project:			
a) Cause a substantial adverse change in the significance of a historical resource as defined in 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Directly or indirectly destroy a unique paleontological resource or site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

Based on an analysis of records and a survey of the property, it has been determined that there are no impacts to historical resources because those resources identified as significant would be preserved. The results of the evaluation are provided in the study titled, *Cultural Resources Study for the Ocean Breeze Ranch Project*” (May 9, 2019).

5(a) The GPU EIR concluded this impact to be less than significant with mitigation. Six resources (CA-SDI-20174, CA-SDI-21876, P-37-028134, P-37-028139, P-37-031762, and P-37-035850) were evaluated. Further information on these resources can be found within the technical study and the analysis is summarized below.

Significant Resources

P-37-031762

P-37-031762 is comprised of 2 historic cisterns with large tamarisk trees growing from them. No historic artifacts or additional features were identified. The age of the cisterns is unknown. This site is assumed to be CEQA and RPO significant in the absence of testing. This resource is outside of the Project impact boundary, or Area of Potential Effect (APE).

P-37-035850

P-37-035850 includes five of the six historic residences within the boundaries of the Project site and was recorded as the Dulin Ranch. They were constructed between 1913 and 1953 and include (1) the one-and-a-half story, Prairie-Style Canfield Estate Ranch House, (2) the two-story, Monterey Revival-Style residence (Guest House), (3) single-story bungalow (Office), and (4 and 5) and two smaller, single-story, Pre-Railroad-Style bunkhouses (Mess Hall and Maid’s Quarters). Research conducted as part of the current study concluded that this historic complex is more closely associated with Charles A. Canfield, and Louis and Hope Lighton. As such, the complex is referred to as the Canfield-Lighton Ranch Complex.

These resources were evaluated for significance under CEQA, the RPO, and the Secretary of Interior Standards (as discussed above). The five structures of the Canfield-Lighton Ranch Complex meets Criterion 2 (*is associated with the lives of persons important in our past*), Criterion 3 (*embodies the distinctive characteristics of a type, period, region, or method of construction; represents the work of an important creative individual; or possesses high artistic values*), and Criterion 4 (*has yielded, or may be likely to yield, information important in prehistory or history*) of CEQA. These resources did not meet the criteria for significance under the RPO because they (1) are not formally determined eligible or listed in the National Register, (2) are not zoned with the Historic ("H") Special Area Designator, (3) are not one-of-a-kind, locally unique, or regionally unique cultural resources that contain a significant volume and range of data and materials, and (4) are not a location of past or current sacred religious or ceremonial observances. These resources are CEQA significant. See the cultural study for details related to the architecture and integrity evaluation for each structure.

Mitigation Measures

As considered by the GPU EIR, Project impacts to historical resources would be mitigated through ordinance compliance and through implementation of mitigation measures Cul-1.1, Cul-1.2, and Cul-1.3. Specific mitigation measure CULT-1 detailed in the Cultural Resources Report is consistent with mitigation in the GPU EIR and is summarized below.

This mitigation measure includes the placement of a Use, Maintenance and Repair Easement to be placed over the five significant structures as a condition of the Project.

This easement is for the protection of the historic Canfield-Lighton Ranch (5 structures) and prohibits demolition or alteration of the building. The sole exception to this prohibition is the repair, restoration, or rehabilitation of the house in accordance with the "Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Weeks and Grimmer 1995)". Any plan for such activities shall be designed by a qualified historical architect and approved by the Director of PDS and implemented by a building contractor with demonstrated experience in the renovation and rehabilitation of historic buildings.

As previously discussed, the GPU EIR determined impacts on historic resources to be less than significant with mitigation. The proposed Project determined impacts on historic resources to be potentially significant. However, the proposed Project would incorporate GPU EIR mitigation measures Cul-1.1, Cul-1.2 and Cul-1.3 (as well as Project specific mitigation measures consistent with the GPU EIR) for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 5(b) The GPU EIR concluded this impact to be less than significant with mitigation. Based on an analysis of records and a survey of the property, it has been determined impacts to archaeological resources would be less than significant with implementation of mitigation measures. Six resources (CA-SDI-776 Loci A through I, CA-SDI-1083, CA-SDI-8237, CA-SDI-12550, CA-SDI-21874, and CA-SDI-21875) were evaluated.

The County conducted tribal outreach for the purposes of AB-52 consultation on January 11, 2017. Five tribes (Pala, Pechanga, Rincon, San Luis Rey, and Soboba) were

contacted. Of the five tribes, four (Pala, Pechanga, Rincon, and San Luis Rey) requested consultation. Two field visits were conducted on June 9, 2017 and July 28, 2017. The field visits were attended by Pala, Rincon and San Luis Rey. The field visits specifically focused on the existing road and design for the widening of the road. It was agreed that capping of the resource prior to roadway improvements would provide appropriate protections. The tribes requested that during construction that additional measures be required that include a contribution toward an ethno-history of the Morro Hill area, dust control measures, treatment agreement and preservation plan, and a pre-grade survey.

Since the scoping of the Project, it was determined that a Negative Declaration, Mitigated Negative Declaration, or EIR is not required. As such, AB-52 consultation does not apply to the Project. However, Tribal consultation was conducted to identify areas of concern for the Native American community. The Tribes identified sensitive areas within the Project site and worked with staff to determine appropriate measures. Several "not significant" and "limited significant" resources were identified and are detailed within the Cultural Resources Report. Significant resources are detailed below.

Significant Resources

CA-SDI-776, Locus A and Locus B include a surface expression of artifacts, bedrock milling features and an intact subsurface deposit. These resources possess additional research potential and were determined to be CEQA and RPO significant.

CA-SDI-8237 is a rock art panel that is located outside of the APE. This resource was determined to be CEQA significant because it has the potential to yield information important to history or prehistory. It is also RPO significant because all rock art locations exhibit unique individual traits related to the person or persons responsible for the illustration, which are assumed to have religious or ceremonial implications. This site would be avoided by its placement in open space.

CA-SDI-21874 contains milling features. This site was not tested due to its location within open space. In the absence of testing, this site is assumed CEQA and RPO significant.

Mitigation Measures

As considered by the GPU EIR, Project impacts to cultural resources would be mitigated through ordinance compliance and through implementation of GPU mitigation measures Cul-1.1, Cul-1.2, and Cul-1.3. Specific mitigation measures CULT-2 through CULT-6 are fully detailed in the Cultural Resources Report, are consistent with mitigation in the GPU EIR, and include the following: an Archaeological Monitoring Program, Temporary Fencing, Pre-Grade Survey, Capping Plan, Open Space Dedication, and Dust Control Plan would be required as conditions of the Project.

Conditions of Approval

In addition to the mitigation measures listed above, conditions of approval were agreed to during tribal consultation and include Contribution towards an Ethno-Historic Study of the Morro Hill area and a Treatment Agreement and Preservation Plan.

As previously discussed, the GPU EIR determined impacts to archaeological resources as less than significant with mitigation. The Project determined impacts to archaeological resources as potentially significant. However, the Project would incorporate the GPU EIR mitigation measures Cul-1.1, Cul-1.2 and Cul-1.3 (as well as

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Project specific mitigation measures and conditions consistent with the GPU EIR) for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 5(c) The GPU EIR concluded this impact to be less than significant. The site does not contain any unique geologic features that have been listed in the County's Guidelines for Determining Significance for Unique Geology Resources nor does the site support any known geologic characteristics that have the potential to support unique geologic features.

As previously discussed, the GPU EIR determined impacts on unique geologic features as less than significant. As the Project would have a less-than-significant impacts for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 5(d) The GPU EIR concluded this impact to be less than significant with mitigation. A review of the County's Paleontological Resources Maps and data on San Diego County's geologic formations indicates that the Project is located on geological formations of Quaternary Alluvium that have a low potential to contain unique paleontological resources. Proposed grading would include more than 2,500 cubic yards of excavation which has the potential to impact fossil deposits.

As considered by the GPU EIR, potential impacts to paleontological resources would be mitigated through ordinance compliance and through implementation of the following mitigation measures: paleontological grading monitoring by the Project Contractor and conformance with the County's Cultural Resource Guidelines if resources are encountered. The GPU EIR identified these mitigation measures as Cul-3.1.

As previously discussed, the GPU EIR determined impacts on paleontological resources as less than significant with mitigation. The proposed Project determined impacts to paleontological resources as potentially significant. However, the proposed Project would incorporate the GPU EIR mitigation measures Cul-3.1 for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 5(e) The GPU EIR concluded this impact to be less than significant with mitigation. Based on an analysis of records and archaeological surveys of the property, it has been determined that the Project site does not include a formal cemetery or any archaeological resources that might contain interred human remains. Also see section 5(b) above for mitigation measures for inadvertent discoveries.

As previously discussed, the GPU EIR determined impacts to human remains as less than significant with mitigation. The proposed Project determined impacts to human remains as potentially significant. However, the proposed Project would incorporate the GPU EIR mitigation measures Cul-1.1, Cul-1.2 and Cul-1.3 (as well as Project specific mitigation measures consistent with the GPU EIR) for a less than significant impact with mitigation. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of cultural/paleontological resources, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR (Cul-1.1 through Cul-1.3 and Cul-3.1), would be applied to the Project. Those mitigation measures, detailed above, requires the Project applicant to preserve resources in perpetuity, comply with ordinances, the Mills Act, would restrict demolition/removal of resources and require paleontological monitoring during grading.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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6. Energy Use – Would the Project:

a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Discussion

Energy use was not specifically analyzed within the GPU EIR as a separate issue area under CEQA. At the time, Energy Use was contained within Appendix F of the CEQA Guidelines and since then has been moved to the issue areas within Appendix G of the CEQA Guidelines. However, the issue of energy use in general was discussed within the GPU and the GPU EIR. For example, within the Conservation and Open Space Element of the GPU, Goal COS-15 promotes sustainable architecture and building techniques that reduce emissions of criteria pollutants and GHGs, while protecting public health and contributing to a more sustainable environment. Policies, COS-15.1, COS-15.2, and COS-15.3 would support this goal by encouraging design and construction of new buildings and upgrades of existing buildings to maximize energy efficiency and reduce GHG. Goal COS-17 promotes sustainable solid waste management. Policies COS-17.1 and COS-17.5 would support this goal by reducing GHG emissions through waste reduction techniques and methane recapture. The analysis below specifically analyzes the energy use of the Project.

6(a) The proposed Project would increase the demand for electricity and natural gas at the Project site, and gasoline consumption in the Project area during construction and operation relative to existing conditions. The proposed Project includes two components, a planned residential development (PRD) and a private equestrian facility. The PRD would include the construction of 396 residential lots, HOA open space, parks,

roads and landscaped areas. The equestrian facility consists primarily of previously constructed buildings and structures, however additional improvements are also proposed. Improvements would include bringing the equestrian facility up to building and fire code standards as well as obtaining permits for proposed horse shade structures, a horse aquatic therapy pool, relocating employee manufactured homes and an equipment maintenance shop.

CEQA requires mitigation measures to reduce “wasteful, inefficient and unnecessary” energy usages (Public Resources Code Section 21100, subdivision [b][3]). Neither the law nor the State CEQA Guidelines establish criteria that define wasteful, inefficient, or unnecessary use. Compliance with the California Code of Regulations 2019 Title 24 Part 6 Building Code would result in highly energy-efficient buildings. However, compliance with building codes does not adequately address all potential energy impacts during construction and operation. It can be expected that energy consumption, outside of the building code regulations, would occur through the transport of construction materials to and from the site during the construction phase, the use of personal vehicles by residents, and the operation of delivery vehicles to service the new residential units.

Grading and Construction

During the grading and construction phases of the Project, the primary energy source utilized would be petroleum from construction equipment and vehicle trips. To a lesser extent, electricity would also be consumed for the temporary electric power for as-necessary lighting and electronic equipment. Activities including electricity would be temporary and negligible; therefore, electricity use during grading and construction would not result in wasteful, inefficient, or unnecessary consumption of energy. In addition, natural gas is not anticipated to be required during construction of the proposed Project. Any minor amounts of natural gas that may be consumed as a result of the Project construction would be temporary and negligible and would not have an adverse effect; therefore, natural gas used during grading and construction would also not result in wasteful, inefficient, or unnecessary consumption of energy.

The grading required for the Project would be approximately 1.9 million cubic yards of even cut and fill. This would rely on petroleum consumption throughout the grading as well as the construction phases of the proposed Project. Fuel consumed by construction equipment would be the primary energy resource expended over the course of grading and construction. Vehicle trips associated with the transportation of construction materials and construction workers commutes would also result in petroleum consumption, but to a lesser extent. The Project would require heavy-duty construction equipment with Tier 3 or better engines to be used during each phase of construction and would commence beginning year 2022 with construction ending in year 2029. Petroleum consumptions would be necessary for operation and maintenance of construction equipment and would not be beyond what is necessary for construction of the Project. The application of Tier 3 or better engines for all construction equipment would improve the efficiency of the equipment beyond what would be assumed for a standard fleet.

The energy needs for the Project construction would be temporary and is not anticipated to require additional capacity or increase peak or base period demands for electricity or other forms of energy. Construction equipment use and associated energy consumptions would be typical of that associated with the construction of residential projects of this size in a rural setting. The Project is consistent with the General Plan and Zoning Ordinance. The General Plan allows for the construction of 402 residential

units by-right. The Project of 396 residential units would be comparable, if not less, energy intensive than the construction required for the General Plan buildout. Further, the Project is a conservation subdivision, locating density within a smaller footprint and preserving on-site resources. Approximately fifty-nine percent (59%) of the 1402-acre site would be placed within a permanent biological open space easement and would not be developed. Accordingly, the General Plan buildout scenario would likely have higher construction emission since the building footprint would cover a larger land area.

The proposed Project is consistent with the General plan and is anticipated to consume less energy during construction activities than what would have been assumed for buildout of the site under the General Plan. Due to the aforementioned factors, the Projects energy consumption during the grading and construction phase would not be considered wasteful, inefficient, or unnecessary.

Operational

Operation of the Project would be typical of residential land uses requiring natural gas for space and water heating, and landscape maintenance activities. Indirect energy use would include wastewater treatment and solid waste removal at offsite facilities. The Project would provide numerous sustainability features that would reduce transportation and building energy consumption and increase the efficient use of water. A summary of these features is provided in the Projects Greenhouse Gas Analysis, prepared by Ldn Associates and dated July 2019. The Project would meet the California Code of Regulations Title 24 Standards for energy efficiency that are in effect at the time of construction. As the standards are updated on a triennial basis, building energy efficiency would continue to improve throughout the Project's buildout.

The Project would generate approximately 3,990 average daily trips (ADT), as described in the Project Traffic Study prepared by LSA and dated September 2019. The existing equestrian facility is considered part of baseline conditions and is not reflected in the ADT estimates. Improvements to the equestrian facility are proposed as part of the permit process including bringing the facility up to fire and building code requirements, proposing horse shade structures, a horse aquatic therapy pool and relocating employee manufactured homes; these improvements are not associated with an increase in Project-related ADT.

The Project is consistent with the General Plan which allows for 402 residential units on the Project site. As discussed in the Project Traffic Study (Appendix X), the General Plan buildout (GP buildout) scenario would generate approximately 4,212 ADT. Pursuant to the above information, the Project would result in roughly equivalent or less operational petroleum usage than what has been anticipated within the General Plan. The Project would plumb and install an electric vehicle charging station in each of the 396 residential units, further reducing the anticipated petroleum consumption from Project-related activities. Therefore, the Project would not be expected to result in wasteful, inefficient or unnecessary petroleum usage throughout Project operations.

Over the lifetime of the proposed Project, fuel efficiency of vehicles is expected to increase as older vehicles are replaced with newer, more efficient models. As such, the amount of petroleum consumed as a result of vehicle trips to and from the Project site during operation would decrease over time. State and Federal regulations regarding standards for vehicles (e.g. Advanced Clean Cars Program, CAFÉ Standards) are designed to reduce wasteful, unnecessary, and inefficient use of fuel. The coupling of various State policies and regulations such as the Zero-Emission Vehicles Mandate and

Senate Bill 350 would result in the deployment of electric vehicles which would be powered by an increasingly renewable electrical grid. These actions, along with the Project's installation of EV charging in each residential unit, would reduce energy use compared to other similar Projects consistent with the General Plan.

The proposed Project would use electricity for street lighting and for appliances and lighting within both the equestrian facility and residential buildings. As previously discussed, the equestrian facility is considered baseline condition, and improvements included to these facilities as part of the Project would be minimal and not result in an increase in electricity usage. The residential component of the Project would be required to meet Title 24 of the California Building Code, which establishes energy efficiency standards for buildings to reduce energy demand and consumption. The Project would install high-efficiency Light Emitting Diode (LED) street and area lighting to achieve reduction in overall lighting and energy. Additionally, the Project would install at least 6,577 300-watt solar photovoltaics on-site to reduce the Project's reliance on off-site generated electricity. The Project is consistent with the General Plan and would not be expected to result in wasteful, inefficient or unnecessary electric energy usage throughout Project operations.

The proposed Project would use natural gas for building heating, water heating and appliances. The equestrian facility is considered part of baseline conditions, however minor improvements are proposed that would result in minimal increases in natural gas consumption. Water heating associated with a new horse aquatic therapy pool is proposed for the equestrian facility. This would not result in a significant increase in natural gas consumption as the therapy pool would only be used intermittently on an as-needed bases for horse rehabilitation.

The proposed residential use result in natural gas energy use for building heating, water heating and appliances. The proposed Project would be designed according to the latest version of Title 24, which would continue to improve building efficiency and result in less natural gas consumption over time. The proposed Project would not result in natural gas consumption atypical of residential uses and would be consistent with the anticipated natural gas consumption under General Plan building of the site; therefore the Project would not be expected to result in wasteful, inefficient or unnecessary natural gas energy usage throughout Project operations.

As previously discussed, the GPU EIR did not analyze Energy as a separate issue area under CEQA. Energy was analyzed under the GPU and GPU EIR and has been incorporated within General Plan Elements. The Project would not conflict with policies within the GPU related to energy use, nor would it result in the wasteful, inefficient, or unnecessary consumption of energy resources, as specified within Appendix G of the CEQA Guidelines.

- 6b. Many of the regulations regarding energy efficiency are focused on increasing the energy efficiency of buildings and renewable energy generation, as well as reducing water consumption and reliance on fossil fuels. The proposed Project includes the following energy conservation measures:
- Tier 3 or better construction equipment which would reduce fuel consumption associated with construction activities;
 - High-efficiency Light Emitting Diode (LED) street and area lighting which would reduce electricity consumption on-site;

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- Compliance with County's Water Conservation in Landscaping Ordinance, demonstrating a 40% reduction in outdoor use which would reduce energy required for water conveyance;
- Install low flow indoor water fixtures in all residential units, reducing water consumption in associated energy required for water conveyance;
- Plumb and install a single Level 2 electric vehicle (EV) charging station in each of the 396 residential units, which would reduce petroleum consumption from Project-generated traffic; and
- Install 1,973 KW of PV (equivalent to 6,577 300-watt panels or an average of 16.6 panels per home), which would reduce the Project's reliance on electricity generated off-site.

The County's Climate Action Plan is a long-term plan that identifies strategies and measures to meet the County's targets to reduce GHG emissions by 2020 and 2030, consistent with the State's legislative GHG reduction targets, and demonstrates progress towards the State's 2050 GHG reduction goal (County of San Diego, 2017). Implementation of the CAP requires that new development Projects incorporate more sustainable design standards and implement applicable reduction measures consistent with the CAP. To help streamline this review and determine consistency of proposed Projects with the CAP during development review, the County has prepared a CAP Consistency Review Checklist (Checklist). The Project would implement all applicable measures identified in the Checklist and would therefore be consistent with the County's Climate Action Plan. In addition, the Project would be consistent with several energy reduction policies of the County General Plan including policies COS-14.1, COS-14.3 and COS-16.3. Additionally, the Project would be consistent with sustainable development and energy reduction policies such as policies COS-14.3 and COS-15.4, through compliance with the most recent Title 24 standards at the time of Project construction. Therefore, the proposed Project would implement energy reduction design features and comply with the most recent energy building standards consistent with applicable plans and policies. Therefore, the proposed Project would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

As previously discussed, the GPU EIR did not analyze Energy as a separate issue area under CEQA. Energy was analyzed under the GPU and GPU EIR and has been incorporated within General Plan Elements. The Project would not conflict with policies within the GPU related to energy use or conflict with or obstruct a state or local plan for renewable energy or energy efficiency as specified within Appendix G of the CEQA Guidelines.

Conclusion

With regards to the issue area of Energy, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

7. Geology and Soils – Would the Project:

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving: (i) rupture of a known earthquake fault, (ii) strong seismic ground shaking or seismic-related ground failure, (iii) liquefaction, and/or (iv) landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in an on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

A Geotechnical Feasibility Evaluation and Addendum (Evaluation) has been prepared by GeoSoils, Inc., dated August 22, 2019.

7(a)(i) The GPU EIR concluded this impact to be less than significant. The Project is not located in a fault rupture hazard zone identified by the Alquist-Priolo Earthquake Fault Zoning Act, Special Publication 42, Revised 1997, Fault-Rupture Hazards Zones in California. However, the site is situated in an area of active faulting. The Temecula segment of the Elsinore fault is the closest known active fault to the site approximately 11.1 miles from the Project site. The Julian segment of the Elsinore fault located approximately 11.7 miles from the Project site would have the greatest effect on the site in the form of strong ground shaking, if an earthquake were to occur. However, the possibility of ground shaking at the site is no different than from the southern California region as a whole. In addition, no local active faulting was noted nor observed to specifically transect the site during field investigation. A review of available regional geologic maps confirmed the field investigation results that no presence of local active faults cross the specific Project site. For a response related to ground shaking, please refer to 7(a)(ii) below.

7(a)(ii) The GPU EIR concluded this impact to be less than significant. To ensure the structural integrity of all buildings and structures, the Project must conform to the Seismic Requirements as outlined within the California Building Code. In addition, a soils compaction report with proposed foundation recommendation would be required to be approved before the issuance of a building permit. Therefore, compliance with the California Building Code and the County Building Code would ensure that the Project would not result in a significant impact.

7(a)(iii)The GPU EIR concluded this impact to be less than significant. Adverse geologic structures that would preclude Project feasibility were not encountered on-site. However, the potentially liquefiable and compressible deposits of alluvium would require more investigation in order to develop a program of ground mitigation and/or specialized foundation/infrastructure designs. According to the Evaluation, portions of the Project site are located within a "Potential Liquefaction Area" as identified in the County Guidelines for Determining Significance for Geologic Hazards. Portions of the Project site are underlain with alluvial material. Some alluvial materials are liquefiable and would display some settlement during an earthquake. A liquefaction analysis was performed using the LiquefyPro computer program (Civiltech Software, 2006 [version 5a]), field boring/laboratory data, and by utilizing the data from the recent Cone Penetration Testings (CPTs). The analysis was conducted in general accordance with Special Publication 117A "Guidelines for Evaluating and Mitigating Seismic Hazards in California" (California Department of Conservation, California Geological Survey [CSG], 2008). Please see the Evaluation for the specific data utilized for the computer program liquefaction analysis. The results indicated that liquefaction may occur within areas underlain by younger alluvium occurring below the groundwater table. To ensure no impacts would occur, a soils compaction report would be required prior to ground disturbance activities. In addition, a Geotechnical Monitor would be required during all grading activities. Please see below for Project conditions of approval.

Conditions of Approval

The following list includes the Project conditions of approval:

Geological Soils Report

- A California Certified Engineering Geologist shall complete a final soils report specific to the preliminary design of the proposed development and submit the final soils report to PDS. The findings shall be reviewed and approved by the Director of the County Department of Planning and Development Services or designee.

Geotechnical Monitoring

- A geotechnical consultant in the field shall perform geotechnical observation and/or laboratory testing during grading to identify areas of potential liquefaction and develop conclusions and recommendations. All alluvial soils in areas of proposed development or future fill shall be removed and recompacted during grading.

7(a)(iv)The GPU EIR concluded this impact to be less than significant. The site is not located within a "Landslide Susceptibility Area" as identified in the County Guidelines for Determining Significance for Geologic Hazards. Further, the Evaluation indicated no presence of landslide deposits, slumps, or other significant forms of mass wasting. No adverse geologic structures that would preclude Project feasibility were encountered on the site.

As previously discussed, the GPU EIR determined less than significant impacts from exposure to seismic-related hazards and soil stability. As the proposed Project would have a less-than-significant impact with the incorporation of Project conditions for a geological soils report and geotechnical monitoring, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

7(b) The GPU EIR concluded this impact to be less than significant. According to the Soil Survey of San Diego County, the soils on-site are identified as alfisols, entisols, inceptisols, and mollisols that has a soil erodibility rating of moderate and severe.

However, the Project would not result in substantial soil erosion or the loss of topsoil because the Project would be required to comply with the Watershed Protection Ordinance (WPO) and Grading Ordinance which would ensure that the Project would not result in any unprotected erodible soils, would not alter existing drainage patterns, and would not develop steep slopes. Additionally, the Project would be required to implement Best Management Practices (BMPs) per the Priority Development Project Storm Water Quality Management Plan to prevent fugitive sediment. Please see section ten (10) Hydrology and Water Quality for a detailed discussion.

As previously discussed, the GPU EIR determined impacts from soil erosion and topsoil loss to be less than significant. As the Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 7(c) The GPU EIR concluded this impact to be less than significant. As indicated in response (a)(iv), the site is not located within a "Landslide Susceptibility Area" as identified in the County Guidelines for Determining Significance for Geologic Hazards. With regards to lateral spreading, it is a principal effect from liquefaction. Pursuant to the Evaluation, any planned fill slopes constructed within existing alluvial areas present a potential for lateral spreading to affect the perimeter fill slopes underlain with unmitigated alluvial soils below the groundwater table. Therefore, the Project would be required to conduct a soils analysis report to ensure no impacts would occur. For more on lateral spreading, see response (a)(iii). The Evaluation also concluded the potential for significant areal subsidence to be low. Collapse may be caused by unstable geological structures or conditions. Graded slopes are generally considered to be stable, up to gradients of 2:1 or flatter, and bedrock slopes may be suitable to gradients of 1.5:1, or flatter. Mapping of the site indicated some potential for dip slope-oriented fractures/joins in bedrock that may require stabilizing, and slope gradients of 2:1, or flatter. In order to ensure no impacts would occur from unstable geologic formations, stabilization measures would be required by a geotechnical consultant in the field during grading activities. Moreover, the Evaluation concluded that the natural slopes appeared to be performing adequately and that no adverse geologic structures that would preclude Project feasibility were encountered on-site. Please see below for the Project conditions of approval.

Conditions of Approval

The following list includes the Project conditions of approval:

Stabilization Measures

- A geotechnical consultant in the field shall perform mapping of temporary slope excavations, including front, side and backcuts, and all cut slopes during grading and blasting. If adverse geologic conditions (e.g., highly fractured and jointed rock, clay-lined fractures, seepage zones) are encountered during installation of cut slopes, stabilization measures shall be required and implemented during grading. Specific stabilization measures shall include, but not be limited to, removal of loose boulders or displaced rocks, stability fill, buttresses, rock-bolting, and/or catchment netting.

As previously discussed, the GPU EIR determined impacts from soil stability to be less than significant. As the proposed Project would have a less-than-significant impact with the incorporation of Project condition for a geological monitor, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 7(d) The Project is underlain with the following soils according to the Evaluation: holocene alluvial sediments generally within the 100-year flood plain; quaternary (Pleistocene) age older alluvium (stream terrace deposits) on lower slopes descending to the valley floor and in areas flatter than 4:1 slope; and granitic bedrock on steeper slopes and upland areas. Representative samples of near surface site soils were tested for expansion potential. Results were disclosed within the Evaluation. The Expansion Index (E.I.) test was performed in general accordance with ASTM Standard D 4829. The laboratory test results indicated that the soil expansion potentials are generally very low (E.I. 0-20), as defined within Table 18-I-B of the Uniform Building Code (1994). In addition, the Project would not result in a significant impact because compliance with the Building Code and implementation of standard engineering techniques would ensure structural safety.

As previously discussed, the GPU EIR determined impacts from expansive soils to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 7(e) The GPU EIR concluded this impact to be less than significant. The majority of the Project site would rely on public water and sewer for the disposal of wastewater. However, PA-3 and the Hillside Estate Parcel would rely on either conventional leach lines or supplemental treatment systems to the satisfaction of the Department of Environmental Health (DEH). As such, the Project would not place septic tanks or alternative wastewater disposal systems on soils incapable of adequately supporting the tanks or system.

As previously discussed, the GPU EIR determined impacts to wastewater disposal systems to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Geology and Soils, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant by adhering to the Project conditions of approval, which are consistent with the GPU EIR.

8. Greenhouse Gas Emissions – Would the Project:

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Background on CAP and Litigation

The County of San Diego adopted a Climate Action Plan on February 14, 2018 which outlines actions that the County will undertake to meet its greenhouse gas (GHG) emissions reductions targets. Implementation of the CAP requires, among other things, that new development Projects incorporate more sustainable design standards and implement applicable reduction measures consistent with the CAP. In March 2018, petitioners filed a lawsuit against the County challenging the CAP and its EIR.

In December 2018, the San Diego Superior Court ordered the approval of the CAP and its EIR to be set aside, and enjoining reliance on the County CAP’s mitigation measure M-GHG-1. In January 2019, the County appealed the San Diego Superior Court ruling, which stays the Superior Court ruling during the appeal. While the CAP is technically valid until the Fourth District Court of Appeals issues its decision, the analysis prepared for the Project did not rely on the CAP to streamline the Project’s environmental analysis under CEQA Guidelines Section 15183.5. The analysis below shows the Project’s compliance with the CAP, but it also analyzes GHG impacts using a separate and independent analysis. The GHG emissions from the proposed Project and buildout of the General Plan. As such, in the event that the CAP does not withstand judicial scrutiny, the Project has undergone a separate, stand-alone analysis for determining whether the Project’s GHG emissions would significantly impact the environment.

Discussion

A Global Climate Change Analysis (Analysis) was prepared for the Project by Ldn Consulting, Inc. and dated July 23, 2019. The analysis was prepared according to guidelines established within the California Global Warming Solutions Act of 2006 – Assembly Bill 32 (AB 32), Senate Bill 97 (SB97), and the California Environmental Quality Act (CEQA).

Project Design Features:

The proposed Project has incorporated design features to reduce the impacts associated to GHG. The below design features have been incorporated into this analysis:

- Project-related construction activities would use Tier 3 or better construction equipment with DPF United States (U.S.) Environmental Protection Agency (EPA)/ California Air Resources Board (CARB)-certified construction equipment with DPF. The Project developer has confirmed commitment to this feature.
- The Project would utilize architectural coatings compliant with San Diego Air Pollution Control District (SDAPCD) Rule 67 (SDAPCD, 2015).
- Install high-efficiency Light Emitting Diode (LED) street and area lighting to achieve reduction in overall lighting energy.
- The Project would only install Natural Gas fireplaces within all 396 residential units.
- In accordance with the California Integrated Waste Management Act (AB 939), and to be consistent with AB 341’s statewide 75% diversion policy, the Project would seek to also

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achieve a 75% diversion goal by providing areas for storage and collection of recyclables and provide literature promoting recycling to achieve additional waste diversion.

- The Project applicant would be required to comply with County's Water Conservation in Landscaping Ordinance and demonstrates a 40% reduction in outdoor use, and would submit a Landscape Document Package to show such compliance. A 20% reduction was assumed within GHG modeling to be conservative
- Install low flow indoor water fixtures in all residential units.
- Plumb and install a single Level 2 electric vehicle (EV) charging station in each of the 396 residential units.
- The Project would install 1,973 KW of PV which is equivalent to 6,577 300-watt panels or an average of 16.6 panels per home.

The following are additional design features which were not incorporated within the analysis:

- Landscaped and screened parking areas consistent with the County's Parking Design Manual, including Section 7 (Landscaping) and the "cool parking" mitigation requirements identified by the CARB.
- Provision of short-term bicycle parking racks at several of the park areas within the Project per County requirements.
- Building efficiency features such as High-Efficiency HVAC system, sealed (tight) air ducts that minimize heating and cooling HVAC losses, tankless water heaters and Low E dual pane windows.
- Work with the regional or local water agency to determine if incentives/rebates are available for the purchase and installation of rain barrels.
- Incorporate into Project Covenants, Conditions & Restrictions (CC&Rs) requirements that the HOA coordinate with SANDAG to provide informational materials on rideshare programs such as iCommute San Diego.
- Provide natural gas and electrical outlets in all private rear yards,
- Increase new tree plantings throughout the neighborhood by planting two trees per dwelling unit which is equivalent to a minimum of 792 trees within the Project Site.
- Install weather-based irrigation systems which include rain sensing timers.

Analysis

8(a) The GPU EIR concluded this impact to be less than significant with mitigation. The Project would produce GHG emissions during construction activities, as well as during the operation of the Project through vehicle trips, use of the residential buildings, and other associated uses. Indirect GHG uses would also be produced from offsite sources such as water conveyance and utilities. From an operational perspective, the Project would be less GHG intensive than the density established under the General Plan. Therefore, the Project would have a less-than-significant impact for that, and other reasons, as detailed below.

The equestrian facility and residential component are consistent with the County of San Diego General Plan and Zoning Ordinance. The Global Climate Change analysis compared the GHG emissions from both the proposed 396-unit residential development and General Plan buildout scenario to construct 402 residential units. The equestrian facility was not included within the analysis because it existed at the time of General Plan adoption in 2011, and is considered part of baseline conditions. Improvements to the facility would be placed within the existing footprint and no expansion of the overall footprint, or increase in intensity of use, is proposed. These improvements include bringing the facility up to building and fire code standards as well as obtaining permits for

proposed horse shade structures, a horse aquatic therapy pool, relocating employee manufactured homes and an equipment maintenance shop. The improvements proposed would be minimal and would not pose a significant impact to GHG that would exceed thresholds.

Grading and Construction

The grading required for the Project would be approximately 1.9 million cubic yards of even cut and fill and would begin in the year 2022 with construction ending in 2029. To quantify the GHG construction emissions that would be emitted by the proposed Project during grading and construction, CalEEMod Version 2016.3.2 was utilized. CalEEMod has been manually updated to reflect all Project design features of the first list at the top of this analysis section 8(a). Using the model, the annual construction emission for the proposed Project would be 603.829 Metric Tons (MT) of carbon dioxide equivalent (CO₂e) per year. A comparison to the General Plan buildout construction emissions was not incorporated within the analysis due to the proposed Project consistency with the General Plan. The report assumes the Project would emit the same construction emissions as the General Plan buildout. However, it was noted in the analysis that the General Plan buildout would likely have higher construction emissions since the area and building footprint would be larger. Impacts to GHG from grading and construction would be less than significant.

Operations

The Project would develop 396 residential units, HOA open space, parks, roads and landscaped areas. Operational GHG emissions from the Project would include sources such as area, energy, mobile, solid waste and water uses. The Project would generate 3,990 Average Daily Trips (ADT) as identified within the Project Traffic Study prepared by LSA and dated September 2019. These sources and Project design features have been calculated within CalEEMod. Further detailed post-process calculations were conducted in the Analysis based on additional Project design features that could not be incorporated within CalEEMod. These include electric vehicle charging stations and solar photovoltaics installation at each of the 396 residential units. Based on the aforementioned, the Project would generate approximately 4,914.35 MT of CO₂e annually. Under existing General Plan Density and Zoning, the density for the site would allow for the construction of 402 residential units which would consist of 96 estate lots and 302 smaller single-family lots.

For the purposes of a comparison analysis, the General Plan buildout has been analyzed using the same buildout year as the Project and was also assumed to include Project design features which would have been required based on state and local regulations. By Using CalEEMod Version 2016.3.2, the GHG emissions for the General Plan buildout would generate 6,484.67 MT CO₂e per year. The primary purpose of this comparison is to demonstrate that the Project operations would have been assumed by the General Plan. Thus, the Project would generate 1,570.32 MT CO₂e fewer GHG emission annually than would be produced under a general plan buildout use. In addition, it should be noted that the General Plan buildout scenario analyzed would likely have higher construction emissions since the area and building footprint would be larger. Given this, the Project's GHG emissions are assumed to have been anticipated by the CAP and would therefore result in a less than significant cumulatively considerable increase in GHG emissions.

As previously discussed, the GPU EIR determined impacts to be less than significant with mitigation. As the Project would have a less-than-significant impact for the reasons

detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 8(b) The GPU EIR concluded this impact to be less than significant. As described above, the Project would not result in a cumulatively considerable contribution to global climate change. As such, the Project would be consistent with County goals and policies included in the County General Plan that address greenhouse gas reductions. Therefore, the Project would be consistent with emissions reduction targets of Assembly Bill 32 and the Global Warming Solutions Act. Thus, the Project would not conflict with any applicable plan, policy or regulation adopted for the purpose of reducing emissions of greenhouse gas emissions.

As previously discussed, the GPU EIR determined impacts to applicable regulation compliance to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Global Climate Change, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
9. Hazards and Hazardous Materials – Would the Project:			
a) Create a significant hazard to the public or the environment through the routine transport, storage, use, or disposal of hazardous materials or wastes or through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5, or is otherwise known to have been subject to a release of hazardous substances and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h) Propose a use, or place residents adjacent to an existing or reasonably foreseeable use that would substantially increase current or future resident's exposure to vectors, including mosquitoes, rats or flies, which are capable of transmitting significant public health diseases or nuisances?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

- 9(a) The GPU EIR concluded this impact to be less than significant. The Project would not create a significant hazard to the public or the environment because it does not propose the storage, use, transport, emission, or disposal of Hazardous Substances, nor are Hazardous Substances proposed or currently in use in the immediate vicinity.

The nine onsite wells are to be destroyed (removed) and/or capped. A Well Destruction Permit is required, and the wells are to be destroyed by a licensed well driller. In addition, the existing on-site septic system that serves the existing single-family residence would be abandoned under the Department of Environmental Health (DEH) guidelines. Furthermore, one existing structure is identified for removal. Both a lead survey and asbestos survey is required, and the remediation of lead and asbestos is required prior to the removal of the structure.

The Project is required to comply with the conditions of approval and applicable regulations to ensure that impacts related to the disposal of hazardous materials from the removal of structures (wells, septic system, existing residence) is less than significant.

As previously discussed, the GPU EIR determined impacts from transport, use and disposal of hazardous materials and accidental release of hazardous materials to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 9(b) The GPU EIR concluded this impact to be less than significant. The Project is located within one-quarter mile of an existing or proposed school (Sullivan Middle School and Bonsall High School). These schools are located adjacent to the property at the southeast corner of the site on West Lilac Road. A "Remainder Parcel", "HOA Lot", and "Hillside Estate Parcel" surround the school site. Although the schools are in close proximity to the Project site; the Project would not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of the schools.

The Project is required to comply with applicable regulations pertaining to hazardous waste to ensure that impacts related to hazardous emissions and schools is less than significant.

As previously discussed, the GPU EIR determined impacts from hazards to schools to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 9(c) The GPU EIR concluded this impact to be less than significant. Based on a site visit and a comprehensive review of regulatory databases, the Project site has not been subject to a release of hazardous substances. Additionally, the Project does not propose structures for human occupancy or significant linear excavation within 1,000 feet of an open, abandoned, or closed landfill, is not located on or within 250 feet of the boundary

of a parcel identified as containing burn ash (from the historic burning of trash), and is not on or within 1,000 feet of a Formerly Used Defense Site.

As previously discussed, the GPU EIR determined impacts from existing hazardous materials sites to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 9(d) The GPU EIR concluded this impact to be less than significant with mitigation. The proposed Project is located within Airport Influence Area two (2) of the Camp Pendleton Land Use Compatibility Plan and is consistent with the Plan. The Project is not located within an Airport Safety Zone, within an Avigation Easement, an Overflight area or within a Federal Aviation Administration Height Notification Surface area. In addition, the Project does not propose construction of any structure equal to or greater than 150 feet in height, constituting a safety hazard to aircraft and/or operations from an airport or heliport.

As previously discussed, the GPU EIR determined impacts on public airports to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 9(e) The GPU EIR concluded this impact to be less than significant with mitigation. The proposed Project is not within one mile of a private airstrip. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 9(f)(i) OPERATIONAL AREA EMERGENCY PLAN AND MULTI-JURISDICTIONAL HAZARD MITIGATION PLAN:

The GPU EIR concluded this impact to be less than significant with mitigation. The Project would not interfere with this plan because it would not prohibit subsequent plans from being established or prevent the goals and objectives of existing plans from being carried out.

- 9(f)(ii) SAN DIEGO COUNTY NUCLEAR POWER STATION EMERGENCY RESPONSE PLAN: The property is not within the San Onofre emergency planning zone.

- 9(f)(iii) OIL SPILL CONTINGENCY ELEMENT:
The Project is not located along the coastal zone.

- 9(f)(iv) EMERGENCY WATER CONTINGENCIES ANNEX AND ENERGY SHORTAGE RESPONSE PLAN:

The Project would not alter major water or energy supply infrastructure which could interfere with the plan.

- 9f)(v) DAM EVACUATION PLAN:

A portion of the proposed Project is located within a dam inundation zone. However, the development would not constitute a "Unique Institution" such as a hospital, school, or retirement home pursuant to the Office of Emergency Services included within the County Guidelines for Determining Significance, Emergency Response Plans. In addition, pursuant to the County Water Authority Approval Letter dated August 2019, the

Project has been deemed acceptable. Therefore, the proposed Project would not impair implementation of or physically interfere with an adopted dam evacuation plan.

As previously discussed, the GPU EIR determined impacts from emergency response and evacuation plans to be less than significant with mitigation. As the Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 9(g) The GPU EIR concluded this impact as significant and unavoidable. The proposed Project is adjacent to wildlands that have the potential to support wildland fires. However, the Project would not expose people or structures to a significant risk of loss, injury or death involving wildland fires because the Project would comply with the regulations relating to emergency access, water supply, and defensible space specified in the Consolidated Fire Code, as described in the approved Fire Protection Plans prepared for the Project by Firewise 2000, Inc., both dated May 2019. According to the Fire Protection Plans and Fire Service Availability Letter submitted for the Project, the equestrian facility and all residential components (PA-1, -2, -3, and Hillside Estate Lot) would meet the required travel response times per the County of San Diego General Plan Safety Element.

As previously discussed, the GPU EIR determined impacts from wildland fires to be significant and unavoidable. However, the proposed Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 9(h) The GPU EIR concluded this impact as less than significant. The Project includes an existing equestrian facility that provides the training, breeding, rehabilitation, and boarding of horses. The equestrian facility is part of the requested entitlements. The Project would be conditioned to comply with both a Vector Control Plan, September 2019, and Manure Management Plan, September 2019, that was submitted to the County and conceptually approved by the DEH.

The Vector Control Plan is required to establish procedures in order to manage the existence of vectors due to various sources for the breeding of vectors. The equestrian facility includes a pond located north of the Stallion Barn and south of Pastures 7 & 8. The pond requires management to prevent a sudden or substantial increase in the population of mosquitoes or other undesirable insects. The Vector Control Plan requires that water in the pond be freshened by small, regular additions of fresh water, and by recirculating the pond's water through pumps and discharged back into the pond, in order to promote water movement, disturb the water's surface and prevent stagnation. In addition, the Project would manage the possible formation of standing water bodies by eliminating the features and prevent their return at a subsequent point in time. In addition, the Vector Control Plan also requires education of equestrian facility employees, manure management, trash management, hay storage management, pest control, and monitoring and reporting.

The Manure Management Plan is required to establish procedures in order to manage horse manure waste. The equestrian facility includes 7 barns, 1 equipment/hay storage barn, 1 workshop, 3 groundwater well pump houses, 8 employee houses, 1 future therapy pool, 1 water pond, 23 fenced pastures, 22 roofed pens, 13 unroofed pens, 2

open-air arenas, 1 circular exerciser, 9 existing pasture shade structures, and 16 proposed pasture shade structures. The Manure Management Plan requires waste management that includes the removal of waste from pens, stalls and any area where horses are concentrated, in order to minimize negative effects associated with the undesired accumulation of excess waste. In addition, the Manure Management Plan also requires education of equestrian facility employees, waste management, storage, and disposal practices; central waste collection; waste management methods; and monitoring reporting and enforcement.

As previously discussed, the GPU EIR determined less than significant impacts with mitigation from vectors. However, the proposed Project would have a less-than-significant impact from vectors with the incorporation of Project conditions of a Vector Control Plan and a Manure Management Plan. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Hazards and Hazardous Materials, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant by adhering to the Project conditions of approval, which are consistent with the GPU EIR.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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10. Hydrology and Water Quality – Would the Project:

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| a) Violate any waste discharge requirements? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Is the project tributary to an already impaired water body, as listed on the Clean Water Act Section 303(d) list? If so, could the project result in an increase in any pollutant for which the water body is already impaired? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) Could the proposed project cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

e) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?

f) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?

g) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems?

h) Provide substantial additional sources of polluted runoff?

i) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map, including County Floodplain Maps?

j) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

k) Expose people or structures to a significant risk of loss, injury or death involving flooding?

l) Expose people or structures to a significant risk of loss, injury or death involving flooding as a result of the failure of a levee or dam?

m) Inundation by seiche, tsunami, or mudflow?

Discussion

Three technical studies were prepared for the project related to hydrology and water quality:

- (1) A Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP) dated July 31, 2019, prepared by Project Design Consultants
- (2) A Drainage Study dated July 31 2019 and prepared by Project Design Consultants,
- (3) A Hydraulic Analysis dated May 22, 2019 and prepared by Chang Consultants

- 10(a) The GPU EIR concluded this impact to be significant and unavoidable. Development Projects have the potential to generate pollutants during both the construction and operational phases. For the Project to avoid potential violations of any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality, storm water management plans are prepared for both phases of the development Project.

During the construction phase, the Project would prepare and implement a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP would implement the following typical erosion control BMPs: hydraulic stabilization and hydroseeding on disturbed slopes; County Standard lot perimeter protection detail and County Standard desilting basin for erosion control on disturbed flat areas; energy dissipater outlet protection for water velocity control; silt fencing, fiber rolls, gravel and sand bags, storm drain inlet protection and engineered desilting basin for sediment control; stabilized construction entrance, street sweeping and vacuuming for offsite tracking of sediment; and measures to control materials management and waste management.

The SWPPP would be prepared in accordance with Order No. 2009-009-DWQ, National Pollutant Discharge Elimination System (NPDES) Order CAS000002 Construction General Permit (CGP) adopted by the State Water Resources Control Board (SWRCB) on September 2, 2009. During the post-construction phase, as outlined in the SWQMP, the Project would implement site design, source control and structural BMPs to prevent potential pollutants from entering storm water runoff. The SWQMP has been prepared in accordance with the County of San Diego BMP Design Manual (2019) and SDRWQCB Order No. R9-2013-0001 Municipal Separate Storm Sewer System (MS4) permit (2013), as adopted by the RWQCB on May 8, 2013.

Conditions of Approval

The following list includes the Project conditions of approval:

Storm Water Pollution Prevention Plan

- A SWPPP would be prepared in accordance with the National Pollutant Discharge Elimination Systems Construction General Permit adopted by the State Water Resources Control Board.

The Project's conformance to the waste discharge requirements of both the CGP and MS4 storm water permits listed above ensures the Project would not create cumulatively considerable water quality impacts and addresses human health and water quality concerns. Therefore, the Project would not contribute to a cumulatively considerable impact to water quality from waste discharges.

As previously discussed, the GPU EIR determined significant and unavoidable impacts to water quality standards and requirements. However, the proposed Project would have a less-than-significant impact to water quality standards with the implementation of Project conditions as detailed above. The conditions are consistent with the GPU EIR mitigation measures Hyd-1.2 through Hyd-1.5. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(b) The GPU EIR concluded this impact to be significant and unavoidable. The Project lies in the Bonsall (903.12) hydrologic subarea, within the San Luis Rey hydrologic unit.

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According to the Clean Water Act Section 303(d) list, a portion of this watershed are impaired. Constituents of concern in the San Luis Rey watershed include chloride and total dissolved solids. The Project could contribute to release of these pollutants; however, the Project would comply with the WPO (identified as mitigation measure Hyd-1.2) and implement site design measures, source control BMPs, and treatment control BMPs to prevent a significant increase of pollutants to receiving waters.

As previously discussed, the GPU EIR determined significant and unavoidable impacts to water quality standards and requirements. However, Project would have a less-than-significant impact with mitigation (Hyd-1.2 through Hyd-1.5) to water quality standards and requirements. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

10(c) The GPU EIR concluded this impact to be significant and unavoidable. As stated in responses 9(a) and 9(b) above, implementation of BMPs and compliance with required ordinances would ensure that Project impacts are less than significant. As previously discussed, the GPU EIR determined significant and unavoidable impacts to water quality standards and requirements and groundwater supplies and recharge. However, the proposed Project would have a less-than significant impact with mitigation to water quality standards and requirements and groundwater supplies and recharge (Hyd-1.2 through Hyd-1.5). Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

10(d) The GPU EIR concluded this impact to be significant and unavoidable. The Project would obtain its water supply from the Rainbow Ramona Municipal Water District that obtains water from surface reservoirs or other imported sources. The Project would however continue to use groundwater. Five on-site wells in the equestrian facility would remain in operation. No new groundwater wells would be drilled. Historically, groundwater usage on the site has been for irrigation of horse pastures as well as agricultural row crops and avocado orchards and would be considered part of baseline conditions. The historic irrigation onsite totals 576.7 acres. With the proposed Project, approximately 110.1 acres would require continued groundwater irrigation. Overall, with the proposed Project, a reduction of groundwater usage of 81% is expected.

As previously discussed, the GPU EIR determined significant and unavoidable impacts to groundwater supplies and recharge. However, the proposed Project would have a less-than-significant impact to groundwater recharge with mitigation (Hyd-1.2 through Hyd-1.5). Therefore, the Project would not be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

10(e) The GPU EIR concluded this impact to be less than significant with mitigation. The Project would not result in substantial erosion or siltation on or off-site because storm water management plans are prepared for both the construction and post-construction phases of the development Project. During the construction phase, the Project would prepare and implement a SWPPP. The SWPPP would implement the following typical erosion control BMPs: hydraulic stabilization hydroseeding on disturbed slopes; County Standard lot perimeter protection detail and County Standard desilting basin for erosion control on disturbed flat areas; energy dissipater outlet protection for water velocity control; silt fencing, fiber rolls, gravel and sand bags, storm drain inlet protection and engineered desilting basin for sediment control; stabilized construction entrance, street sweeping and vacuuming for offsite tracking of sediment; and measures to control materials management and waste management.

The SWPPP would be prepared in accordance with Order No. 2009-009-DWQ, NPDES Order CAS000002 CGP adopted by the SWRCB on September 2, 2009. During the post-construction phase, as outlined in the Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP) dated July 31, 2019, prepared by Project Design Consultants, the Project would implement site design, source control and structural BMPs to prevent potential pollutants from entering storm water runoff. The SWQMP has been prepared in accordance with the County of San Diego BMP Design Manual (2019) and SDRWQCB Order No. R9-2013-0001 Municipal Separate Storm Sewer System (MS4) permit (2013), as adopted by the RWQCB on May 8, 2013.

The SWPPP and SWQMP specify and describe the implementation process of all BMPs that would address equipment operation and materials management, prevent the erosion process from occurring, and prevent sedimentation in any onsite and downstream receiving waters. The Department of Public Works would ensure that these Plans are implemented as proposed. Therefore, it has been determined that the Project would not result in significantly increased erosion or sedimentation potential and would not alter any drainage patterns of the site or area on- or off-site.

As previously discussed, the GPU EIR determined significant and unavoidable impacts to erosion or siltation. However, the proposed Project would have a less-than-significant impact to erosion or siltation with mitigation (Hyd-1.2 through Hyd-1.5). Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(f) The GPU EIR concluded this impact to be less than significant with mitigation. The Drainage Study determined that the Project would not alter the existing drainage pattern in a manner which would result in flooding on- or off-site. The Project proposes minor changes to the topography. Improvement consists of the grading of pads, public and private streets gutters, curb inlets, and catch basins which would tie into an underground storm drain system. The basins were sized to attenuate post-Project peak flow rates in the event of a 100-year storm event. The improvements also include a bypass system which would prevent the commingling of on-site runoff and run-on from undeveloped areas. Flow from both onsite and offsite drainage areas are conveyed to outfalls along either the San Luis Rey River or the roadside drainage ditches to the south of the property. In addition, the Project's drainage patterns would mimic the existing conditions of the site.

According to the Hydraulic Analysis, two portions of the proposed Project would encroach into the San Luis Rey floodplain. However, the analysis concluded that no grading would encroach within the revised floodway and the proposed residential pads have been designed to be several feet higher than the adjacent 100-year water surface elevations, consistent with GPU EIR Mitigation Measure Hyd-6.1. Therefore, impacts would be less than significant. For more information on the San Luis Rey floodplain and Project conditions, please refer to response 10(i) below.

As previously discussed, the GPU EIR determined impacts to flooding as less than significant with mitigation. The proposed Project would have a less-than-significant impact to flooding with the incorporation of EIR Mitigation Measure Hyd-6.1. This condition requires compliance with the Resource Protection Ordinance to prohibit development in a floodway. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impact identified within the GPU EIR.

- 10(g) The GPU EIR concluded this impact to be less than significant with mitigation. Pursuant to the Drainage Study prepared by Project Design Consultants and dated July 31, 2019, the proposed Project would detain stormwater onsite and would not increase peak flows; therefore, the Project would not contribute runoff water that would exceed the capacity of existing or planned storm water drainage systems.

As previously discussed, the GPU EIR determined impacts to exceed capacity of stormwater systems as less than significant with mitigation. With mitigation, the proposed Project would have a less-than-significant impact with regards to exceeding the capacity of stormwater systems with mitigation (Hyd-1.2 through Hyd-1.5). Therefore, the Project would not be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(h) The GPU EIR concluded this impact to be significant and unavoidable. The Project has the potential to generate pollutants; however, site design measures, source control BMPs, and treatment control BMPs as indicated in response 10(a) would be employed such that potential pollutants would be reduced to the maximum extent practicable. In addition, septic layout designs have been reviewed and incorporated GPU EIR Mitigation Measure Hyd-1.9 as a Project design feature.

As previously discussed, the GPU EIR determine impacts to water quality standards and requirements as significant and unavoidable. However, the proposed Project would have a less-than-significant impact to water quality standards with the implementation of GPU EIR mitigation measures Hyd-1.2 through Hyd-1.5 and Hyd-1.9. Therefore, the Project would not be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(i) The GPU EIR concluded this impact to be less than significant with mitigation. According to the Hydraulic Analysis prepared by Chang Consultants and dated May 22, 2019, two portions of the proposed Project would encroach into the San Luis Rey floodplain. The first portion is within PA-3 at the northwestern corner of the site and second portion is along a segment of Dulin Road that would be extended westerly, approximately 1.9 miles to the site. The Hydraulic Analysis includes a floodway analysis to ensure no impacts would occur. The analysis concluded that no grading would encroach within the revised floodway and the proposed residential pads have been designed to be several feet higher than the adjacent 100-year water surface elevations. The Project's grading would meet the County and FEMA hydraulic regulations. In addition, a Conditional Letter of Map Revision (CLOMR) and a Letter of Map Revision (LOMR) pursuant to the Federal Emergency Management Agency (FEMA) would be required for the Project. Therefore, no substantial impacts would occur. For a list of Project conditions, please see below.

Project Conditions

The following are the conditions for the Project:

- The applicant shall submit a CLOMR and LOMR pursuant to FEMA.

As previously discussed, the GPU EIR determined impacts from housing within a 100-year flood hazard area as less than significant with mitigation. The Project would incorporate Project conditions consistent with the GPU EIR mitigation measures Hyd-1.2 through Hyd-1.5. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(j) The GPU EIR concluded this impact to be less than significant with mitigation. According to the Hydraulic Analysis, the portions that would encroach within the floodplain would be well above the San Luis Rey 100-year floodplain elevation. Therefore, the Project structures would not impede or redirect flood flows. For more information on the San Luis Rey floodplain and Project conditions, please refer to response 10(i) above.

As previously discussed, the GPU EIR determined impacts from impeding or redirecting flood flows as less than significant with mitigation. The proposed Project would have a less-than-significant impact for the reasons detailed above and is consistent with GPU EIR mitigation measure Hyd-6.1. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(k) The GPU EIR concluded this impact to be less than significant with mitigation. As discussed in response 10(i), no grading would encroach within the revised floodway and the proposed residential pads have been designed to be several feet higher than the adjacent 100-year water surface elevations. In addition, the Project's grading would meet the County and FEMA hydraulic regulations. Therefore, no impacts would occur as a result of flooding from the 100-year flood.

As previously discussed, the GPU EIR determined impacts from housing within a 100-year flood hazard area and emergency response and evacuation plans as less than significant with mitigation. The proposed Project would have a less-than-significant impact for the reasons detailed above and is consistent with GPU EIR mitigation measure Hyd-6.1. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(l) The GPU EIR concluded this impact to be less than significant with mitigation. The County Office of Emergency Services maintains Dam Evacuation Plans for each dam operational area. These plans contain information concerning the physical situation, affected jurisdictions, evacuation routes, unique institutions and event responses. If a "unique institution" is proposed, such as a hospital, school, or retirement home, within dam inundation area, an amendment to the Dam Evacuation Plan would be required.

A portion of the proposed Project is located within a dam inundation zone. However, the development would not constitute a "Unique Institution" such as a hospital, school, or retirement home pursuant to the Office of Emergency Services included within the County Guidelines for Determining Significance, Emergency Response Plans. The Project would not interfere with the adopted Dam Evacuation Plan. Thus, no significant impacts would occur.

As previously discussed, the GPU EIR determined impacts from dam inundation and flood hazards and emergency response and evacuation plans as less than significant with mitigation. The proposed Project would have a less-than-significant impact for the reasons detailed above and is consistent with GPU EIR mitigation measures Hyd-6.1 and Hyd-8.2. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 10(m)(i) The GPU EIR concluded this impact to be less than significant with mitigation.
SEICHE: The Project site is not located along the shoreline of a lake or reservoir.

10(m)(ii) TSUNAMI: The Project site is not located in a tsunami hazard zone.

10(m)(iii) MUDFLOW: Mudflow is type of landslide. See response to question 6(a)(iv).

As previously discussed, the GPU EIR determined impacts from seiche, tsunami and mudflow hazards to be less than significant with mitigation. However, the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Hydrology and Water Quality, the following findings can be made:

1. No peculiar impacts to the project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR (Hyd-1.2 through Hyd-1.5, Hyd-1.9, Hyd-6.1 and Hyd-8.2) would be applied to the Project. The mitigation measures, as detailed above, requires the Project applicant to comply with the guidelines for determining significance for Hydrology and Water Quality as well as for Dam Inundation, the Watershed Protection Ordinance, Stormwater Standards Manual, and the Resource Protection Ordinance.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
11. Land Use and Planning – Would the Project:			
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

11(a) The GPU EIR concluded this impact to be less than significant with mitigation. The Project would propose the introduction of new infrastructure including public roads, water and wastewater pipeline extensions, and utilities to the area. The Project is consistent with the allowed density of 402 units per the County of San Diego General Plan. The Project would develop 396 residential units; therefore, buildout of the site was anticipated in the GPU. As previously discussed, the GPU EIR determined impacts from physically dividing an established community as less than significant with mitigation. However, the proposed Project would have a less-than-significant impact for the reasons

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detailed above and has incorporated GPU EIR Mitigation Measures Lan-1.1 through Lan-1.3 in the Project design. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 11(b) The GPU EIR concluded this impact to be less than significant. The Project would permit an existing equestrian facility and subdivide a 1,402.5-acre property into 396 lots as a Conservation Subdivision, which is consistent with the development density established by the General Plan and the certified GPU EIR. County Subdivision Ordinance Section 81.401(r) calls for residential Projects with lands designated as SR-10, and RL-20 through RL-80 to be designed as conservation subdivision. The Project has been designed as a conservation subdivision but consolidating the Project's development footprint in a way which minimizes impacts to environmental resources per Sec. 81.401(r)(1), with avoided areas set aside from development by conservation easements per Sec. 81.401(r)(1). The discretionary actions for the Project include a tentative map, and two Major Use Permits, one for the equestrian facility and one for the Planned Residential Development (PRD) of PA-1 and PA-2.

The Project site is Zoned Limited Agriculture (A-70), Open Space (S-80), and Variable Family Residential (RV) and has General Plan land use designations of VR-4.3, SR-4, SR-10, RL-20 and RL-40. As stated in response 11(a), the Project would be consistent with the General Plan allowed density and has been anticipated in the GPU EIR. In addition, the site falls within two planning areas: majority of the Project site falls within the Bonsall Community Plan Area, with a portion requiring compliance with the Bonsall Design Guidelines, while only the northeastern tip of the site falls within the Fallbrook Community Plan Area. The Project would be consistent with the Bonsall Community Plan and Bonsall Design Guidelines, as well as the Fallbrook Community Plan. A Site Plan with architectural drawings has been developed for the PRD pursuant to Zoning Ordinance Section 5750. The Site Plan has been designed closely with the Bonsall Design Guidelines and would require approval from the Bonsall Community Planning Group prior to approval of the Project. Therefore, the Project would not conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the Project adopted for the purposes of avoiding or mitigating an environmental effect. As previously discussed, the GPU EIR determined impacts to conflicts with land use plans, policies, regulations as less than significant. As the Project would have a less-than significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Land Use and Planning, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.

- 4. Feasible mitigation measures contained within the GPU EIR (Lan-1.1 through Lan-1.3) have been applied to the Project requiring coordination efforts to ensure that development of the site would not divide an established community.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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12. Mineral Resources – Would the Project:

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

12(a) The GPU EIR determined that impacts to mineral resources would be significant and unavoidable. It considered several mitigation measures related to the siting of residential Projects on sites that contain known mineral resources, but ultimately determined them to be infeasible. For example, it considered the prohibition of incompatible uses that would be located on or near significant mineral resource sites. But that measure would result in restrictions on future development in areas identified or increased growth in the General Plan Update because significant or potentially significant mineral resources sites have been identified throughout the western portion of the unincorporated County, where the majority of development under the General Plan Update would take place. Thus, that measure would conflict with goal of the Housing Element to provide sufficient housing stock and would not achieve one of the primary objectives of the proposed Project which is to accommodate a reasonable amount of growth.

The GPU EIR also considered, for projects that propose incompatible uses near significant mineral resource sites, to require the applicants to mine the site prior to project development. However, the GPU EIR determined that measure would result in undue hardship on the entitlement process as extraction activities often take decades to complete and may make the site unusable for the proposed land use.

GPU EIR mitigation measure Min-1.1 requires projects to assess the impact of new development on mineral resources as required by the County Guidelines for Determining Significance for Mineral Resources, which typically requires a Mineral Resources Investigation. Therefore, a Mineral Resources Investigation (2019) has been prepared by GeoSoils, Inc. for the proposed Project.

The California Surface Mining and Reclamation Act (SMARA) required classification of land into Mineral Resource Zones (MRZs). The northernmost portion of the Project site (north of Dulin Ranch Road) is classified as MRZ-2. MRZ-2 is defined as areas underlain by mineral deposits where geologic data show that significant measured or indicated resources are present. Specifically, the MRZ-2 area is underlain by alluvial deposits of the San Luis Rey River. The remainder of the Project site is located within an area which has been classified by the California Department of Conservation – Division of Mines and Geology as MRZ-3. Areas classified as MRZ-3 contain known mineral deposits that may qualify as mineral resources. Further exploration work within these areas could result in the reclassification into the MRZ-2 category. The approximate delineation of

these Mineral Resource Zones is shown in Figure 6 of the Mineral Resources Investigation.

Based on borings, the Mineral Resources Investigation concluded the alluvial deposits could be excavated to depths of up to about 20 feet using heavy-duty grading equipment. The potentially minable area within the Project site consists of approximately 398.54 acres. The total volume of the quarry extracted to an average depth of 20 feet would be approximately 12,859,557 cubic yards. Based on a material waste percentage of 20 percent, the volume of the quarry would be 13,373,940 tons (net).

The alluvial deposits underlying a portion of the Project site may be only marginally suitable as sources of construction materials due to the high waste percentage and the variable weathering of the alluvial constituents. Nonetheless, the loss of this resource within the Project site would be considered significant, pursuant to County guidelines. As mitigation was previously determined to be infeasible by the GPU EIR, there would be no other feasible mitigation for the Project beyond what was already required (complying with the County Guidelines for Determining Significance for Mineral Resources). Therefore, consistent with the GPU EIR, impacts would be significant and unavoidable.

- 12(b) The GPU EIR concluded this impact to be significant and unavoidable. The Project site is not located in an Extractive Use Zone (S-82), nor does it have an Impact Sensitive Land Use Designation (24) with an Extractive Land Use Overlay (25). Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Mineral Resources, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. As there are no feasible mitigation measures, the Project's impacts to mineral resources would be significant and unavoidable. Since the GPU EIR concluded significant and unavoidable impacts to mineral resources, the Project would not result in an impact which was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
13. Noise – Would the Project:			
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

13(a) The GPU EIR concluded this impact to be less than significant with mitigation. The area surrounding the Project site consists of parcels that are zoned Rural Residential (RR), Limited Agriculture (A70), Specific Plan (S88), Open Space (S80), and Mobilehome Residential (RMH4). The Project would not expose people to potentially significant noise levels that exceed the allowable limits of the General Plan, Noise Ordinance, or other applicable standards for the following reasons:

General Plan – Noise Element: Policy 4b addresses noise sensitive areas and requires Projects to comply with a Community Noise Equivalent Level (CNEL) of 60 decibels (dBA) or increase of 10 dB (CNEL) over pre-existing noise. Projects which could produce noise in excess of 60 dB(A) are required to incorporate design measures or mitigation as necessary to comply with the Noise Element. Based on a review of the County’s noise contour maps and Acoustical Analysis dated June 21, 2019 by Lnd Consulting, Inc., the Project is not expected to expose any on- and off-site, existing, or planned noise sensitive areas to noise in excess of 60 dB(A) or increase of 10 dB (CNEL) over the pre-existing noise.

Noise Ordinance – Section 36-404: Non-transportation noise generated by the Project is not expected to exceed the standards of the Noise Ordinance at or beyond the Project’s property line. The site is zoned A70, S80, and Variable Family Residential (RV) that has

a one-hour average sound limit of 50 dBA daytime and 45 dBA nighttime. The adjacent properties are zoned RR, A70, S88, S80, and RMH4. The Project does not involve any noise producing equipment that would exceed applicable noise levels at the adjoining property line.

Noise Ordinance – Section 36.408, 36.409, and 36.410: The Project would not generate construction noise in excess of Noise Ordinance standards. Construction operations would occur only during permitted hours of operation. Also, it is not anticipated that the Project would operate construction equipment in excess of an average sound level of 75dB between the hours of 7 AM and 7 PM. Rock drills would be located at a minimum of 200 feet from the nearest occupied residential property line would comply with the Noise Ordinance noise limit of 82 dBA, Section 36.410 (a). However, to be in compliance with the 75 dBA noise limit pursuant to Section 36.409, the rock drill must be at least 225 feet from any occupied NSLU. As conditioned for Project, any work occurring within 225 feet of an adjacent property line would be required to provide further noise analysis and mitigation. Blasting operation would comply with the County's Consolidated Fire Code. For a list of Project conditions, please see below.

Project Conditions

The following are the Project's conditions:

Blasting Noise Plan

- Prior to any ground disturbing activities, the applicant shall submit to, and receive approval from, the Director of PDS, a Blasting Plan consistent with Noise and an Exhibit showing all location of where blasting activities would occur.

Temporary Rock Crushing and Drilling

- Prior to any ground disturbing activities, the applicant shall submit to, and receive approval from, the Director of PDS, an Exhibit showing all locations where rock crushing and drilling would occur. The location of any temporary rock crushing and drilling activities shall be adequately setback.
- During ground disturbing activities, the location of any temporary rock crushing and rock drilling activities shall be adequately setback.

Temporary Construction Noise

- During ground disturbing activities, the Project shall comply with the temporary construction noise control measures and shall comply with the eight-hour average sound level of 75 dBA pursuant to Noise Ordinance Section 36.408 and 36.409.

As previously discussed, the GPU EIR determined impacts from excessive noise levels to be less than significant with mitigation. However, the proposed Project would have a less than significant impact with specific Project conditions. These conditions are consistent with GPU EIR Mitigation Measures Noi-1.1 and Noi-4.2. Therefore, the proposed Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 13(b) The GPU EIR concluded this impact to be less than significant with mitigation. The Project includes residential uses which are sensitive to low ambient vibration. However, the residences would be setback more than 600 feet from any public road or transit Right-of-Way with projected noise contours of 65 dB or more; any property line for parcels zoned industrial or extractive use; or any permitted extractive uses. A setback of 600 feet ensures that the operations do not have any chance of being impacted by groundborne vibration or groundborne noise levels (Harris, Miller Miller and Hanson Inc., Transit Noise and Vibration Impact Assessment 1995). As previously discussed, the GPU EIR determined impacts from excessive groundborne vibration to be less than

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significant with mitigation. However, the Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 13(c) As indicated in the response listed under Section 12(a), the Project would not expose existing or planned noise sensitive areas in the vicinity to a substantial permanent increase in noise levels that exceed the allowable limits of any applicable noise standards. Also, the Project is not expected to expose existing or planned noise sensitive areas to noise 10 dB CNEL over existing ambient noise levels. As previously discussed, the GPU EIR determined impacts from permanent increase in ambient noise levels to be significant and unavoidable. However, the Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.
- 13(d) The GPU EIR concluded this impact to be less than significant with mitigation. The Project does not involve any operational uses that may create substantial temporary or periodic increases in ambient noise levels in the Project vicinity. Also, general construction noise is not expected to exceed the construction noise limits of the Noise Ordinance. Construction operations would occur only during permitted hours of operation. Also, the Project would not operate construction equipment in excess of 75 dB for more than 8 hours during a 24-hour period. As previously discussed, the GPU EIR determined impacts from temporary increase in ambient noise levels to be less than significant with mitigation. However, the proposed Project would have a less than significant impact with specific Project conditions (listed in response 13(a)). Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.
- 13(e) The GPU EIR concluded this impact to be less than significant with mitigation. The Project is located within an Airport Land Use Compatibility Plan (ALUCP) for airports (Camp Pendleton Air Terminal) and is consistent with the plan. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.
- 13(f) The GPU EIR concluded this impact to be less than significant with mitigation. The Project is not located within a one-mile vicinity of a private airstrip. Therefore, the proposed Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Noise, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant by adhering to the project conditions of approval, which are consistent with the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
14. Population and Housing – Would the Project:			
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

14(a) The GPU EIR concluded this impact to be less than significant. The Project site is designated in the General Plan as Rural (RL-40, RL-20), Semi-Rural (SR-4, SR-10) and Village Residential (VR-4.3). A total of 402 residential units could be developed under these designations. Development of the Project would include 396 residential units. As such, the Project would not induce substantial unplanned population growth in the area as development of the site was accounted for within the GPU. In addition, the Project does not propose any physical or regulatory change that would remove a restriction to or encourage population growth in the area. As previously discussed, the GPU EIR determined impacts from population growth to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

14(b) The GPU EIR concluded this impact to be less than significant. The Project would not displace substantial numbers of existing housing. Only one structure, the 1980s ranch house would not be retained. The Project would develop 396 residential units. As such, replacement housing would not be required elsewhere.

As previously discussed, the GPU EIR determined impacts from displacement of housing to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

14(c) The GPU EIR concluded this impact to be less than significant. The Project would not displace a substantial number of people. Only one structure, the 1980s ranch house would not be retained. As such, replacement housing would not be required elsewhere.

As previously discussed, the GPU EIR determined impacts from displacement of people to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Population and Housing, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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15. Public Services – Would the Project:

a) Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance service ratios for fire protection, police protection, schools, parks, or other public facilities?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Discussion

15(a) The GPU EIR concluded this impact to be less than significant with mitigation for the exception of school services, which remained significant and unavoidable. Water and sewer service would be provided by the Rainbow Municipal Water District (RMWD). Within Planning Areas 1 and 2, wastewater would be provided by an onsite public sewer distribution system to be constructed by the Project. Two sewer lift stations would be constructed to transmit wastewater flows to an existing offsite sewer line in West Lilac Road. Within Planning Area 3, septic systems would be installed to handle domestic wastewater flows. Project internal water distribution systems would be constructed by the Project, connecting to existing transmission lines owned by RMWD.

Fire protection and emergency medical response services would be provided by the North County Fire Protection District (NCFPD.) The nearest fire station is NCFPD's Fire Station #5, located at 5906 Olive Hill Road near SR-76. This station was completed in 2015 and has sufficient capacity to serve this Project. In addition, Fire Station #4 located at 4375 Pala Mesa Drive is located 2.1 miles from the east entrance to the Ocean Breeze Ranch Project site.

Electricity, Gas, Telephone and CATV service is currently available in West Lilac Road. Facilities for service would be extended into the Project site by the Project developer and would be constructed underground.

Pursuant to the Project availability forms, students living within this community would attend schools of the Bonsall Unified School District. The elementary school serving this

site would be Bonsall Elementary, at the intersection of Camino del Rey and Old River Road. The middle school would be Sullivan Middle School, which is located on West Lilac Road and is adjacent to the property at the southeast corner of the site. High school students would attend Bonsall High School, which has been constructed at the Sullivan campus on West Lilac Road. The Project applicant would pay for all applicable school fees to the Bonsall Unified School District.

Trash collection services in the area are provided by private providers such as EDCO or Waste Management. Residents would be able to secure weekly trash collection by entering into monthly service agreements with the appropriate provider.

Based on the Project’s service availability forms, and the discussion above, the Project would not result in the need for significantly altered services or facilities. As previously discussed, the GPU EIR determined impact to fire protection services, police protection services and other public services as significant with mitigation while school services remained significant and unavoidable. However, as the Project would have a less-than-significant impact for the reasons stated above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Public Services, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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16. Recreation – Would the Project:

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Discussion

16(a) The GPU EIR concluded this impact to be less than significant with mitigation. The Project would increase the use of existing parks and other recreational facilities;

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however, the Project would dedicate land to public or private parks. Pursuant to the County's Park Land Dedication Ordinance (PLDO), 3.21 acres of usable, active park area would be required for the Project. The PLDO is the mechanism that enables the funding or dedication of local parkland in the County. The Project would provide for 3.7 acres of public and private park area that meets the County's definition of usable park area, far exceeding the requirements of the PLDO. An additional 12.21 acres of park land would also be dedicated.

As previously discussed, the GPU EIR determined impacts related to deterioration of parks and recreational facilities to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 16(b) The GPU EIR concluded this impact to be less than significant with mitigation. As described above in 15(a), the Project would provide recreational facilities for its residents, including trails connecting to the San Luis Rey River as well as the Sullivan Middle School. Impacts from these amenities have been considered as part of the overall environmental analysis contained elsewhere in this document.

As previously discussed, the GPU EIR determined impacts related to construction of new recreational facilities to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Recreation, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
17. Transportation and Traffic – Would the Project:			
a) Conflict with an applicable plan, ordinance or policy establishing measures of the effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

A Traffic Impact Study, prepared by LSA and dated September 2019 was prepared for the proposed Project. The Project incorporated design features to accommodate pedestrian circulation on site. The Project would construct sidewalks on all connectors to existing or planned pedestrian facilities on adjacent roadways. In addition, a right-hand turn pocket would be constructed as a project design feature to the intersection of Camino Del Rey and West Lilac Road. The design features were incorporated within the below analysis.

17(a) The GPU EIR concluded this impact to be significant and unavoidable. The County of San Diego Guidelines for Determining Significance for Traffic and Transportation (Guidelines) establish measures of effectiveness for the performance of the circulation system. These Guidelines incorporate standards from the County of San Diego Public Road Standards, Mobility Element, and the Transportation Impact Fee Program.

As discussed in the traffic study, new Project trips would be distributed onto County roads. The Project would result in an additional 3,990 average daily trips (ADT) to roadways in the Project area.

Level of Service (LOS) is a professional industry standard by which the operating conditions of a given roadway segment or intersection is measured. Level of Service is defined on a scale of A to F; where LOS A represents the best operating conditions and LOS F represents the worst operating conditions. LOS A facilities are characterized as having free flowing traffic conditions with no restrictions on maneuvering or operating speeds; traffic volumes are low and travel speeds are high. LOS F facilities are characterized as having forced flow with many stoppages and low operating speeds. The LOS ranges are defined below:

Level of Service Ranges			
Level of Service	Roadway Segments – Average Daily Traffic (ADT) Volume ¹	Signalized Intersections – Delay (Seconds/Vehicle) ²	Unsignalized Intersections – Delay (Seconds/Vehicle) ²
A	Less Than 1,900	Less Than or Equal to 10.0	Less Than or Equal to
B	1,901 to 4,100	10.1 to 20.0	10.1 to 15.0
C	4,101 to 7,100	20.1 to 35.0	15.1 to 25.0
D	7,101 to 10,900	35.1 to 55.0	25.1 to 35.0
E	10,901 to 16,200	55.1 to 80.0	35.1 to 50.0
F	Greater Than 16,200	Greater than 80.0	Greater than 50.0

¹ The volume ranges are based on the County of San Diego Circulation Element of a Light Collector, the average d
vided in Appendix A.
² Highway Capacity Manual (HCM).

The Project is anticipated to generate 3,990 average daily trips (ADT), 320 a.m. peak-hour trips (97 inbound and 223 outbound), and 399 p.m. peak-hour trips (280 inbound and 119 outbound).

All study area roadway and two-lane highway segments are anticipated to continue to operate at acceptable capacity levels. Consistent with the County Guidelines for Determining Significance, the Project would not significantly impact any of the study area roadway and two-lane highway segments. The four SR-76 freeway segments analyzed were anticipated to continue operating at acceptable LOS A with the addition of Project traffic. The freeway segments analyzed for the I-15 were both anticipated to continue to operate at unacceptable LOS F with the addition of Project traffic. However, according to Traffic Study and the SANTEC/ITE thresholds of significance, the Project would not cause the freeway segments to exceed the thresholds. Therefore, the Project would not significantly impact any freeway segments.

Based on the results of this TIS, the Project would cause direct and cumulative Project impacts to the following intersections and road segments:

Direct

- ~~West Lilac Road/Camino Del Rey~~
- Old Highway 395/West Lilac Road

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Cumulative
Intersections

- SR-76/East Vista Way-Old River Road
- SR-76/Olive Hill Road-Camino Del Rey
- SR-76/Old Highway 395
- SR-76/North River Road
- SR-76/Via Montellano
- I-15 SB Ramps/Old Hwy 395
- I-15 NB Ramps/Hwy 395
- Old Hwy 395/Camino Del Rey
- Old Hwy 395/Gopher Canyon
- Camino Del Rey/West Lilac
- West Lilac/Old Hwy 395
- Lilac Road/Old Castle Road

Road Segments

- Camino Del Rey (Old River Road to West Lilac)
- Old Hwy 395 (Circle R Road to Camino del Rey)
- Old Hwy 395 (Circle R Road to Gopher Canyon)

~~According to the Traffic Study, the Project would not result in a significant impact to the aforementioned intersections or road segments~~

All County Intersections and road segments would not result in significant impacts with the implementation of improvements and/or mitigation measures. Please see below for a list of Project improvements and mitigation measures.

Project Conditions

~~Prior to recordation of the first Final Map (irrespective of the Phase or unit number or ownership of the area covered by that Final Map), pay a fair share contribution toward the improvement of the following intersections. The amount of the fair share contribution shall be based on the Projects ADT, to the satisfaction of the Director of Planning & Development Services ("PDS") and Caltrans.~~

- ~~1. SR 76 / E. Vista Way—Old River Road—2.9%~~
- ~~2. SR 76 / Olive Hill Road—Camino Del Rey—3.4%~~
- ~~3. SR 76 / Old Highway 395—3.8%~~
- ~~4. SR 76 / North River Road—3.7%~~
- ~~5. SR 76 / Via Montellano—3.7%~~

Project Mitigation

The following are the proposed mitigation measures for the Project:

Direct~~West Lilac/Camino Del Rey~~

- ~~• The applicant would be required to implement a roundabout or other options in accordance with the TIS dated September 2019~~

Old Highway 395/West Lilac Road

- The applicant would be required to implement a signalized intersection

~~Lilac Road and Old Castle Road~~

- ~~• The applicant would be required to implement an all-way stop control~~

CumulativeI-15 SB Ramps/Old Hwy 395I-15 NB Ramps/Hwy 395Old Hwy 395/Camino Del ReyOld Hwy 395/Gopher CanyonCamino Del Rey/West LilacWest Lilac/Old Hwy 395Lilac Road/Old Castle Road

- The applicant would be required to pay into the County TIF program

In addition, the Project has incorporated design features for pedestrian circulation. The Project would not conflict with policies related to non-motorized travel such as mass transit, pedestrian or bicycle facilities. A right-hand turn pocket would also be constructed as a project design feature to the intersection of Camino Del Rey and West Lilac Road. West Lilac Road would also be widened and improved to include a decomposed granite shoulder, consistent with the County's Mobility Element.

Therefore, the Project would have a less-than-significant impact to County roadway and road segments with the incorporation of GPU EIR mitigation measures Tra-1.3, Tra-1.4, Tra-1.7, and Tra-2.1 (as well as Project specific mitigation measures consistent with the GPU EIR) for a less than significant impact with mitigation.

According to the Traffic Study, the Project would result in significant and unmitigable impacts to the following Caltrans intersections:

- SR-76/East Vista Way-Old River Road
- SR-76/Olive Hill Road-Camino Del Rey
- SR-76/Old Highway 395
- SR-76/North River Road
- SR-76/Via Montellano

Feasible mitigation measures from the GPU EIR have been applied to the Project (Tra-1.3, Tra-1.4, Tra-1.7, Tra-2.1 and 4.2). In addition, the Project complied with the intent of mitigation measure Tra-1.2: Coordinate with Caltrans and adjacent jurisdictions during planning and design for improvements to the freeway and State highway network. The applicant and the County have been coordinating with Caltrans and could not identify a fair share funding mechanism for the cumulative impact. Therefore, impacts would remain significant and unmitigated. However, the impact would not be considered peculiar to the site or more severe than anticipated in the GPU EIR because the GPU EIR identified significant and unmitigated impacts to adjacent jurisdictions traffic and LOS standards. Cumulative impacts to CALTRANS facilities would not result in peculiar or more severe impacts than what was identified in the GPU EIR.

Therefore, the Project, in combination with other cumulative Projects would not conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for performance of the circulation system.

As previously discussed, the GPU EIR determined significant and unavoidable impacts to unincorporated County traffic and LOS standards. ~~The proposed Project determined impacts to be potentially significant. However, the~~ Project would have a less-than-significant impact to County roadway and road segments with the incorporation of GPU

EIR mitigation measures while impacts to Caltrans facilities would remain significant and unmitigable. However, the project would not result in a peculiar impact to the site, or a more server impact than anticipated in the GPU EIR. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 17(b) The GPU EIR concluded this impact to be significant and unavoidable. The designated congestion management agency for the County is the San Diego Association of governments (SANDAG). In October 2009, the San Diego region elected to be exempt from the State CMP and, since this decision, SANDAG has been abiding by 23 CFR 450.320 to ensure the region's continued compliance with the federal congestion management process. Therefore, the project would not conflict with an applicable congestion management program and would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR..
- 17(c) The GPU EIR concluded this impact to be less than significant with mitigation. The Project is located within an Airport Land Use Compatibility Plan (ALUCP) for airports (Camp Pendleton Air Terminal) and is consistent with the plan. The military was notified of this Project on August 15, 2019. The Project is located within Airport Influence Area 2 and is not located within an Airport Safety Zone, an Avigation Easement, or an Overflight Area; no specific Project requirements are required. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.
- 17(d) The GPU EIR concluded this impact to be significant and unavoidable. The proposed Project would not substantially alter traffic patterns, roadway design, place incompatible uses (e.g., farm equipment) on existing roadways, or create curves, slopes or walls which would impede adequate sight distance on a road.

As previously discussed, the GPU EIR determined impacts on rural road safety to be significant and unavoidable. However, the Project would have a less-than-significant impact with no mitigation required for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 17(e) The GPU EIR concluded this impact to be less than significant with mitigation. The North County Fire Protection District and the San Diego County Fire Authority have reviewed the Project and its Fire Protection Plan and have determined that there is adequate emergency fire access. In addition, consistent with GPU EIR mitigation measure Tra-4.2, the Project would implement the Building and Fire codes to ensure emergency access accessibility.

As previously discussed, the GPU EIR determined impacts on emergency access as less than significant with mitigation. As the Project would have a less-than-significant impact for the reasons detailed above and is consistent with GPU EIR Mitigation Measure Tra-4.2, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 17(f) The GPU EIR concluded this impact to be less than significant with mitigation. The Project would not result in the construction of any road improvements or new road design features that would interfere with the provision of public transit, bicycle or

pedestrian facilities. In addition, the Project does not generate sufficient travel demand to increase demand for transit, pedestrian or bicycle facilities.

As previously discussed, the GPU EIR determined impacts on alternative transportation and rural safety as less than significant with mitigation. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Transportation and Traffic, the following findings can be made

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR (Tra-1.3, Tra-1.4, Tra-1.7, Tra-2.1 and 4.2) would be applied to the Project. The mitigation measures, as detailed above, would require the Project applicant to comply with the County Public Road Standards, Guidelines for Determining Significance, County TIF Ordinance, coordinate with other jurisdictions to identify appropriate mitigation and implement the Building and Fire Codes to ensure adequate services are in place.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
18. Utilities and Service Systems – Would the Project:			
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project’s solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

18(a) The GPU EIR concluded this impact to be less than significant with mitigation. The Project would discharge domestic waste to a community sewer system that is permitted to operate by the Regional Water Quality Control Board (RWQCB). A Project facility availability form has been received from the Rainbow Municipal Water District (RMWD) that indicates that there is adequate capacity to serve the Project.

As previously discussed, the GPU EIR determined impacts on wastewater treatment requirements to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

18(b) The GPU EIR concluded this impact to be less than significant with mitigation. The Project involves new water and wastewater pipeline extensions. However, these extensions would not result in additional adverse physical effects beyond those already identified in other sections of this environmental analysis.

Water and sewer service would be provided by the RMWD. Within Planning Areas 1 and 2, wastewater would be provided by an onsite public sewer distribution system that would be constructed by the Project. Two sewer lift stations would be constructed to transmit wastewater flows to an existing offsite sewer line in West Lilac Road. Within Planning Area 3, septic systems would be installed to handle domestic wastewater flows. The Project internal water distribution systems would be constructed by the Project, connecting to existing transmission lines owned by RMWD.

As previously discussed, the GPU EIR determined impacts on wastewater treatment requirements to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 18(c) The GPU EIR concluded this impact to be less than significant with mitigation. The Project involves new storm water drainage facilities (19 basins and 1 hydromodification vault). However, these extensions would not result in additional adverse physical effects beyond those already identified in other sections of this environmental analysis.

As previously discussed, the GPU EIR determined impacts on sufficient stormwater drainage facilities to be less than significant. As the proposed Project would have a less-than-significant impact for the reasons detailed above, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 18(d) The GPU EIR concluded this impact to be significant and unavoidable. A Service Availability Letter from the RMWD has been provided which indicates that there is adequate water to serve the Project.

As previously discussed, the GPU EIR determined impacts to adequate water supplies be significant and unavoidable. However, the proposed Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 18(e) The GPU EIR concluded this impact to be less than significant with mitigation. A Service Availability Letter from the RMWD District has been provided, which indicates that there is adequate wastewater capacity to serve the Project.

As previously discussed, the GPU EIR determined impacts to adequate wastewater facilities be less than significant with mitigation. However, the proposed Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 18(f) The GPU EIR concluded this impact to be less than significant. All solid waste facilities, including landfills require solid waste facility permits to operate. There are five, permitted active landfills in San Diego County with remaining capacity to adequately serve the Project. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

18(g) The GPU EIR concluded this impact to be less than significant. The Project would deposit all solid waste at a permitted solid waste facility. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

With regards to the issue area of Aesthetics, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. No mitigation measures contained within the GPU EIR would be required because Project specific impacts would be less than significant.

19. Wildfire – If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the Project:

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts in the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Expose people or structures to significant risk, including downslopes or downstream flooding or landslides, as a result of runoff, post-fire instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

Wildfire was analyzed within the GPU EIR within Section 2.7, Hazards and Hazardous Materials. The guidelines for determining significance stated: the proposed General Plan Update would have a significant impact if it would expose people or structures to a significant risk of loss, injury, or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands. In 2019, the issue of Wildfire was separated into its own section within Appendix G of the CEQA Guidelines to incorporate the four issue questions above. The GPU EIR did address these issues within the analysis; however they were not called out as separate issue areas. Within the GPU EIR, the issue of Wildland Fires was determined to be significant and unavoidable.

A Fire Protection Plan (FPP) was prepared for the Project. The analysis below relies on the findings contained within the FPP.

Project Design Features:

The proposed Project has incorporated design features to reduce the impacts associated to Wildfire. The below design features have been incorporated into this analysis:

1. All planning areas have an established 100' fuel modification zone around the outside perimeter. This buffer provides adequate space to implement a Zone 1 and 2 fuel modification area.
2. Water supply would allow fire flows to all mains to meet the required 2500 GPM. Security gates in PA3 would be installed and designed to NCFPD standards to allow safe emergency egress.
3. The Project applicant shall define areas of responsibility for the future HOA as well as private lot owners, particularly in regard to responsibility for the 100-foot BMZ zones illustrated on the Project site plan.
4. The Project shall implement the ignition-resistant construction standards compliant with California Fire Code and Chapter 7A of the California Building Code for all residential structures.

- 19(a) The Project is composed of an existing equestrian facility, a planned residential development and residential estate lots. Improvements for the equestrian facility include bringing the facility up to fire and building code, and permitting new horse shade structures, a horse aquatic therapy pool, an office and relocated employee manufactured homes. The Project site is located in a moderate and a very high fire hazard severity zone (FHSZ). The location of the Project within a very high FHSZ required the preparation of the FPP for both the PRD and the equestrian facility.

The Project would be serviced by the North County Fire Protection District (NCFPD). The Project site is situated between two NCFPD stations. The primary fire station is NCFPD Station #5 at 5906 Olive Hill Drive in Bonsall and is located two (2.0) miles west of the project site. The second station is NCFPD Fire Station #4 at 4375 Pala Mesa Drive and is located three (3.0) miles north of the project site.

An analysis was prepared within the equestrian FPP for the travel response times from Fire Station #4. The equestrian facility would meet the response time required for the project by the County of San Diego General Plan Safety Element. The response time from Fire Station #4 would be five (5) minutes.

An analysis was prepared within the PRD FPP for the travel response times from both Fire Station #4 and Fire Station #5. Due to the density of PA1 and PA2, travel response times would be required to meet five (5) minutes by the County of San Diego General Plan Safety Element. According to the FPP, PA1 and PA2 would meet the response time required for the Project from Station #5. PA3 and the Hillside Estate Lot would consist of larger lots requiring a travel response time of ten (10) minutes by the County of San Diego General Plan Safety Element. According to the FPP, both PA3 and the Hillside Estate Lot would meet the response time required for the Project. Travel time is estimated at seven (7) minutes for PA3 and eight (8) minutes for the Hillside Estate parcel from Station #4.

In addition, the current per capita call volume for NCFPD is approximately 110 per 1,000 residents. With the estimation of 3.2 occupants per residence, an increased population of 1,267 can be anticipated from the proposed development. The anticipated call volume for the equestrian facility and the PRD would be 139 calls per year or 12 calls per month. NCFPD has indicated capacity for the proposed Project call volume is adequate and is eligible for service by the NCFPD.

In addition, other fire agencies outside of NCFPD could also provide emergency responses including California Department of Forestry and Fire Protection (CAL FIRE) Station 15 (Miller Station) and Station 10 (Red Mountain), and the Deer Springs Fire Protection District Stations 11 and 12. Emergency services are provided via contract by CAL FIRE and the Deer Springs Fire Protection District. Therefore, the Project would not Substantially impair an adopted emergency response plan or emergency evacuation plan.

As previously stated, Wildfire was analyzed within the GPU EIR within Section 2.7, Hazards and Hazardous Materials and was determined to be significant and unavoidable. However, the proposed Project would have a less-than-significant impact with no required mitigation for the reasons detailed above. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 19(b) The GPU EIR concluded this impact to be significant and unavoidable. Two FPPs, one for the Planned Residential Development and one for the equestrian facility have been prepared by Firewise 2000, Inc. for the Project. The FPPs have considered the property location, topography, geology, combustible vegetation (fuel types), climatic conditions and fire history as part of the assessment. In addition, the plan addresses water supply, access, structural ignitability and ignition resistive building features, fire protection systems and equipment, impacts to existing emergency services, defensible space, and vegetation management. Based on the above factors and analysis, the plans identify areas for hazardous fuel reduction treatments and recommends, the types and methods of such treatment, as well as measures that the property owners would take to reduce the probability of ignition of structures throughout the development.

Project Site Conditions

The 1,402.52 acre Project site includes a variety of terrain, from relatively flat alluvial plain near the San Luis Rey River along the northern boundary to sloping hillsides near the property's southern boundary along West Lilac Road. Elevations at the northern boundary vary from 175 feet above mean sea level (MSL) at the northwest, to 840 feet above MSL at the northeast. Elevations increase progressively to the south, with ridgelines at or near the southern boundary having elevations ranging from 367 feet above MSL to the southwest and 725 feet above MSL at the southeast. Normal weather conditions on-site consist of an onshore flow from the southwest at five to ten miles per hour (5-10 mph). This weather condition has a slightly higher temperature and higher humidity than the Santa Ana winds. Approximately sixty percent (60%) of the existing vegetation on-site is considered a high fire hazard fuel bed which includes Coastal Sage Scrub and buckwheat. Other vegetation types on the property includes non-native grasslands, fallow orchards, oak and eucalyptus woodland, and willow scrub riparian areas. Additionally, a substantial portion of the property (~~833.85~~ 832.7 acres), comprising over half the property would be preserved as biological open space, which would protect these lands in perpetuity. Habitat to be protected includes significant

acres of Diegan Coastal Sage scrub habitat, Coast live oak woodland, and Southern willow Scrub.

Analysis

To evaluate the on-site conditions, fire behavior modeling has been conducted for the Project through the BehavePlus 5.0.5 Fire Behavior Prediction and Fuel Modeling System by Patricia L. Andrews and Collin D. Bevins. The BehavePlus Fire behavior computer modeling system was developed by USDA-Forest Service research scientists at the Intermountain Forest Fire Laboratory, Missoula, Montana, and is utilized by wildland fire experts nationwide. Fire behavior parameters for the Project were calculated for the hazardous native vegetation/fuels historically located on- and off-site. These calculations were the basis for recommended fuel modifications for the Project site development and for consideration of the wildfire threat to the proposed development. Based on the analysis, a 100 foot fuel modification zone (FMZ) and a Building Management Zone (BMZ) would be required around all development areas. Within PA1 and PA2, the HOA would be responsible for fuel modification in all common areas outside the individual lots and all roadside fuel modification zone maintenance. The BMZ within PA1 and PA2 would be landscaped and irrigated and would be maintained by the HOA. Within PA3, fuel modification would be maintained by the individual homeowners.

In addition, a landscape plan would be required prior to building permit as a condition of the Project and would be reviewed by NCFPD to determine acceptable plantings (plant types, location, etc.) within the high fire hazard areas. Roadside brushing would also be required for the Project. All roadways within the Project that abut an area of native vegetation, shall be brushed back 20 feet from both sides of the edge of the roadway. Fuel modification zones along each side of Road A which passes through the proposed biological open space would be required to be 30 feet. This enhancement would provide for greater safety to the development by ensuring evacuation routes are not compromised and by providing for fire fighter safety. For a list of Project design features and conditions of approval, please see the list above 19(a).

Conditions of Approval

- In order to mitigate for dead end road lengths which would otherwise exceed maximum allowable lengths, the Project shall construct Dulin Road as a private road through PA3, connecting to the existing public segment of Dulin Road at the Project's eastern boundary.

As previously stated, Wildfire was analyzed within the GPU EIR within Section 2.7, Hazards and Hazardous Materials and was determined to be significant and unavoidable. However, the Project would have a less-than-significant impact with the incorporation of Project conditions consistent with GPU EIR Mitigation Measure Haz-4.3 for compliance with the Building and Fire Code. The Project has also incorporated the GPU EIR Mitigation Measure Haz-4.2 for brush management as a Project design feature. Therefore, the Project would be consistent with the analysis provided within the GPU EIR because it would not increase impacts identified within the GPU EIR.

- 19(c) The GPU EIR concluded this impact to be significant and unavoidable. The proposed Project would require the installation or maintenance of the following associated infrastructure: private and public roads, fuel breaks, and sewer. All infrastructure associated with the Project has been incorporated within this analysis. Therefore, no additional temporary or ongoing impacts to the environment related to associated

infrastructure would occur that have not been analyzed in other sections of this environmental document. Additionally, please refer to 19(a) for the travel times associated with the road infrastructure 19(b) for all applicable fire hazard conditions and Project design features. As previously discussed, the GPU EIR determined impacts from Wildfire to be significant and unavoidable. However, the Project would have a less-than-significant impact with the incorporation of Project design features and conditions consistent with the GPU EIR Mitigation Measures Haz-4.2 and Haz-4.3. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

19(d) The GPU EIR concluded this impact to be significant and unavoidable. The Project would include defensible space, including a 100 foot FMZ and a BMZ would be required around all development areas. Within PA1 and PA2, the HOA would be responsible for fuel modification in all common areas outside the individual lots and all roadside fuel modification zone maintenance. The BMZ within PA1 and PA2 would be landscaped and irrigated and would be maintained by the HOA. Within PA3, fuel modification would be maintained by the individual homeowners. In addition, a landscape plan would be required prior to building permit and would be reviewed by NCFPD to determine acceptable plantings (plant types, location, etc.) within the high fire hazard areas. Roadside brushing would also be required for the Project. All roadways within the Project that abut an area of native vegetation, shall be brushed back 20 feet from both sides of the edge of the roadway. With incorporation of these measures, it is not anticipated that the Project would expose people or structures to significant risk due to post-fire instability. As previously discussed, the GPU EIR determined impacts from Wildfire to be significant and unavoidable. However, the proposed Project would have a less-than-significant impact with the incorporation of Project design features and conditions consistent with the GPU EIR Mitigation Measures Haz-4.2 and Haz-4.3. Therefore, the Project would be consistent with the analysis within the GPU EIR because it would not increase impacts identified within the GPU EIR.

Conclusion

The GPU EIR concluded significant and unavoidable impacts associated with wildfire under Section 2.7, Hazards and Hazardous Materials. Based on the Project fire behavior modeling and further analysis provided within the FPPs, with the incorporation of Project design features and conditions of approval, impacts associated with wildfire would be less than significant. In addition, the Project Design Features and Conditions of approval listed above are consistent with the mitigation measures of the GPU EIR. Therefore, the proposed Project would not exacerbate wildfire risks and thereby expose Project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire.

Therefore, with regards to the issue area of Wildfire, the following findings can be made:

1. No peculiar impacts to the Project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR (Haz-4.2 and Haz-4.3) would be applied to the Project. These mitigation measures, as detailed above, requires the Project applicant to implement brush management and comply with the building and fire codes.

15183 Exemption Checklist

Appendices

Appendix A – References

Appendix B – Summary of Determinations and Mitigation within the Final Environmental Impact Report, County of San Diego General Plan Update, SCH # 2002111067

Appendix A

The following is the list of Project specific technical studies used to support the Project's environmental analysis. All technical studies are available on the website here https://www.sandiegocounty.gov/content/sdc/pds/Current_Projects.html#par_title or hard copies are available at the County of San Diego Zoning Counter, 5510 Overland Avenue, Suite 110, San Diego, 92123:

Bacon, David; Firewise 2000, Inc., (July 2019), Fire Protection Plan – Equestrian Center MUP

Bacon, David; Firewise 2000, Inc., (July 2019), Fire Protection Plan – Ocean Breeze Ranch

Capper, Lisa; Helix Environmental Planning, (August 2019), Visual Impact Analysis

Chang, Wayne; Chang Consultants, (May 2019), Hydraulic Analyses

Chang, Wayne; Chang consultants, (May 2019), Hydromodification Screening

GeoSoils, Inc., (August 2019), Addendum to Limited Phase II Environmental Site Assessment

GeoSoils, Inc., (August 2019), Geotechnical Evaluation Update

GeoSoils, Inc., (March 2019), Mineral Resources Investigation

GeoSoils, Inc., (June 2016), Phase I Environmental Site Assessment

GeoSoils, Inc., (July 29, 2019), Response to OBR Project Issues Checklist (Septic Percolation Feasibility Study and Addendum)

Helios Property Solutions LLC, (September 2019), Manure Management Plan

Helios Property Solutions LLC, (September 2019), Vector Control Plan

Helix Environmental Planning, Inc., (August 2019), Resource Protection Study – Focused Steep Slopes Analysis

Louden, Jeremy; Ldn Consulting, Inc., (July 2019), Air Quality Assessment

Louden, Jeremy; Ldn Consulting, Inc., (July 2019), Final Climate Action Plan Consistency Review Checklist

Louden, Jeremy; Ldn Consulting, Inc., (July 2019), Global Climate Change

Louden, Jeremy; Ldn Consulting, Inc., (June 2019), Noise Assessment

Marcin, Dennis; Helix Environmental Planning, Inc., (August 2019), Agricultural Resources Report

Mukherjee, Ambarish; LSA (September 2019), Traffic Impact Study

15183 Exemption Checklist

Nigro, Stacy; Helix Environmental Planning, Inc., (August 2019), Biological Resources Technical Report

Nigro, Stacy; Helix Environmental Planning, Inc., (August 2019), Conceptual Resource Management Plan – Biological Resources

Nigro, Stacy; Helix Environmental Planning, Inc., (August 2019), Conceptual Upland Restoration Plan

Nigro, Stacy; Helix Environmental Planning, Inc., (August 2019), Conceptual Wetland Restoration Plan

Nigro, Stacy; Helix Environmental Planning, Inc., (August 2019), Pasture Management Plan

Reece, Debby; Project Design Consultants, (July 2019), CEQA Preliminary Hydrology/Onsite Drainage Study

Reece, Debby; Project Design Consultants, (July 2019), CEQA Preliminary Hydromodification Management Study

Reece, Debby; Project Design Consultants, (July 2019), Priority Development Project SWQMP

Smith, Brian; Brian F. Smith and Associates, Inc., (August 2019), Cultural Resources Study

References

For a complete list of technical studies, references, and significance guidelines used to support the analysis of the General Plan Update Final Certified Program EIR, dated August 3, 2011, please visit the County's website at:

[http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_5.00 -
_References_2011.pdf](http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_5.00_-_References_2011.pdf)

Appendix B

A Summary of Determinations and Mitigation within the Final Environmental Impact Report, County of San Diego General Plan Update, SCH # 2002111067 is available on the Planning and Development Services website at:

http://www.sdcounty.ca.gov/pds/gpupdate/GPU_FEIR_Summary_15183_Reference.pdf

Attachment G
PUBLIC DOCUMENTATION

Bonsall Community Sponsor Group Summary of Meetings for Ocean Breeze Ranch

The Bonsall Community Sponsor Group (BCSG) and Bonsall Design Review Board (BDRB) considered or discussed the Ocean Breeze Ranch project at a total of 12 sponsor group meetings. The BCSD met on proposed project during April 2016 through to November 2019. During that time, the BCSG reviewed and brought up concerns relating to fire and traffic. The BCSD and BDRB recommended approval of architecture of housing for the planned development, parks, trails and landscaping. At the BCSG and BDRB's final meeting the following motion was made:

- On April 5, 2016, the project was placed as an Information Item. The applicant presented the project description and the design of the project. This was a non-voting item.
- On October 4, 2016, the project was placed on the agenda. The applicant discussed the updated design changes to the project. No formal vote was taken on the project.
- On November 1, 2016, the BCSG recommended by a vote of 4-0-0-2-1 (4 Ayes, 0 Noes, 0 Abstain, 1 Vacant, 2 Absent) to postpone a formal vote on project until all of the technical studies and reports were completed and reviewed by the group.
- On July 10, 2018, the project was placed as an Information Item. The applicant discussed the design changes to the project. The BCSG raised concerns regarding the amount of traffic and pedestrian traffic that will be added to West Lilac Road.
- On October 2, 2018, the BCSG recommended to postpone a formal vote on the project by a vote of 6-0-0-0-1 (6 Ayes, 0 Noes, 0 Abstain, 0 Vacant, 1 Absent), until all of the technical studies and reports were completed and reviewed by the group.
- On May 7, 2019, the BCSG and BDRB recommended conditional approval of the architectural design for the residential building types for PA 1 and PA 2 by a vote of 5-0-2-0-0 (5 Ayes, 0 Noes, 2 Abstain, 0 Vacant, 0 Absent). The BCSG requested the roof design for the Ranch and Farmhouse designs to be altered to break up the roof area. The BCSG requested a trail alignment connection be considered between Sullivan Middle School and the Project.
- On June 4, 2019, the BCSG and BDRB recommended conditional approval of the parks, trails and landscaping proposed for the project by a vote of 6-0-1-0-0 (6 Ayes, 0 Noes, 1 Abstain, 0 Vacant, 0 Absent). The applicant revised the project design and presented three proposed trail alignment options connecting the Project to the Sullivan Middle School. The BCSG and BDRB recommended approval of Trail Option 2 and the Project has been updated to reflect this change.
- On September 10, 2019, the Project was placed as an Information Item. The applicant presented the conclusions of the Traffic Impact Analysis and the Residential and Equestrian Facility Fire Protection Plans. The Draft Evacuation Plan was also presented by the applicant.
- On October 2, 2019, the Project's CEQA document was placed on the Agenda. County staff presented the Project and spoke specifically about the Project Description, CEQA process, Fire Services and Traffic Impacts.
- On November 5, 2019, County staff and the applicant went over road improvements, traffic impacts and revisions to one of the architectural product types. The applicant also discussed offering an agreement for a voluntary financial contribution dedicated to the construction of an improvement to

at the intersection of Camino Del Rey and Old River Road. The BCSG recommended the item be continued for a special meeting so that County staff could review further and provide comment.

- On November 12, 2019, a special meeting was organized but cancelled due to a quorum not being established.
- On November 19, 2019, a special meeting was organized to attain the final recommendation from BCSG and BDRB on the project. The BDRB recommended approval of the updated Architectural Product Type 2 known as 1A/1B for Planning Areas 1 and 2 by a vote of 6-0-0-1-0 (6 Ayes, 0 Noes, 0 Abstain, 1 Vacant, 0 Absent). The BCSG recommended to support the Project upon the applicant's representation regarding a traffic funding contribution for \$1,000,000 (One Million dollars) by a vote of 4-0-2-1-0 (4 Ayes, 2 Noes, 0 Abstain, 1 Vacant, 0 Absent). The Ocean Breeze Ranch Proposed Language for Traffic Funding Contribution was revised by the BCSG and unanimously approved and is included in Attachment G.

BONSALL COMMUNITY SPONSOR GROUP

Dedicated to enhancing and preserving a rural lifestyle



SPECIAL MEETING MINUTES
OF THE BONSALL DESIGN REVIEW BOARD
Tuesday, November 19, 2019
Bonsall Community Center
7:30 P. M.
31505 Old River Road
Bonsall, California

Disclaimer Language

Public Disclosure

We strive to protect personally identifiable information by collecting only information necessary to deliver our services. All information that may be collected becomes public record that may be subject to inspection and copying by the public, unless an exemption in law exists. In the event of a conflict between this Privacy Notice and any County ordinance or other law governing the County's disclosure of records, the County ordinance or other applicable law will control.

Access and Correction of Personal Information

You can review any personal information collected about you. You may recommend changes to your personal information you believe is in error by submitting a written request that credibly shows the error. If you believe that your personal information is being used for a purpose other than what was intended when submitted, you may contact us. In all cases, we will take reasonable steps to verify your identity before granting access or making corrections.

Request for a community member to represent the Bonsall Sponsor Group as the representative on the I-15 Corridor. Call 760-630-7070 for further information.

THE BONSALL COMMUNITY SPONSOR GROUP ANNOUNCES A VACANCY NOTICE
THOSE WISHING TO APPLY TO BECOME A MEMBER CONTACT THE
CHAIR AT 760-630-7070

- A. ROLL TO ORDER – 7:32 P.M.
PRESENT: Morgan, Davis, Norris, Hatano, Faulk and McGiboney one seat vacant.
- B. PLEDGE OF ALLEGIANCE: Flag not present.
- C. PUBLIC COMMUNICATION: For any item not on the Agenda.
- D. ACTION ITEMS: (Voting Items)
 - a. Ocean Breeze Ranch MUP -PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013

Applicant showed the Group the requested changes to the roof line that included turning the home model known as Product 2 1A/1B 90 degrees to lessen the roof profile directed to the street. Question regarding the B designator original purpose. Motion by McGiboney to approve the changes and the "B" designator requirement second by Faulk motion passed unanimously. Six yea, one vacancy.

- E. ADJOURNMENT 7:50



BONSALL COMMUNITY SPONSOR GROUP

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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP
SPECIAL MEETING MINUTES
Tuesday, November 2019
Bonsall Community Center
8:00 P. M.
31505 Old River Road
Bonsall, California

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THE BONSALL COMMUNITY SPONSOR GROUP ANNOUNCES A VACANCY NOTICE
THOSE WISHING TO APPLY TO BECOME A MEMBER CONTACT THE
CHAIR AT 760-630-7070

- A. CALL TO ORDER 8:00 p.m.
PRESENT: Morgan, Davis, Norris, Hatano, Faulk and McGiboney one seat vacant.
- B. ACTION ITEM: (Voting Item)

Ocean Breeze Ranch MUP -PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013

- a. Overview report by County staff regarding traffic meetings that project consultants attended with County staff. County Council reviewed the Ocean Breeze Ranch proposed language for Traffic Funding Contribution dated 11/3/19. Second draft of document was dated 11/12/19 with changes recommended by County Council. We used the Ocean Breeze Ranch supplied Proposed Language for Traffic Funding Contributions dated 11/12/19 for the discussion that followed.



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Morgan disapproved of the change of language after meeting with County Council in item 8A and item 9, and recommends reading as follows: strike out Prerequisites to OBR's payment of the Contribution to read (Prior to OBR's Payment of the contribution the following shall have occurred). Item 9 should read as the following: Provided that all of the element's as described in item 8 a through 8 e have occurred) deleting (Provided that all of the prerequisites to OBR's payment of the Contribution set forth in Section 8 above have been met).

Handwritten changes were made at the meeting and voted on at the Bonsall Special Meeting of 11/19/2019 and are attached to the minutes.

During our regular of November 5, 2019, a request was made by Norris to see the bid on the proposed traffic circle which staff sent to him for review. The conversation returned to costs and the applicants offer of a contribution. Request that staff get a breakdown of design time, and does it come out of the OBR's contribution or will it be part of parks new Bonsall Park will need to design a new entrance that would come out of county budget?

As the contribution from OBR will not be made until final map is approved which should be two years from now will design be started for the park entrance?

Members of the Bonsall Sponsor Group mentioned that they would like to help staff if grants would be better supported by having a letter to accompany any grant applications.

A call for a motion on the revisions to Ocean Breeze Ranch Proposed Language for Traffic Funding Contribution Norris motion to support proposed language with corrections (see attached handwritten changes to document) offered by Ocean Breeze Ranch for the Proposed Language for Traffic Funding Contribution Second by Faulk unanimously approved.

A call for a motion on the project Ocean Breeze Ranch, Norris made a motion to support Ocean Breeze Ranch MUP -PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013 upon the applicant's representation regarding a traffic funding contribution. Second by McGiboney vote was 4 yea, 2 nay one vacancy.

ADJOURNED: 8:45



OCEAN BREEZE RANCH
Proposed Language for Traffic Funding Contribution

11/12/19

Ocean Breeze Ranch, LLC (OBR) is prepared to make a voluntary contribution for funding of future traffic improvements in the Bonsall community as follows:

1. OBR has applied to the County of San Diego (County) for approval of a tentative subdivision map, and two major use permits, to develop the real property located at 5820 West Lilac Road, Bonsall, California (Project);
2. The Project is subject to the approval of the County Planning Commission;
3. A decision by the Planning Commission may be appealed to the County Board of Supervisors (Board), which appeal, if filed, would cause OBR to incur additional time and cost in obtaining the Board's approval of the Project;
4. A decision by the Board may be challenged in a court of law, which challenge, if filed, would cause OBR to incur further additional time and cost in obtaining a judicial decision in favor of the Project as approved by the Board;
5. OBR will provide as a Project feature a traffic operations improvement to extend the dedicated lane for southbound, right hand movements at the intersection of West Lilac Road and Camino Del Rey (WLR/CDR);
6. OBR acknowledges the concerns and preference of the Bonsall Community Sponsor Group (BCSG) that available resources for construction of road improvements within the Bonsall community be dedicated to the construction of an improvement to improve traffic circulation at the intersection of Camino del Rey and Old River Road (CDR/ORR);

Therefore, in order to align the interests of the OBR project with those of the BCSG, OBR is prepared to agree to the following:

7. Provided that OBR is able to conserve Project funds by savings represented by the following prerequisites, OBR agrees to a contribution of funds for traffic improvements to CDR/ORR in the amount of \$1,000,000 (One Million dollars) (Contribution).

8. Prerequisites to OBR's payment of the Contribution:

A. BCSG, as an organized body shall have voted to approve and support the Project, associated CEQA document, and all other associated Project components;

Prior to OBR's payment^y of the Contribution, the following shall have occurred:

B. The County Planning Commission shall have voted to approve the entire Project, including the tentative subdivision map, two major use permits, the associated CEQA document, and all other associated Project components;

C. The County Planning Commission decision on the Project shall not have been appealed by the BCSG or any other organized entity or individual, to the Board;

D. The County shall not have imposed a requirement for OBR to improve the intersection of CDR/ORR;

E. No legal challenge shall have been filed in a court of law by the BCSG, an organized entity, or any individual, challenging the legal validity of the County's decision on the entire Project or any component of the Project, including the tentative subdivision map, the two major use permits, the associated CEQA document, or any of the other Project components.

9. Provided that all of the prerequisites to OBR's payment of the Contribution set forth in Section 8 above have been met, OBR or its successor shall pay the Contribution to the County after the first final subdivision map has been approved by the County, but prior to recordation of said map.

elements described above as items 8a through 8e have occurred,

10. OBR shall pay the Contribution to the County in accordance with such agreements or procedures that the County may require to assure that the Contribution is held by the County in an interest-bearing, non-comingled account, and to ensure that the County is prohibited from reallocating the Contribution for use on any other improvement, in Bonsall or any other location, without the prior express written consent of the BCSG.

OCEAN BREEZE RANCH
Proposed Language for Traffic Funding Contribution

11/12/19

Ocean Breeze Ranch, LLC (OBR) is prepared to make a voluntary contribution for funding of future traffic improvements in the Bonsall community as follows:

1. OBR has applied to the County of San Diego (County) for approval of a tentative subdivision map, and two major use permits, to develop the real property located at 5820 West Lilac Road, Bonsall, California (Project);
2. The Project is subject to the approval of the County Planning Commission;
3. A decision by the Planning Commission may be appealed to the County Board of Supervisors (Board), which appeal, if filed, would cause OBR to incur additional time and cost in obtaining the Board's approval of the Project;
4. A decision by the Board may be challenged in a court of law, which challenge, if filed, would cause OBR to incur further additional time and cost in obtaining a judicial decision in favor of the Project as approved by the Board;
5. OBR will provide as a Project feature a traffic operations improvement to extend the dedicated lane for southbound, right hand movements at the intersection of West Lilac Road and Camino Del Rey (WLR/CDR);
6. OBR acknowledges the concerns and preference of the Bonsall Community Sponsor Group (BCSG) that available resources for construction of road improvements within the Bonsall community be dedicated to the construction of an improvement to improve traffic circulation at the intersection of Camino del Rey and Old River Road (CDR/ORR);

Therefore, in order to align the interests of the OBR project with those of the BCSG, OBR is prepared to agree to the following:

7. Provided that OBR is able to conserve Project funds by savings represented by the following prerequisites, OBR agrees to a contribution of funds for traffic improvements to CDR/ORR in the amount of \$1,000,000 (One Million dollars) (Contribution).

8. ~~Prerequisites~~ ^{Prior} to OBR's payment of the Contribution~~x~~, the following shall have occurred:

A. BCSG, as an organized body shall have voted to approve and support the Project, associated CEQA document, and all other associated Project components;

B. The County Planning Commission shall have voted to approve the entire Project, including the tentative subdivision map, two major use permits, the associated CEQA document, and all other associated Project components;

C. The County Planning Commission decision on the Project shall not have been appealed by the BCSG or any other organized entity or individual, to the Board;

D. The County shall not have imposed a requirement for OBR to improve the intersection of CDR/ORR;

E. No legal challenge shall have been filed in a court of law by the BCSG, an organized entity, or any individual, challenging the legal validity of the County's decision on the entire Project or any component of the Project, including the tentative subdivision map, the two major use permits, the associated CEQA document, or any of the other Project components.

~~elements described above as items 8.A through 8.E have occurred~~

9. ~~Provided that all of the prerequisites to OBR's payment of the Contribution set forth in Section 8 above have been met,~~ OBR or its successor shall pay the Contribution to the County after the first final subdivision map has been approved by the County, but prior to recordation of said map.

10. OBR shall pay the Contribution to the County in accordance with such agreements or procedures that the County may require to assure that the Contribution is held by the County in an interest-bearing, non-comingled account, and to ensure that the County is prohibited from reallocating the Contribution for use on any other improvement, in Bonsall or any other location, without the prior express written consent of the BCSG.



County of San Diego, Planning & Development Services
**COMMUNITY PLANNING OR SPONSOR
GROUP PROJECT RECOMMENDATION**
ZONING DIVISION

Record ID(s): PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013

Project Name: Ocean Breeze Ranch

Planning/Sponsor Group: Bonsall Sponsor Group

Results of Planning/Sponsor Group Review

SPECIAL
Meeting Date: 11/19/2019

A. Comments made by the group on the proposed project.

MOTION TO SUPPORT OCEAN BREEZE RANCH UPON THE
APPLICANTS REPRESENTATION REGARDING A TRAFFIC
FUNDING CONTRIBUTION OF 1,000,000.00

B. Advisory Vote: The Group **Did** **Did Not** make a formal recommendation, approval or denial on the project at this time.

If a formal recommendation was made, please check the appropriate box below:

- MOTION:**
- Approve without conditions
 - Approve with recommended conditions
 - Deny
 - Continue

VOTE: 4 Yes 2 No Abstain 1 Vacant/Absent

C. Recommended conditions of approval:

Reported by: Marguerite Margan-DeLondra Position: Chair Date: 11/20/2019

Please email recommendations to BOTH EMAILS;
Project Manager listed in email (in this format): Firstname.Lastname@sdcounty.ca.gov and to CommunityGroups.LUEG@sdcounty.ca.gov





County of San Diego, Planning & Development Services
DESIGN REVIEW BOARD
PROJECT RECOMMENDATION
ZONING DIVISION

Record ID(s): PDS 2016-TM-5615, PDS 2016-MUP-16-012 PDS 2016-MUP-16-013

Project Name: OCEAN BREEZE RANCH

Results of Design Review Board Review

Design Review Board: BOWSALL Meeting Date: 11/19/2019

A. Comments made by the DRB on the proposed project. Reference the applicable section of the Community Design Review Guidelines.

B. Advisory Vote: The Group **Did** **Did Not** make a formal recommendation, approval or denial on the project at this time.

If a formal recommendation was made, please check the appropriate box below:

- MOTION:**
- Approve without specific recommendations
 - Approve with recommended conditions
 - Deny (DRB should provide comments)
 - Waive site plan review

VOTE: 6 Yes 0 No 1 Abstain

C. Recommended conditions of approval:

Reported by: Margaret Morgan Deland Position: Chair Date: 11/19/2019

Please email recommendations to: CommunityGroups.LUEG@sdcounty.ca.gov

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<http://www.sdcounty.ca.gov/pds>

BONSALL COMMUNITY SPONSOR GROUP

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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP
REGULAR MEETING MINUTES
Tuesday, November 5, 2019
Bonsall Community Center
7:00 P. M.
31505 Old River Road
Bonsall, California

Disclaimer Language

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Request for a community member to represent the Bonsall Sponsor Group as the representative on the I-15 Corridor. Call 760-630-7070 for further information.

THE BONSALL COMMUNITY SPONSOR GROUP ANNOUNCES A VACANCY NOTICE
THOSE WISHING TO APPLY TO BECOME A MEMBER CONTACT THE
CHAIR AT 760-630-7070

CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Carullo-Miller, McGiboney, Norris, and Faulk
Absent: Hatano

B. Pledge of allegiance:

C. Motion by Davis to approve the minutes for October 1, 2019, second by Carullo-Miller, all approve.

D. PUBLIC COMMUNICATION
a. None

E. REPORT FROM BONSALL SCHOOL BOARD MEMBER: Larissa Anderson
a. None provided.



<http://www.bcsbg.org>



BONSALL COMMUNITY SPONSOR GROUP

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F. ACTION ITEMS: (Voting Items)

- a. Camino Del Cielo PDS2019-STP-026W1 Replacement vesting site plan-reducing from a 76 unit multi plan to 73 units to improve circulation providing individual driveways for each home. Discussion re: trails and connection to county trails Motion by Norris On site plan modification condition approval by removing the word “or” from #14 on Landscaping notes” FRX wood & legend second by Carullo-Miller unanimously approved by all present.

b. Ocean Breeze Ranch MUP PDS2016-MUP-16-012:

- 1. County meeting with Bonsall School District was very productive. Re: recommendations for traffic at schools.
- 2. Applicant discussed the architectural drawings for product 2 Plan type 1A & 1B changes in roof design.
- 3. Lighting proposed at conflict points only along West Lilac Road totaling four lights with a possibility of one extra at Sullivan School.
- 4. DG pathway along West Lilac faded into a shoulder for road not a pathway along West Lilac
- 5. Traffic Impact discussion and proposal
- 6. Voting continued to Special Meeting scheduled for November 12, 2019.

G. GROUP BUSINESS

- a. Article regarding Fire Prevention Facts questioned.

H. GROUP INFORMATION

- a. Discussion – Phyllis Carullo – Miller resignation.

J. ADJOURNMENT 8:47P.M.

Respectfully submitted: Phyllis Carullo-Miller

H. GROUP INFORMATION

None submitted

I. ADJOURN: 8:47 PM

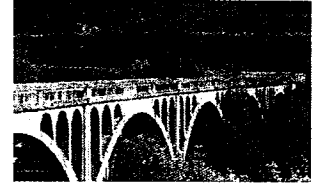
Next meeting scheduled for October 1, 2019.

Respectfully submitted: Phyllis Carullo-Miller



BONSALL COMMUNITY SPONSOR GROUP

Dedicated to enhancing and preserving a rural lifestyle
email



COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP
REGULAR MEETING MINUTES
Tuesday, October 1, 2019
Bonsall Community Center
7:00 P. M.
31505 Old River Road
Bonsall, California

Disclaimer Language

Public Disclosure

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A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Carullo-Miller, Norris and Hatano

Absent: Faulk and McGiboney

B. Pledge of allegiance:

C. Motion by Davis to approve the minutes for September 10, 2019, second by Carullo-Miller, all approve.

D. PUBLIC COMMUNICATION

a. None

E. REPORT FROM BONSALL SCHOOL BOARD MEMBER: Larissa Anderson reported that the school district is in non-deficit spending for the first time in quite a while. They are discussing with the County Board of Education about using Eric Hall & Assoc. for utilizing available resources.

F. ACTION ITEMS: (Voting Items)

a. **PDS2019-STP-05-026W1 Camino Del Cielo (formerly Lilac Del Cielo)** requested a continuance to next month.



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b. **Ocean Breeze Ranch MUP PDS2016-MUP-16-012:** Peter Fagrell, project manager for Ocean Breeze Ranch presented updates to the project plan addressing the group's requests from August 2019. The changes included turning the home model known as Product 2 1A/1B 90 degrees to lessen the roof profile directed to the street. The other change was in response to the group's request for a trail between the project and Sullivan Middle School. A route was chosen which makes use of a dirt road which follows the boundary of an old avocado grove, cutting through a biological protected zone then approximately 2500 feet alongside a paved road. The trail is to consist of a 8 foot wide decomposed granite trail with fifteen foot wide easement and 3-strand biological fence to inhibit foot traffic but allow wildlife to cross. Bronwyn Brown and other planning managers with the County Planning & Dev. Services provided an explanation of the document package for the Public Disclosure Notice 15183 which is essentially a checklist required for any project that goes against the County General Plan to verify that mitigation is properly followed according to the standards of the General Plan. A 15183 requires public hearing. The project is a 396 home plan for a site allowing a maximum of 402 homes, with 833 acres of preserved land on the project site. The project requires two discretionary actions: one for the residential zone and one for the equestrian facility. All of the plans submitted by the project meet with zoning rules. There are two cell phone towers on the project site which will remain as they are. The existing equestrian facility is out of compliance and will require a major use permit to bring it back into compliance. The group looked through the different sections of the 15183 document and Norris questioned the end date for grading which is listed as 2029. P. Fagrell answered that he believes 2029 is the date for the end of all construction. Norris asked for that to be corrected if so. Norris questioned if the term "hauling" in the construction section meant actually trucking dirt off of the project site. Fagrell answered that he did not believe that to be the case. Norris asked that the term be clarified and corrected. The County's traffic study was explained, which is based on using third party sources (such as Sandag) to project the project's impact on traffic. The project is forecast to generate 3980 ADT with 320 vehicles during the peak morning time and 399 during the peak evening time. The Sandag model also determines the direction the traffic should go requires studies of the 20 intersections in the project area. A 2018 traffic study is used as a baseline for the impact of projected additional traffic. When the additional traffic pushes the rated traffic service level from a grade of D to a grade of E, then the project is responsible for a mitigation measure to improve the traffic. The County representatives heard the group's criticisms of existing traffic control/improvement efforts and the state of traffic delays around Bonsall School. The County responded with a confirmation that they will try to do more than remotely analyze the traffic, will work with the school district and make a good effort to secure federal grants to help improve the traffic. Norris requested the County investigate the possibility of taking over the roadway at Camino Del Rey and Golf Club Drive, to reopen the bridge over the creek to allow another route around the school. The County has said they will look into this but the Army Corp. of Engineers is responsible for this which greatly complicates this possibility. Morgan objected to the proposed roadside parkway that leads east along Camino Del Rey and would not connect to anything. She requested that the County not try to impose the same urban standards on a semi-rural community. Particularly objectionable to the Bonsall Community plan would be the addition of sidewalks and streetlights.



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North County Fire Chief Abbott asked if the project could consider omitting their streetlights (approx. \$150k) and apply that toward helping to pay for the roundabout which is being requested by the BCSG (cost of approx. \$500k). Fagrell said he would look into this. The County committed to working on the group's objections regarding traffic, street lights home plans and grants and return for the November meeting. Morgan will need the group members to submit comment on 15183 by October 28th 2019 for inclusion on group letterhead by the November 4th 2019 deadline for public comment. To address the issues of traffic and project architecture, Norris made a motion to defer to next month pending clarification on the intersection at West Lilac Rd. and Camino Del Rey, street lights, the residential side gates/fence, planting of trees on lots, and the security of not locating homes "Product 2 1A/1B" on corner lots. The motion was seconded by Carullo-Miller and passed with unanimous approval.

G. GROUP BUSINESS

a. None

H. GROUP INFORMATION

a. None submitted

I. ADJOURN: 9:25 PM

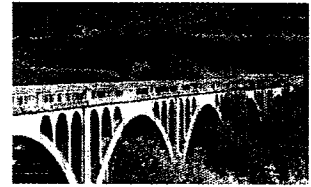
Next meeting scheduled for November 5, 2019.

Respectfully submitted: Richard Hatano, Secretary



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP
REGULAR MEETING MINUTES
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A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Carullo-Miller, Hatano and McGiboney
Absent: Norris and Faulk

B. Pledge of allegiance:

C. Motion by Davis to approve the minutes for August 6, 2019, second by McGiboney, all approve.

D. PUBLIC COMMUNICATION
a. None

E. REPORT FROM BONSALL SCHOOL BOARD MEMBER: Larissa Anderson
a. None provided.

F. ACTION ITEMS: (Voting Items)
a. **PDS2019-AD-19-019: Lemonwood Drive Administrative Permit Open Space Encroachment** located at 308 Lemonwood Drive in the Hill Ranch Subdivision. The group heard from Bob Wright the attorney representing the Flegenheimers (property owners). After hearing his summary of the history of the property, the details of the encroachment, viewing maps and photos, then asking questions and hearing the testimony of neighbors the group voted on a motion by Carullo-Miller to accept the administrative permit for minor encroachment. a second was made by McGiboney and passed with a unanimous vote of those present.



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b. **Ocean Breeze Ranch MUP PDS2016-MUP-16-012:** Peter Fagrell, project manager for Ocean Breeze Ranch presented the fire evacuation plan for the project. There are two major use permits: one for the residential zone and one for the equestrian zone; each has its own fire plan. For the residential there is a 100 ft. brush management zone around each house, a 20 ft. brush management zone to the roadway and a 30 ft. brush management zone to open space. While the project does not allow cut-through public access, the east and west access roads will have battery-backup remote control gates that provides uninhibited exit to anyone in event of a fire. Consultants from Dudeck, presented the projects fire evacuation plan which are based on allowance for 1200 vehicles per hour, using one lane (the other lane reserved for emergency vehicles) which translates into an evacuation speed of 6 mph. Depending on the direction of the evacuation and the order in which areas are evacuated, a worst case scenario a maximum of 74 minutes was calculated and a best case of 21 minutes. Sullivan Middle School is included in the plan, but with an allowance of adding 165 vehicles to the evacuation model and the rest of the students leaving via school buses. The school is evaluating adding fire protection to make it a “shelter in place” location and evaluating changing school hours on high fire risk days. Morgan stated that the site should be taken off the county’s list of large animal fire refuge locations and that the public vs. private classification of Dulin Rd. through the site be re-clarified. The project’s traffic delay analysis was presented next. Twenty intersections surrounding the project were studied. Of those, twelve intersections were found to be impacted. The study takes into account the cumulative impact of other proposed projects. Based on analysis they are recommending a roundabout at the intersection of West Lilac Road and Camino Del Rey. The group objected to the idea of putting a roundabout at W. Lilac when another roundabout is so badly needed at the junction of Camino Del Rey and Old River Road. Morgan questioned the accuracy of the study based on first-hand familiarity with the traffic conditions and received acknowledgment from the County representatives at the meeting that they will relay our objection to the proposed roundabout over the need for the first one at Camino Del Rey and Old River Road. The report will be getting submitted to CEQA next.

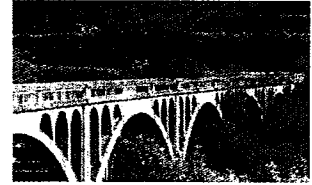
c. **Cell Wireless Facilities Zoning Ordinance:** Morgan reported that the Board of Supervisors is receiving more serious pushback on the rollout of a 5G network.

d. **Park Lands Dedication Ordinance and Recreation Programming Priority List:** Morgan posed the question that without knowledge of choices made by the public during the information gathering effort, we are potentially deciding against public opinion. The group decided that completion of the park was too far off making the choice premature. After hearing the County's request for a new priority list, and after discussion of the state of the land and of the County's examples of choices, a motion was made by McGiboney to repeat our priority list from 2018 for 2019 until the park is more complete and capable of supporting possible usage suggested by the County. The motion was seconded by Carullo-Miller and passed with unanimous vote.



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G. GROUP BUSINESS

- a. New forms for Application for Appointments to Planning or Sponsor Group
Vacancy from the County: Carullo-Miller stated that her membership on the group may be ending depending on a change in residency.

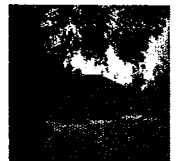
H. GROUP INFORMATION

None submitted

I. ADJOURN: 8:50 PM

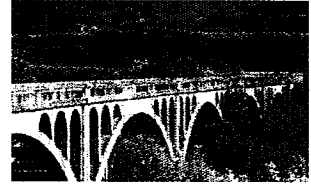
Next meeting scheduled for October 1, 2019.

Respectfully submitted: Richard Hatano, Secretary



BONSALL COMMUNITY SPONSOR GROUP

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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP
MEETING MINUTES
Tuesday, July 2, 2019
Bonsall Community Center
7:00 P. M.
31505 Old River Road
Bonsall, California

Disclaimer Language

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A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Carullo-Miller, Norris, Faulk and McGiboney
Absent: Hatano

B. PLEDGE OF ALLEGIANCE:

C. Motion to approve Minutes of the BCSG meeting of June 4, 2019 by Faulk second by Davis

D. PUBLIC COMMUNICATION:
None received.

E. REPORT FROM BONSALL SCHOOL BOARD MEMBER: Larissa Anderson.

F. ACTION ITEMS:

- a. PDS2019-AD-19-008 Glaszcak Family Residence applying for grading permit. Motion from both the Bonsall Design Review Board and the Bonsall Sponsor Group as we are both because staff did not stipulate if it was needed to be recommended or denied by one or both. Norris recommended to approve w/p conditions grading application for minor grading permit associated administrative permit for grading into an agricultural open space easement. Second by Carullo-Miller. Approved 5 Abstain 1.



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- b. LAFCO. Request from a landowner for an emergency contractual water service agreement located at 28616 Champagne Blvd. Escondido CA. Motion by Norris to support annexation as requested Second by Davis. Approved 6.

G. DISCUSSION OF PROPOSED PROJECTS INFORMATION ONLY

- a. Ocean Breeze Ranch MUP PDS2016-MUP-16-012 Peter Fagrell consultant for the project presented the concept of Fire and the provisions considering density, road system, fire safety, public streets that include the major loop, minor loop the high-density area and the 14 Estate size lots that will take access on Dulin Rd. Concept of selling some property to the Bonsall School District in negotiations now.
Draft w/ North County Fire District and the County Fire Authority regarding fire evacuation Plan and techniques for HOA.
This study will be continued, and the Traffic study will be up next.
North County Fire Department Chief Steve Abbott was present in the audience and spoke briefly.
- b. DPW Special Events Permit Ordinance Update. Limits permits – 24 hours w/out board approval. Recommendation by Norris would support very limited events provided applicant received BCSG approval. However, we are opposed to 24-hour road closure. Bonsall roads are limited in width and road closure would block access of residents on any of our roads. Fees are excessive for community events that are for non-profit organizations. We do not support the fee structure.
- c. San Diego County federal entitlement funds – We do not have the ability to provide the stated GOALS or opportunities in our community.
- d. San Diego Association of Governments webinars were discussed.

H. GROUP BUSINESS – INFORMATION AND DIRECTION

I ADJOURNMENT 8:50

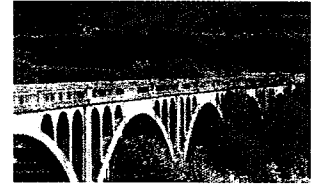
Respectfully Submitted by:
Phyllis Carullo-Miller

Next meeting is scheduled for September 3, 2019



BONSALL COMMUNITY SPONSOR GROUP

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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP REGULAR MEETING MINUTES

Tuesday, June 4, 2019

Bonsall Community Center

7:00 P. M.

31505 Old River Road

Bonsall, California

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A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Norris, Hatano, Faulk and McGiboney

Absent: Carullo-Miller

B. Pledge of allegiance:

C. Motion to approve Minutes of the BCSG meeting of May 7, 2019 by Davis, second by Norris, all approve

D. PUBLIC COMMUNICATION:

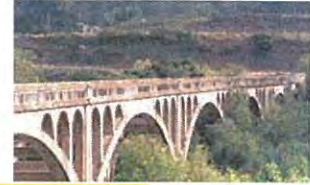
a. Norris thanked Morgan and the county for cleanup of the public lands along Camino del Rey.

E. Larissa Anderson from the Bonsall School Board announced that between all funding sources bus transport has been secured for the next year for the students traveling the farthest distances. Fallbrook High School is not in favor of Bonsall High School co-locating on the Palomar campus and unfortunately the Palomar campus is located within the boundary of the Fallbrook school district.



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F. ACTION ITEMS: (Voting Items)



- a. The design team for parks, trails and landscaping for the Ocean Breeze Ranch MUP #PDS2016- MUP-16-012 project presented plans and details for those features. Their plan is to remove the eucalyptus trees, connect their trails to the County trail system via decomposed granite paths (except the trail around Neighborhood 2 which will be concrete due to the grade), use native low-water intensive plants for landscaping and to position parks to produce an expanded sense of open space. The North County Fire Dept. has determined a clearance zone of 100 ft. to homes and 30 ft. to roadways is required. Norris would like to see a greater clearance on the roadways to allow for safe evacuation during fires. Davis (and the entire group) expressed concern over traffic problems caused by the project and especially the dangers of fire evacuation. McGiboney stated that the traffic on West Lilac Rd. is already a problem due to Bonsall Middle/High School and that the traffic created by a fire would be disastrous. The question was raised if the contiguous equestrian center would be offered as a fire refuge. The answer to that question is undetermined but will be pursued. Norris asked if the idea of a trail to Sullivan Middle School has been adopted yet. The group was told there are three options in the works: 1) a path that hugs the project property line 2) a path that hugs the southern boundary of an avocado grove 3) a path that is most direct heading farthest east of the other two. Option #1 was deemed the least possible due to the terrain. Option #2 makes use of some existing dirt and paved roads. Option #3 makes use of some existing paved road. Norris put forward a motion to approve the parks, trails and landscaping concepts provided with the amendment that the option #2 trail to Sullivan Middle School be included (the trail known in the 11x17" print that was provided and labeled Option A).

G. GROUP BUSINESS – INFORMATION AND DIRECTION

- a. Chairs meeting held on May 15, 2019.
- b. Parking Prohibition on Camino del Rey
- c. County of San Diego draft Zoning Ordinance Update for Small Cell Wireless Facilities will be distributed for the public on May 31, 2019.
- d. Acquisition of 8 acres for inclusion in the San Luis River Park by the County.

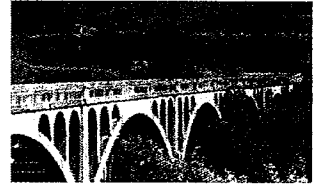
H. ADJOURNMENT 8:10 P.M.

Respectfully submitted: Richard Hatano, Secretary



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP
REGULAR MEETING MINUTES
Tuesday, May 7, 2019
Bonsall Community Center
7:00 P. M.
31505 Old River Road
Bonsall, California

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A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Norris, Hatano, Faulk and McGiboney
Absent: Davis, Carullo-Miller

B. No flag present / no pledge of allegiance:

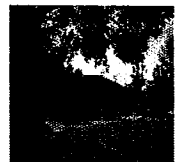
C. Motion to approve Minutes of the BCSG meeting of April 2, 2019 by Faulk, second by Norris

D. PUBLIC COMMUNICATION:

a. Morgan announced that the county would hold a General Plan Amendment meeting over land use and mobility on 5/22/19.

b. Vista irrigation will be paying to repair damage they caused to pavement in the Osborne area.

E. Larissa Anderson Board member of the Bonsall School District announced that the regular BSD meeting in which they vote on the 2020 school year budget would be tomorrow. The big issue is bussing and how to possibly fund the approximately \$25-30k shortage needed. There are approximately 430 students who ride the bus of which approximately 150 pay to ride. The High School will hold its graduation on June 5, 2019.



BONSALL COMMUNITY SPONSOR GROUP*Dedicated to enhancing and preserving a rural lifestyle***F. ACTION ITEMS: (Voting Items)**

- a. The history of the intersection at Camino Del Rey and Old River Road at Bonsall Elementary School and Bonsall Community Church was discussed, with the need to improve with the installation of a roundabout that would create a better traffic flow and pedestrian safety. Public Safety is a major issue in this area in front of the Bonsall Elementary School.
- b. Morgan will be sending our prioritized Bonsall Capital Improvement Project list and the needs input for road improvements in our area. The widening of East Vista Way between Hwy. 76 and Vista has been the ongoing priority without any progress being done and will potentially fall under the jurisdiction of the City of Vista should they successfully annex the area. Norris and McGiboney believed it would be better to pick a single item for improvement to make the effort more effective. Faulk commented that because all of the Capital Improvement Projects would be getting funded from different sources, it would make more sense to have a list of projects. All members agreed that the number one priority should be building the roundabout in front of the Bonsall School and mentioned in item a of the Action Items. Morgan received public input that Old River Road between Bonsall School and East Vista Way is in need of erosion control. North River Road was also mentioned as having traffic problems that could be helped by adding a right turn lane. Norris made a motion to send the Roundabout and the widening of East Vista Way as Morgan has them currently documented as our #1 and #2 items respectively for Capital Improvement Projects. McGiboney seconded the motion and it was passed with a unanimous vote. An additional road that needs to be addressed is North River Road onto Highway 76 a right turn improvement is needed as cars are using the dirt and causing traffic problems.
- c. After discussion with project leaders of the Ocean Breeze development on West Lilac Road, MUP #PDS2016-MUP-16-012, and review of the twelve total home plans Norris made a motion to support the architectural design as submitted specifically of the Product 1: Spanish, Tuscan, Cottage, Farmhouse and Craftsman designs and of Product 2: Spanish, Craftsman, Monterey and Cottage styles but to alter the roof of the Ranch and Farmhouse designs to break up the roof area. The motion was seconded by Faulk and passed with unanimous vote.

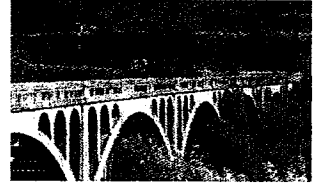
G. DISCUSSION OF PROPOSED PROJECTS INFORMATION ONLY

- a. Mark Rogers from the Ocean Breeze project presented the park planning for the development, highlighting the use of 4.2 acres for parks, a trail that will encircle the entire project and connect to the county's trail system. Norris questioned if a trail could be created to connect the project to the Middle/High School. Overwhelming approval was expressed but the trail would need to be engineered to pass through the nature preserve in an acceptable way.



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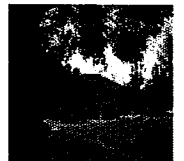
- b. Dr. Jason Fowler, the principle of Bonsall High School spoke on the school's efforts to improve the school's traffic problems, which included: staggering the start and end times, of the Bonsall High School and the middle school that share the campus working to keep cars from idling in the parking lot, and not causing a backup on Lilac. They are also working with law enforcement, making bussing possible and the long-term goal of moving the high school to the Palomar College campus.
- d. No comment
- e. Morgan continues to work on "no parking" designation and signs to be posted on Camino Del Rey.
- f. County Parks Department has purchased some of the property at Via Montellano the area that is considered blighted and will be adding a trail head and connecting trails to the County San Luis River Park.

H. GROUP BUSINESS – INFORMATION AND DIRECTION

None submitted.

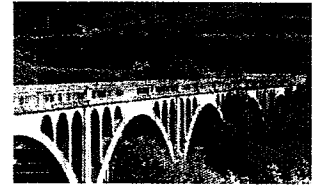
G. ADJOURNMENT 8:25 P.M.

Respectfully submitted: Richard Hatano, Secretary



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A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Carullo-Miller, Norris, Faulk and McGiboney

Absent: Hatano

B. PLEDGE OF ALLEGIANCE:

C. Motion to approve Minutes of the BCSG meeting of September 4, 2018 with one correction on Item D. as sentence way missing. by Davis, second by Carullo-Miller.

D. PUBLIC COMMUNICATION:
None received.

E. ACTION ITEMS; (Voting Items)

- a. Capital Improvement Projects in Bonsall List update presented by Nael Areigat. Nael was late arriving due to I-15 traffic. He started by sharing previous Capital Improvement Plan recommendations by the Bonsall Sponsor Group and discussed the projects that were completed. East Vista Way has been on our list for years and now the City of Vista would like to see it 4 lanes as well. Nael will be back in January or February of 2019 to receive our new Capital Improvement project recommendations.



BONSALL COMMUNITY SPONSOR GROUP

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- b. Presentation by Amanda Parra, San Diego County Park Project Manager, Update on the San Luis Rey River Park acquisition of land and the long-range plan. Discussion regarding the PLDO funds eligible uses as well as when a project within the park might be completed. The Parks department will keep us informed and hold two community meetings in 2019 requesting community input conducted by a consultant according to direction by the Board of Supervisors. PLDO Priority list due by submitted to the County by October 22, 2018 but date will be extended until our December meeting. Eligible and non-eligible uses were discussed. Eligible specific requests by members of the community should be sent to Chair Morgan. Complete accounting of PLDO funds will be sent to Chair prior to next meeting. Notation that the PLDO funds have a limit of 25% that can be allotted to the trails in the community. Wall/fence was discussed as part of the SLR River Park trails.

- b. Mark Rogers presenting Ocean Breeze Ranch TM5615, MUP16-012, MUP16-013 located at 5820 W. Lilac Rd. it is a 400 residential + equestrian facility. This is a voting item and not a presentation.

Project area number 1 constitutes 144 units area number 2 has 237 units with the average lot size of 5 thousand to 6 thousand feet. The average trips per day of a project of this size is 4 thousand trips per day. Chair requested a traffic study prior to a vote. Is this premature to request BCSG approval as none of the studies have been submitted and approved by the County at this time.

Recommendation to submit all studies prior to returning to the BCSG.

Motion to continue by Morgan second by Norris and carried unanimously.

F & G. Nothing discussed.

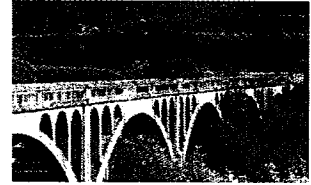
H. ADJOURNMENT 8:54 P.M.

Respectfully submitted,
Phyliss Carullo-Miller, Acting Secretary



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP

REGULAR MEETING MINUTES

Tuesday, July 11, 2018

7:00 P.M.

31505 Old River Road

Bonsall, California

A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Hatano, Faulk, and McGiboney

Absent: Carullo-Miller, Norris

B. PLEDGE OF ALLEGIANCE:

C. Motion to approve Minutes of the BCSG meeting of June 5, 2018 by McGiboney, second by Davis, unanimous approval

D. PUBLIC COMMUNICATION:

- a. Joe Beyer conveyed thanks for the group's support for the linear River Park and for the clean-up that has been performed. He asked if the group has taken a position on the proposal to build Bonsall High School at Gird Road and the accompanying bond measure. Morgan stated that she has attending many meetings and found out that the EIR has already settled on Gird Road. The high school is not a county project and thus out of our purview, but due to the proximity overlap, we are informed.
- b. An time sensitive envelope from LAFCO was left for Morgan in the meeting room regarding the development of an 8 unit home subdivision in Bonsall bordering Vista and asking for our response by 7-27-18. The group suggested that Morgan request an extension so that we can include it in the Aug. 2018 meeting. Faulk suggested we file an objection, while Davis objected to Vista's efforts to annex Bonsall. Faulk requested an E-copy so that we can review and draft a response.

E. ACTION ITEMS: (Voting Items)

- a. Ted Marioncelli representing American Tower presented documentation to explain the request (PDS2018-ZAP-96-029W2 San Luis Rey #302253 project is located at 3419 East Vista Way) to bring the cell phone tower into updated county conformance. Changes would increase the height by approx. 1.5' and change faux monobroadleaf tower. Motion by McGiboney to approve, second by and Faulk, passed on a unanimous "aye" vote.



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- b. The Department of Planning & Development Services Renewable Energy Program Comparative Analysis requests input on the Climate Action Plan no later than July 16, 2018 by 5:00 PM. Morgan states that she will be away at the time of the deadline but will supply an E-copy for members to review. McGiboney stated that the subject has become so multi-faceted that responses have become redundant. Davis stated that even the success of home solar installations have not been managed correctly by the grid. Hatano offers to write/edit a response. Davis also volunteers to respond (based on the group's opposition to the Newland Sierra development).

F. DISCUSSION OF PROPOSED PROJECTS INFORMATION ONLY

a. Jim Conrad (architect) and Pete Fergal (project manager) for the Ocean Breeze Ranch TM5615 project presented plans/drawings of the latest changes to the development. Though the project has incorporated fewer units from the original plan, and homes have been located out-of-view from W. Lilac Road, and Highway 76, the small lot size, clustering, use of sidewalks instead of trails and overall number of units did not please the group. Market analysis by Ocean Breeze indicated that smaller lots were needed for sales and thus the number was adjusted for land usage. Of particular concern by the group was the amount of traffic that will be added to the already congested W. Lilac Road. Also of concern is the pedestrian traffic added immediately adjacent to the road if adequate steps are not taken to keep people off the shoulder.

b. The group's letter referred to the Board of Supervisors and Mark Wardlaw regarding General Plan Amendment projects has received positive feedback from the other groups.

G. ADJOURN: 8:35 p.m.

Respectfully submitted by Richard Hatano, Secretary



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP

REGULAR MEETING MINUTES

Tuesday, January 2, 2018

7:00 P.M.

31505 Old River Road

Bonsall, California

A. CALL TO ORDER - 7:05 p.m.

PRESENT: Morgan, Davis, Hatano and Faulk

Absent: Carullo-Miller, Norris

B. PLEDGE OF ALLEGIANCE:

C. Copies of minutes were not available.

D. PUBLIC COMMUNICATION:

a. Morgan: County will do repair to entire road list selected in BCSG November 2017 meeting and not just sections. No time is indicated yet, but all work will be done in 2018.

b. Bonsall resident Ms. Apsley: Can the fire which burned in the area of the proposed Ocean Breeze development be presented as a reason for not building there? It can probably be put on the County Supervisors' February 2018 agenda if submitted now (Morgan).

E. ACTION ITEMS: (Voting Items)

a. County of San Diego EIR and notice of Public Review of a General Plan Amendment PDS2014-REZ-14-006. Morgan: Do we want to have input on issue or allow the County to decide? There are approx. 700 parcels in Bonsall on which the owners seek to increase the number of dwellings per lot, who did not participate when public input was solicited. Davis: The land should be treated basically like a stock investment; splitting the asset devalues it in the future, and sticking to the County General Plan would be preferred. Morgan: agreeing with Davis that the number of exceptions in the amendment is too large to accommodate reasonably and would lead to over burdening of the infrastructure. McGiboney: Personally witnessed how the number of illegal trailers on properties leads to litter and other problems from the high turn-over of tenancy. There was a unanimous consensus to have Morgan draft comments for the County.



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- b. The 1-18-18 County invitation to the final Climate Action Plan (CAP) is being questioned because information from the County is incomplete and unavailable and known to not match with CA State and Federal CAP. Davis cited a recent SD Union Tribune article that estimated county drivers waste a cumulative yearly total of 9.9 million hours stuck in traffic. Hatano volunteered to attend. Comments were sent to the Planning Commission by Morgan.

F. GROUP BUSINESS

- a. Road Maintenance Priorities: addressed at the beginning of the meeting.
- b. Ocean Breeze Scoping Letter-Project may be resubmitted this month: as stated.
- c. Decision of the Planning Commission regarding Olive Hill Verizon Wireless: passed by the Planning Commission after going undecided by BCSG
- d. Vista development: Taking away agricultural land for residential with negative consequences. Faulk & Davis: developers do not pay enough to fix the infrastructure. Bonsall receives no TIF money so we do not receive road improvement unless developers are forced to pay.

G. ADJOURNMENT 8:00 PM

Respectfully submitted by: Richard Hatano, Secretary



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP

REGULAR MEETING MINUTES

Tuesday, December 5, 2017

7:00 P.M.

31505 Old River Road

Bonsall, California

A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Carullo-Miller, Hatano and Faulk.

Absent: Norris

Vacancy: Seat for any area other than area 5

B. PLEDGE OF ALLEGIANCE

C. Approval of Minutes of the BCSG meeting of November 7, 2017

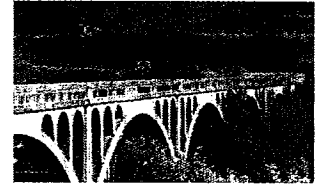
D. PUBLIC COMMUNICATION

- a. Morgan: informational report on the access issues to the proposed 64 condo development on Camino del Cielo. The reviewed and approved plan for access (from 2008) has been altered by the fact that one of the access points lies in private property and will be gated, thus reducing traffic entry/exit to one spot. Morgan plans to object at next planning commission.
- b. Morgan: Ocean Breeze development has released a 187 page scoping letter indicating that Caltrans may have some issues with the project as described.
- c. Morgan: BCSG members Davis, Norris, Carullo-Miller and Morgan will be reapplying to be seated on the group as their terms are up.
- d. Morgan: Increasing traffic problems with the roundabout at Eucalyptus & S. Santa Fe in Vista indicate the same approach could be problematic on Gopher Canyon Rd if approved.
- e. Morgan: The proposed Verizon cell phone tower on Olive Hill Rd. is going to the planning commission.



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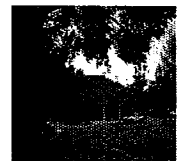
- f. Davis: The S.D. Union Tribune recently published a story covering the effort by the Pala reservation to get traffic relief caused by the congestion created by drivers using local roads to bypass I-15. Caltrans only has a plan to extend HOV lanes north to the county line in 2035.

E. ACTION ITEMS: (Voting Items)

- a. Committee reviewed prioritization for BCSG area roadway repair/maintenance provided by Dept. of Public Works. The top 20 worse sections of road listed in the report were approved to have top priority for repair/maintenance in 2018.
- b. PDS2017 – TM 5410TE: The owner of the Marquart Ranch Subdivision located at 8724 W. Lilac Road is requesting a time extension. Morgan made a motion to deny, second by Carullo-Miller, all voted unanimously “aye”.
- c. TM5427TE: The owner of the project called Lilac del Cielo located on Camino de Cielo off of Camino Del Rey is requesting a time extension. Morgan made a motion to deny, second by Carullo-Miller, all voted unanimously “aye”.

G. Adjournment 8:20 PM

Respectfully submitted by: Richard Hatano



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP

REGULAR MEETING MINUTES

Tuesday, November 1, 2016

The Bonsall Sponsor Group is looking for 1 candidate to fill a current opening representing the area between West Lilac and Camino Del Rey.

If you are interested, please contact Margarett Morgan, Chair 760-630-7070

A. CALL TO ORDER - 7:00 p.m.

PRESENT: Morgan, Davis, Carullo-Miller, and Zales.

ABSENT: Norris, Schwartze. Vacancy: Seat #2 South of 76 and East of Camino Del Rey.

B. PLEDGE OF ALLEGIANCE:

C. Approval of Minutes of the BCSG meeting of October 4, 2016, unanimously approved.

D. PUBLIC COMMUNICATION: There was some general discussion of the pending vote on the Lilac Hills development project and the role of the Bonsall Sponsor Group in obtaining and relaying project development information to the general public.

E: ACTION ITEMS:

a. PDS2016-TM-5615, PDS2016-MUP-16-012 PDS2016-MUP-16-013 Ocean Breeze Ranch, located at 5820 West Lilac Road and proposed for 400 lot detached single house residential + equestrian project. Motion was made and unanimously approved to postpone a vote on this project until all of the technical studies and reports were completed and reviewed by the Group.

b. Annual Request for Park Lands Dedication Ordinance and Recreation Programming Plan Priority List. Motion was made and unanimously approved to continue to recommend the San Luis Rey River Park as the Group's number one priority.

c. POD-16-001 Amendment to Medical Marijuana Collective Facility Ordinance. Motion was made and unanimously approved to recommend that major use permits be required for Medical Marijuana dispensaries.

d. PDS2015-POD-15-002 and PDS2016-GPA-16-007 County of San Diego Climate Action Plan. The Chair provided update information to the Group on this initiative.



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e. Right of Way Development Standards - Flexibility in County Road Design. The Chair agreed to continue to monitor the alternatives being discussed for a flexible road standard for Bonsall.

F. GROUP BUSINESS:

a. PDS2014-AD-14-002 Stonewood Properties Administrative Permit. Discussion and update provided by the Chair.

b. Osborn Street - The chair provided information about the pavement, striping, and new pavement markers on this road.

G. ADJOURNED: 8:27 P.M.

Respectfully Submitted by: Richard Zales



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP

REGULAR MEETING AGENDA

Tuesday, October 4, 2016

7:00 P.M.

31505 Old River Road

Bonsall, California

The Bonsall Sponsor Group is looking for 1 candidate to fill a current opening representing the area between West Lilac and Camino Del Rey.

If you are interested, please contact Margarett Morgan, Chair at 760-630-7070.

- A. Roll Call:
 - Vacancy: Seat #2 South of 76 and East of Camino del Rey
- B. Pledge of Allegiance:
- C. Approval of Minutes of the BCSG meetings of June 7, 2016.
- D. Public Communication: Opportunity for members of the public to speak to the Group for 3 minutes on any subject matter within the Group's jurisdiction that is not on the posted agenda.
- E. ACTION ITEMS: (Voting Items)
 - a. Site Plan STP07-022M1 Golf Green Estates – California West Communities filed a Minor Deviation Request with the County. The request is to update and enhance the floor plans and elevations for each of the four product type homes originally approved.
 - b. (1) TM5597 - SP15-001 Newland Sierra project – Independent report commissioned by The Golden Door from Delane Engineering addressing Impact Analysis for Newland's Proposed Deer Springs Road Widening.
(2) Newland Sierra withdrawal from Property Specific requests General Plan Amendment.
 - c. Ocean Breeze Ranch Presentation of updated project design and requested responses of the Bonsall Sponsor Group prior to initial formal submittal to the County.
 - d. Annual Election of Officers: Slate of Officers proposed - Chair - Margarett Morgan, Vice Chair - Charles Davis, Secretary rotates at meetings. Committee Assignments remain the same.



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F. GROUP BUSINESS

- a. The County has workshops for stakeholders in the Comprehensive Renewable Energy Plan (CREEP) link to plan and contact person
<http://www.sandiegocounty.gov/pds/advance/CREP.html> Use/Environmental Planner Planning & Development Services County of San Diego Emma.Schoppe@sdcounty.ca.gov 858.495.5437.
- b. The County of San Diego, Planning & Development Services has posted to their website the updated 2016 Climate Change Analysis Guidance. You can access the guidance document here: <http://www.sandiegocounty.gov/content/dam/sdc/pds/ProjectPlanning/docs/ClimateChangeAnalysisGuidance.pdf> contact Darin Neufeld (darin.neufeld@sdcounty.ca.gov) or Poonam Boparai (poonam.boparai@sdcounty.ca.gov).
- c. Stonewood Properties Administrative Permit PDS2014-AD-14002 – Discussion regarding chair's contact with county staff.
- d. 2016 Community Planning and Sponsor Group Quarterly meeting to be held Saturday, October 8, 2016 – 9:00 a.m. to 12:00 p.m. at the County Operations Center.

G. ADJOURNMENT



<http://www.bcs.org>



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COUNTY OF SAN DIEGO BONSALL COMMUNITY SPONSOR GROUP

REGULAR MEETING AGENDA

Tuesday, April 5, 2016

7:00 P.M.

31505 Old River Road

Bonsall, California

The Bonsall Sponsor Group is looking for 1 candidate to fill a current opening representing the area between West Lilac and Camino Del Rey.

If you are interested, please contact Margarett Morgan, Chair at 760-630-7070.

- A. Roll Call:
Vacancy: Seat #2 South of 76 and East of Camino del Rey
- B. Pledge of Allegiance:
- C. Approval of Minutes of the BCSG meetings of March 1, 2016.
- D. Public Communication: Opportunity for members of the public to speak to the Group for 3 minutes on any subject matter within the Group's jurisdiction that is not on the posted agenda.
- E. ACTION ITEMS: (Voting Items)
 - a. Park Lands Ordinance Update – Park Lands Dedication Ordinance (PLDO) : Marcus Lubich, Park Project Manager, or Mark Massen of the San Diego County Parks and Recreation, will attend and provide an current overview and seeking feedback regarding parks and trails in the Bonsall Sponsor Group Area.
 - b. Ocean Breeze Ranch a proposed project located on the old Vessel property which has the approved density of 400 homes. The presentation at this meeting is preliminary by project consultant Pete Fagrell. This is not a voting item but for information only.
 - c. Basin Boundary Modification Request Notification for the San Luis Rey Valley Groundwater Basin by the City of Oceanside and the County of San Diego. This is part of a new California State requirement under the need to have groundwater basins and all water regulated.



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F. GROUP BUSINESS – INFORMATION AND DIRECTION

- a. Chair quarterly training Saturday, April 16th -9:00 a.m. to 12:00 p.m. at the COC/Campus Center Chambers.
- b. 29th Annual San Luis Rey Road Race on Saturday, April 16th. Roads impacted will be Camino Del Rey between West Lilac and Old 395
West Lilac Road between Sullivan MS and Camino Del Rey.
No roads will be closed to traffic but expect minor delays.
- c. San Diego County's 10 worst bottlenecks.
- d. Landscape Ordinance update.
- e. Bonsall has been eliminated from the Community Plan Updates in the county queue.

G. ADJOURN

Disclaimer Language

Public Disclosure

We strive to protect personally identifiable information by collecting only information necessary to deliver our services. All information that may be collected becomes public record that may be subject to inspection and copying by the public, unless an exemption in law exists. In the event of a conflict between this Privacy Notice and any County ordinance or other law governing the County's disclosure of records, the County ordinance or other applicable law will control.

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FALLBROOK COMMUNITY PLANNING GROUP

And

DESIGN REVIEW BOARD

Regular Meeting

Monday 21 October 2019, 7:00 P.M., Live Oak School, 1978 Reche Road, Fallbrook
Preliminary Minutes

The October meeting of the Fallbrook Community Planning Group was called to order at 7:00 PM by Vice Chairman Jack Wood.

Ten (10) members were present: Vice-Chairs Jack Wood and Roy Moosa, Jerry Kalman, Lee DeMeo, Eileen Delaney, Steve Brown, Mark Mervich, Jim Loge, William O'Connor and Kim Murphy. Chairman Jim Russell, Karel Hanson and Victoria Stover were excused.

1. Open Forum. Opportunity for members of the public to speak to the Planning Group on any subject matter within the Group's jurisdiction but not on today's agenda. Three minute limitation. Non-discussion & Non-voting item.

Vice Chair Jim Wood reported that there is an opening on the Fallbrook Community Planning Group for a seat (#14) due to the resignation of Guy R. Howard. He said the vacancy notice has been posted and had an application for the appointment available for interested applicants. He also reported the latest news on Chairman Jim Russell's condition, stating he was still in the hospital in La Jolla and that the Chair had eye surgery last week.

2. Approval of the minutes for the meeting of 16 September 2019. Voting item.

Bill O'Connor moved to approve the minutes as presented and the motion carried unanimously.

3. Presentation by Supervisor Jim Desmond and County staff on Form-Based Code. The supervisor has heard many requests from the community regarding changes to the regulations of the downtown area, many of which can be achieved through a Form-Based Code update. The purpose is to solely present the idea to the group to see if this is something the community would like to pursue. Contact person, Marisol Edrozo, 619-531-5515, Marisol.Edrozo@sdcounty.ca.gov. Community input. Non-voting item.

District 5 Supervisor Jim Desmond started the presentation about Form-Based Code indicating it is a way for communities like Fallbrook (and before us Ramona and Alpine) to blend design guidelines with zoning. He said the initiative is an outgrowth of the Revitalization Committee effort he started earlier this year (two meetings have been held in Fallbrook) to bring County services to Fallbrook to get things done, especially anything outside the purview of the Planning Group. He said his office put in a request for money to look at Form-Based Code for Fallbrook. They set aside \$900,000 for this fiscal year's planning effort for Form-Based Code.

Eric Lardy, chief, advanced planning for the County and a specialist in Form-Based Code, described the concept. It is different he said from traditional zoning that looks at use and set-backs and individual parcels. Form-Based Code looks at the entire Village area and determines what kind of design guidelines the community wants, what kind of relationship between the streets, street amenities desired. Fallbrook already has specific zoning codes (VR). He said after 15 years it is time to revisit those to see what things are working and those that are not; and then what are opportunities and constraints within the zoning ordinance and design guidelines. The outcome would be scoping that out and designing it into the regulations for Fallbrook. An initial step would be to bring in a County consultant to work with the Planning Group and other community members in Fallbrook to look at the General Plan developed in 2011 and update it when/where needed. Mr. Lardy indicated the current zoning maps are available online.

Kim Murphy advocated expanding multi-use designations in the downtown area of Fallbrook to embrace some of these issues and make them work for the community.

Eileen Delaney said that going forward there would be an effort consisting of community workshops under the Supervisor's Revitalization Sub-Committees and have joint meetings with the Planning Group and other members of the community to come up with a plan. Once there is a plan, bring it back to the full Planning Group for changes and improvements.

Eric Lardy said that process has worked well in other communities.

Bill O'Connor commented about those instances where state-mandated decisions take some powers of the local Planning Groups to deal with issues. He also cited similar moves by SANDAG and other agencies to take away from what "we can do." He hoped the process outlined by Eric Lardy would give rural areas a little more certainty in dealing with these issues.

Eric Lardy said one of the intents of Form-Based Code is more certainty. He said that right now existing zoning codes are old zoning codes that were adopted in the 1970s. These Form-Based Codes have more certainty on what exactly can go on a parcel and some things are predefined. Form-Based Codes incorporate design guidelines and that zoning into one regulatory document. He said he wants the Planning Group and all community groups involved in every step along the way in developing the Form-Based Codes for this community.

Eileen Delany said Form-Based Codes are geared off what it is that the community wants. It simplifies the process.

Eric Lardy explained that Form-Based Codes would probably cover the downtown (Village) area but probably not the entire community planning area. There would still be a need for existing zoning regulations for other parts of the community that require use permits, etc.

Lee DeMeo asked if the intention is to create a more integrated set of design guidelines and zoning.

Eric Lardy said yes, that is the intent for Form-Based Codes to provide more regulatory backing to those design guidelines.

Lee DeMeo said that it appears that the bottom line is for Fallbrook to determine the Form-Based Codes for the community, and then that is what the community would apply as the downtown area is redeveloped.

Jack Wood noted that the General Plan update in 2011 was an arduous process. He wondered if the Form-Based Codes for Fallbrook would be included in the General Plan.

Eric Lardy said it would depend on what the community wants. Certain items he thought might require a General Plan update to implement. He noted that when Form-Based Codes were implemented in Ramona there was no General Plan update, and the codes were incorporated consistent with the General Plan.

Lila MacDonald said that it's important to realize what we want for Fallbrook because if it takes five years because we should start now to decide to be what we want to be when we grow up rather than wait for the County or some other community to tell us what we should look like.

Roy Moosa asked about what has changed in Ramona when they adopted Form-Based Codes.

Eric Lardy said Ramona adopted their plan in 2014 and the County made a couple of edits last year. He said that the County has seen some projects that have come forward since adopting Form-Based Codes and that the County will continue to make refinements to them.

Lee DeMeo asked who adopts the Form-Based Codes, Planning Groups or the Board of Supervisors.

Eric Lardy explained that community groups in Ramona made recommendations to the Board of Supervisors who then adopted Form-Based Codes for that community.

Lee DeMeo followed up and wanted to know how Fallbrook gets what Fallbrook wants in Form-Based Codes affecting this community.

Supervisor Desmond said that there needs to be some flexibility to the Form-Based Codes, so what may be called for in the code might be available close to the applicant's request.

Eric Lardy said the Form-Based Code is adopted as an amendment to the zoning code. He said they want to come to a place where the County and the community work together to create Form-Based Codes to recommend something to the Board.

Supervisor Desmond said the County wants champions in the community for this. He does not want someone in City Hall telling the community what to do.

Lee DeMeo and Eileen Delaney were concerned that after going through the process of developing Form-Based Codes for the community that they may not get enacted as recommended.

Supervisor Desmond responded that communities have got to have a vision for the future and how to adjust for change and plan. He said there has to be some flexibility, but it's best if requests for change come from the community.

Jack Wood said that the Planning Group is flexible and willing to work with the County to develop Form-Based Codes and present Fallbrook's desires.

Eric Lardy indicated the next step would be to schedule local meetings which are funded.

Eileen Delaney is set to schedule the meetings as part of the Revitalization effort.

4. Presentation by County Planner Koutoufidis, Nicholas, 858-495-5329, Nicholas.Koutoufidis@sdcounty.ca.gov on ZAP19-001 a minor use permit for the Fluence Fallbrook Energy Storage System (BESS) proposed address: 1405 East Mission Road, APN: 105-410-19-00 by AES would help SDG&E meet their energy storage mandate while also providing local area capacity for electrical system reliability and flexibility. AES and SDG&E have already entered into an agreement for SDG&E to purchase the system from AES once operational. As part of the California Public Utility Commission's (CPUC's) energy and environmental policies for the electricity sector, which mandate that SDG&E must procure and maintain a minimum amount of electric power capacity, Community input. Non-voting item. (9/21)

The project was approved by the FCPG on 18 Feb 2019 with the following recommendations (NOTE -- replies by Nicholas Koutoufidis and/or inquiries by the Planning Group and amended in bold type):

1. The County should, after reviewing the application and the considerations of the Fallbrook Community Planning Group and community considerations, determine whether or not the applicant should be requesting a Major Use Permit or Minor Use Permit;
AES/Fluence is approved for a Minor Use Permit because it is zoned Industrial.
2. The applicant and County should assess the impact of the facility on the Lavender Hill Charter School a short distance from the project site;

The two schools are half a mile from the battery storage units and after an offsite hazard analysis it was determined the maximum hazard zone is 30 feet from the batteries. That analysis is out for review and will eventually be online.

3. The approval by the Fallbrook Community Planning Group is for the project as presented and future decisions will be based on signage, landscaping and other design considerations;

Fluence/AES is working with the fire department and spacing of landscaping along one edge, only, to make sure the landscaping doesn't create a fire hazard but shields the site from the residences.

4. The Planning Group requires a reclamation plan for decayed batteries as they near the end of their useful life;

The permit is limited to 35 years and also has a hazardous materials plan for when the batteries are nearing the end of their life they will be required to remove or replace the battery or they will have to come back before the Planning Group for a modification to extend the time for the permit. DEH monitors the operation of the storage facility.

5. The Planning Group requests information pertaining to the traffic anticipated at the site over a month;

There is only going to be two trips a month for repairs and maintenance; however, during construction there will be more than that.

Dauren Kilish, in answer to a question asked by Bill O'Connor about technology changes affecting newer and better batteries, said the project is designed to accommodate additional batteries, so once one degrades there is empty space in the racks to take on newer devices. The older ones stay there and operate at a lower level.

6. The parties (Arnold Raskin, Fluence/AES and SDG&E) should work together to facilitate access to the adjacent parcel.

Arnold Raskin, owner of an adjacent parcel that is zoned industrial, inquired why the developers of the project have not talked to him after the February meeting. He said there is no accessibility to his parcel because of this project. He says he has no way to develop his parcel.

Dauren Kalish said there is an agreement with one of the other parties (parcel #44) for access and the signed agreement is in escrow.

Nicholas Koutoufidis said, from the County's standpoint, the applicants are not required to provide access to his parcel because this project has its own private

access and not doing a subdivision. If AES/Fluence was doing a subdivision they would have been required to put in a major road to the parcels.

Dauren Kalish indicated the only way to grant access would be through parcel 19, which is an environmentally sensitive area, which is not practical.

Arnold Raskin said that this prevents him from developing his 25 acre-parcel, which is zoned industrial by the County. He asserted, by using AES/Fluence to purchase and develop the parcel and then acquire the result, SDG&E is by-passing the zoning and ordinances to require public hearings on this project. He said he is not against the project, just how they are developing it and how SDG&E is handling it.

In response to Lee DeMeo's question why the developers cannot provide access, Dauren Kalish said that the project where the batteries, etc. are located is surrounded by a fence so they cannot provide any access through that area and the area that is open is through the oak trees (environmentally sensitive area). He said there is no easy solution to granting access.

Kelly Fitzgerald, a project manager from SDG&E, stated that the utility has gone through the CPUC and has received approvals from the Commission. She said the way it was handled is the build-out is then transferred by contract to SDG&E at completion. She said this is a competitive-bid situation, the first time it has been used by the utility. Also, they tried several times through emails to contact Mr. Raskin from the PR Manager. Through that office SDG&E has extended several invitations to Mr. Raskin to work out solutions.

Lee DeMeo, Bill O'Connor and Jack Wood encouraged the parties to continue to try to communicate with each other regarding accessibility.

5. Pursuant to Board Policy F-26: Utilization of Park Lands Dedication Ordinance Fees and a Sponsor Group to identify community recommendations for use of PLDO funds
The Department of Parks and Recreation (DPR) is seeking input from the Fallbrook community on the Park Lands Dedication Ordinance (PLDO) and Recreation Programming priorities for the Fallbrook Local Park Planning Area (LPPA). The Department of Parks and Recreation requests that the Fallbrook Community Planning Group recommend projects eligible for PLDO funding for 2019-2020. The most recent PLDO Priority Project List received from your group as of 9/17/18 is:
 1. Acquire park lands;
 2. Upgrade Live Oak Park with ADA exercise equipment;
 3. Additional bikeways and hiking pathways;
 4. Multi-use facilities including hiking/biking pathways and team sports courts, fields, etc. Additionally a list of recreational programming.

Fallbrook's current list is:

1. Soccer facilities;

2. Skateboard facilities;
3. Hiking/Biking pathways in the community;
4. Basketball and Volleyball courts.

County planner Marcus Lubich, Senior Park Project Manager, 858-966-1348, Marcus.Lubich@sdcountry.ca.gov. Parks and Recreation Committee. Community input. Voting item. (8/29)

Eileen Delaney reported Marcus Lubich is not able to attend this meeting. She noted that at the Parks and Recreation subcommittee the lists were discussed at a community workshop. The first part of the meeting entailed participating agencies and organizations getting acquainted. She said one project was discussed, a proposed pathway/trail along Stage Coach Rd., which is heavily used by kids to and from the high school. They might be able to get funding for the pathway from DPW, and it would be difficult to get funding for a trail from Parks and Recreation. She said the committee will re-agenda the project for next month.

Eileen Delaney moved to continue the project and the motion passed unanimously.

After the motion carried there was additional discussion regarding pathways and trails in the community:

Jack Wood noted that this is an ongoing situation in Fallbrook in that the community is always looking for different avenues for funding for parks, recreation, paths, etc. He said that the most difficult thing is that many roads were laid out as old grove roads and many do not have rights-of-pay and to get pathways and trails requires getting easements on private properties. He said it is an ongoing process and the Planning Group will continue to pursue remedies.

Bill O'Connor said the problem is funding, and hoped that at least one project could be done.

Eileen Delaney said the first step is to find out from DPW (instead of Parks and Recreation) if there is an easement along Stage Coach. If there is an easement there is a possibility of getting a pathway and at that point the community can then ask for budget money for that.

Jim Loge cited a letter that outlines priorities on the Trails and Pathways map of Fallbrook and the reasons (Stage Coach was listed as first from Mission to Mission because of the use of the roadway by cross country running kids from the high school).

6. Request for a B-designator waiver of a site plan for signage and remodel for The Kentucky Fried Chicken at 1077 South Mission Road, 104-390-11-00. The application for KFC has two parts: One is for signage with Tim Seaman, tim@championpermits.com, 619-993-8846, as the applicant; and the second is for the color scheme with

joe.honn@davacoinc.com, Joe.honn@davacoinc.com, 630-441-0963, as the applicant. County planner Chloe Hird, Chloe.hird@sdcounty.ca.gov, 858-495-5201. **Design Review Committee.** Community input. Voting item. (9/3)

Joe Honn presented the project after making corrections requested by Design Review in September. Those changes included reducing sign sizes and making some signs generic, replacing others to remove KFC branding elements on them. The signs will consist of one set of KFC letters, one 6'x4' face of "The Colonel" logo and the monument sign at the property will only be refaced. The drive thru signs will be generic. The second element is that the color scheme would be gray and white with red awnings/shutters.

Eileen Delaney moved to approve the two elements of the project as presented and the motion was passed unanimously.

7. Request for approval of traffic calming bulb-outs on Main Ave. (phase 1). Project initiated by Supervisor Desmond's Revitalization Programs Infrastructure Subcommittee (presented last month for information only). Contact: Lila MacDonald. Fallbrook Chamber of Commerce. Community Input. 760.728.5845, lila.macdonald@fallbrookchamberofcommerce.org. **Circulation Committee.** Community input. Voting item. (9/16)

Lila MacDonald presented updated renderings showing the bulb-outs proposed for two intersections (Elder and Ivy) along Main Ave. She noted that the local Fire Department was asked for input to determine if bulb-outs might hinder a response call and she was told they would not. The Circulation Committee approved the project and encouraged Ms. MacDonald to take it to the County for approval.

Roy Moosa and Eileen Delaney recused themselves as they were members of Supervisor Desmond's revitalization committee that brought forth this recommendation. Roy Moosa also owns property on Main Ave.

Bill O'Connor moved to approve the project as presented and the motion passed unanimously.

8. AD19-024 Request for an administrative permit for an animal raising project to raise up to 15 alpacas on the 2.5 acres located at 1104 Arroyo Pacifica, APN 105-310-30. Also to hold classes for up to 3 hours on the alpacas one Saturday a month for up to eight children ages 5 to 14 with adults. Owner and point of contact Anita Caole, 760-212-2146, n2alpacas@gmail.com. County Planner Lauren Yzaguirre, 858-495-5362, lauren.yzaguirre@sdcounty.ca.gov. **Land Use Committee.** Community input. Voting item. (9/27)

Anita Caole presented her plans to reduce her large animal content to 15 alpacas on her property and use them for demonstration projects for 4H students on weekends and to continue to breed the animals for yarn, etc. The project site was the subject of a visit by the Land Use Committee in the week prior to her presentation before the

Planning Group. During her discussion with the Land Use Committee she expressed a willingness to reduce the “herd” to ten animals.

Several homeowners (some of their names could not be heard or recorded and are cited here in an approximate way, thus we apologize for misspelling those names), none of which knew of the Land Use Committee meeting in the area surrounding Ms. Caole’s property appeared and all cited problems at their properties associated with flies and odors from the alpacas’ dung. Most of them said that the number of animals was excessive and contributed to these offending problems. Others cited the unsightly presence of a large dumpster the applicant used to handle dung until picked up by trash collectors. Aside from the oft mentioned complaint about flies and odor here are some of the other neighbor and/or friend comments (pro and con):

Cheri Cornachione – no objection to the animals or 4H project, but flies and odor excessive

Lisa Wilson --- visited property Monday and experienced no flies or odor

Glenn Johnson – alpacas are noisy when they mate

Darlene Seale – can’t open windows because of smell and flies; applicant’s business affects others’ businesses in the area; can’t sell home because of flies and bugs, nor have BBQs; property values hurt

Neil Friedlander – wind drives odors and flies northeast toward his and others’ properties; dumpster with dung offensive; inappropriate to use 4H to justify operation

Michele Rocheleau – traffic in cul de sac is a nuisance

Kelly Thomas – Ms. Caole was helpful in curing her alpacas’ sick animals

Lisa Friedlander – why after two years in residence with alpacas is she applying now for 4H exemption

Karen Eddy – dumpster is unsightly

Mr. and Mrs. Jones – odor and flies (complaint via letter to Planning Group, in absentia)

Per the item above, some neighbors have filed repeated complaints with code enforcement and numerous letters in protest are on file with the County Planner.

Input from the Planning Group:

Eileen Delaney said she feels those in the area first have property rights in situations like this. The ag profile for A70 areas like this is a max of two large animals per acre (five for Ms. Caole) and that is what area can support; and that the plusses for a 4H project should be balanced against the needs of the property rights of neighbors.

Steve Brown agreed with Eileen Delaney.

Roy Moosa said that when on site tour he couldn’t see magnitude of problem voiced by neighbors. However, since that tour a letter was received from one of the neighbors and, based on the numerous complaints made at this meeting, he could not approve the applicant's request since it seems to negatively impact so many.

Bill O’Connor was concerned about the unsightly dumpster at the property and was interested in maintaining a focus on code compliance and the regulations.

Bill O'Connor moved to deny the applicants request to have a herd as large as 15 animals, stating she should comply with the ordinance allowing two large animals per acre (five total for the property). The motion was approved unanimously.

9. OCEAN BREEZE - PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013 a proposed development of the 1387.28 acres at 5820 West Lilac Road, Bonsall, CA for 396 residential lots and a privately owned and operated equestrian facility. Plus possible traffic calming at the Monserate Mobil Home Park. County planner Bronwyn Brown, (858) 495-5516, Bronwyn.Brown@sdcounty.ca.gov. Contact person Pete Fagrell, 760-533-7261, pfagrell@sbcglobal.net. **Circulation Committee.** Community input. Voting item (9/27)

Note: This item was moved up after item 5 for discussion.

Bronwyn Brown recapped planning elements for the Ocean Breeze project. Because all but two of the 1387 acres are in the jurisdiction of the Bonsall Sponsor Group, this report will only deal with issues pertaining to that two-acre portion of the project. The primary issue before the Fallbrook Community Planning Group was traffic circulation in and around the area, particularly with regard to issues along 395, CA 76 and Dulin Rd. She said the County is in a 45-day review period looking for input and recommendations regarding the project and from the Fallbrook Community Planning Group the traffic issues that pertain to the two-acre portion of the Ocean Breeze development.

Damon Davis provided highlights from the traffic study, citing the 20 different intersections and road segments affected by the project and that five (intersections involving Dulin Rd., 395, Lake Circle and CA 76) were in the Planning Group jurisdiction. He described the five intersections and said that there were no direct impacts to the road segments in the Planning Group's area. It was noted that there are 14 estate homes toward the eastern end of the Ocean Breezes area. They will also have daily egress/ingress totaling 12 AM and 14 PM trips through the area into and out of the Rancho Monserate Mobile Home Park. He said that all residents would have emergency egress granted by the Fire Department along the extension of Dulin Rd. out of the project through a pair of gates opened during an emergency.

Bronwyn Brown said the applicant has worked with the Rancho Monserate HOA to resolve concerns about the need for traffic calming through the mobile home park. There is concern that many of the residents are seniors and those in golf carts or strolling along Dulin Rd. might be affected and/or harmed during traffic incidents.

In answer to a question posed by Kim Murphy, Pete Magrell stated there is no developer at the moment. The project is being proposed by the owner of the property and after filing they will sell to a developer.

Jack Wood reminded all that the primary concern for the Planning Group pertains to traffic. He stated that it is the intent of the Palling Group to go on record and have calming devices on Dulin Rd. inside the mobile home park to protect residents there.

He also noted that at the eastern edge of the San Luis Rey River Park there will be a park and recreational area accessed from Dulin Rd. and through the mobile home park. He wanted that addressed in the presentation and the traffic study. He said the 14 estate lots would generate 168 trips per day through the mobile home park each day, and that's 168 more cars going through there than now. Add to that all the additional traffic when the park gets developed and it is going to become quite busy.

Bronwyn Brown said they have alerted Parks and Recreation and DPW of the Planning Group's concern for safety. She noted that Dulin Rd. is a public road and there is no regulatory mechanism to stand on.

Pete Fagrell stated there is no way to know which way the 14 estate lot residents will go for their 168 trips. They could use other access/egress points in the area.

Roy Moosa reported that the Circulation Committee met and discussed the traffic issues, citing in particular the concern for the 390 homes from going through the mobile home park. Though the 14 estate homes would generate 100+ trips per day and that is still more than the mobile home park experiences now. Currently, he said the residents tend to cross the street wherever they want to and the concern to restrain them is a major issue. He wants to avoid a problem rather than address it when someone gets hit. He wanted some sort of a commitment on the part of the project to install some form of a calming device and the committee wasn't specific as to what kind it should be, but rather left that to Ocean Breeze and the complex.

Pete Fagrell said they did meet with Rancho Monserate and did commit to installing some form of traffic calming device. He said there are a number of different traffic calming devices that can be installed. There are today raised cross-walks, he said, and those could work in the mobile home park and they offered to the HOA to install those in one location.

Roy Moosa made a motion to approve as presented with a recommendation to install traffic calming devices in the Rancho Monserate Mobile Home Park and the motion passed unanimously.

10. Request for a B-designator waiver of a site plan for signage for The Union Bank at 1678 Mission Road. Contact person, Karl Henning, khenning@matthewssign.com. County planner Regan Watt, regan.watt@sdcountyca.gov. Design Review Committee. Community input. Voting item. (9/28)

Karl Henning presented plans for Union Bank to refresh the façade and signage of the building. The sign frames will remain the same. They will be refaced with updated colors and logos.

Eileen Delaney moved to approve the project as presented and the motion was approved unanimously.

The meeting was adjourned at 9:47PM.

Respectfully Submitted, Jerry Kalman, Secretary

FALLBROOK COMMUNITY PLANNING GROUP

And

DESIGN REVIEW BOARD

Regular Meeting

Monday 16 July 2018, 7:00 P.M., Live Oak School, 1978 Reche Road, Fallbrook

Preliminary Minutes

Twelve (12) members were present: Chair Jim Russell, Vice Chair Jack Wood, Vice Chair Roy Moosa, Secretary Jerry Kalman, Eileen Delaney, Donna Gebhart, Lee De Meo, Steve Brown, Ron Miller, Jim Loge, Bill O'Connor and Rich Billburg. Karel Hanson and William Leach were excused.

Chairman Jim Russell noted this is an election year for Planning Group members; and that the filing period for candidates for seven seats began on 16 July and ends on 10 August 2018. He noted that those interested in filing for a seat on the Planning Group should take their Form 700 – Statement of Economic Interests – to the Registrar of Voters when they file for candidacy.

1. Open Forum. Opportunity for members of the public to speak to the Planning Group on any subject matter within the Group's jurisdiction but not on today's agenda. Three minute limitation. Non-discussion, & Non-voting item.
2. Approval of the minutes for the meeting of 18 June 2018. Voting Item.

Donna Gebhart moved to approve the minutes. They were approved by eleven (11) members with Steve Brown abstaining.

3. TM5510RPL1 PACIFICA ESTATES. Request to waive the requirement to underground the utilities along Morro Road. Pacifica Estates is trying to satisfying conditions and are in the process of final engineering. They are required to underground the power poles on Mission and plan do to so, but there are a few existing poles on Morro Road that the county policy also requires to be underground. The Morro Road undergrounding could cause ripping up that private road and a private driveway. Considering their primary power would be from Mission and the developer doesn't want to disrupt the neighbors, they are requesting that support waiving the undergrounding policy for just the existing poles on Morro. Contact person Mark Sanchez, 760-207-8421, jmsconsulting56@gmail.com. County planner David Sibbet, 858.694-3091, david.sibbet@sdcounty.ca.gov. **Public Facilities Committee.** Community input. Voting item. (4/30)

BOS Policy I-92, Undergrounding of Utilities, Waiver request.

It is the policy of the Board of Supervisors that:

1. All new subdivisions and centerline projects must comply with the requirement to underground utilities set forth in Section 81.404(a)(7), 81.707(b)(3), and 51.312 unless waived or modified as authorized by Sections 81.308, 81.316, 81.614 and 51.312. Staff shall review all requests to waive this requirement using the criteria in this Policy.
2. Undergrounding may be waived if any of the following criteria are met:

- a. All other properties in the immediate area are completely "built out" to planned densities and uses and the established utility system for that area is overhead, OR
 - b. Undergrounding would result in no reduction in the number of poles on or adjacent to the project, OR
 - c. The cost of undergrounding IS prohibitively high based on utility company estimates.
3. The installation of underground utilities or the conversion of overhead utilities to underground will not be waived in the following cases:
- a. When the subdivision is within or adjacent to an existing or proposed underground district,
 - b. When properties in the immediate area are not substantially "built out" to planned densities and uses in the area.
4. Each request for a waiver shall be considered on its own merit and shall be evaluated on site-specific circumstances.
5. Prior to granting a waiver of undergrounding, any request shall be sent to the local planning/sponsor group for review and recommendation.

On behalf of the applicant, Mark Sanchez said that three existing power poles along Morro Rd. would be removed and the utility lines would be placed underground by Pacifica Estates. A fourth pole, near Peppertree Park and at the end of Morro Rd. would be left standing because of complications with getting approvals from the adjacent property owners in Peppertree. Sanchez noted that an exemption such as that proposed to leave pole #4 standing is allowed by the County.

A neighbor on Morro Rd. complained that the County notice about the meeting was not received by all affected parties on Morro Rd.

Chair Jim Russell clarified the process that the discussion and decision to be rendered at this meeting related to the pole, only, not the overall Pacifica Estates project, which was approved by the Planning Group earlier in the year.

Public Facilities Chair Roy Moosa noted that the owners of Pacifica Estates were addressing issues related to preparing their property for eventual sale to developers and the permit to leave one pole standing was in keeping with that process. He asked Mark Sanchez for an estimate of when construction might begin and the estimate was in one to two years. Roy Moosa moved to approve the project as presented because it reduces the impact of the utility lines on neighbors and removal of power pole 4 would be difficult to achieve as noted. The measure passed unanimously.

4. Request for a B designator Design Review waiver to remove and install, 23.9SqFt, illuminated wall sign for Verizon at 1103 South Mission Road, Suite C, APN 104-390-02. Owner Sudberry Properties, INC./4 BigSurf, LLC. 858-546-3000 X570. Contact person Manny Herrera, 858-546-3000 X560/ Karl Henning 760-224-7200; khenning@matthewssigns.com. County Planner Dag Bunnemeyer, dag.bunnemeyer@sdcounty.ca.gov. **Design Review Committee.** Community input. Voting item. (5/20)

Due to a mix-up in communications, the applicant did not appear before the Design Review Committee as scheduled in July. Design Review Chair Eileen Delaney made a preliminary

assessment of the proposed design and indicated it was not conforming to County guidelines for Fallbrook and recommended a size to the applicant that would work. She also moved to continue the project until the Design Review Committee's August 15 meeting. The motion was approved unanimously.

5. Presentation by Willie Porges, 760-535-6048, wporges@yahoo.com on a proposal for a Fallbrook RV Park for developing the two pieces of property behind Grangetto's on Alvarado, currently zoned as Village 3. This property has been an ongoing nuisance to the fire department and sheriff department due to the illegal behavior. I am proposing a 4 Star RV park for those visiting the Friendly Village, and long term sites for permanent retirees and other full time RV-ers. **Land Use and Design Review Committees.** Community Input. Voting Item. 6/18

Willie Porges presented his project to the Planning Group, noting that the two parcels behind Grangetto's and below the Fallbrook Boy's and Girl's Club would be difficult to develop and that his solution, if the County approves a zoning request change, would result in just under three acres to consist of 55 spaces for a mix of long-term and short-term RV parking in a Four-Star style resort. Several amenities would be available for users including 8X8 storage sheds, additional vehicle parking, laundry, pool and underground services. He was seeking approval from the Planning Group for the "concept", pending the County granting a zoning change that would allow his proposed development of the two parcels as proposed.

Committee Chairs Jack Wood (Land Use) and Eileen Delaney (Design Review) noted that their committees heard the presentation by Willie Porges. The Land Use committee voted 5-2 to approve the concept as follows: Yes: Jim Loge, Steve Brown, Roy Moosa, Jerry Kalman and Jackie Heyneman. Voting no were Eileen Delaney and Jack Wood. Bill O'Connor abstained.

The Design Review Committee voted 3-2 to deny with one abstention.

Jackie Heyneman said that the project would contribute to revitalization of the downtown by bringing out-of-towners to the area.

Roy Moosa cautioned the applicant that it would be difficult getting the zoning change through the County, not to mention approval of other aspects of the project. Steve Brown verified that approval by the Planning Group was for the concept, only; to which the applicant acknowledged the difficulty he faced going forward. Chair Jim Russell clarified that the first step was the zoning change, which would resolve some issues raised by members of the committees and the Planning Group (underground drainage, grading, zoning to conform to the 2020 Plan, location, etc.). He also noted that mixed use in the area is acceptable and "it would be nice to have folks there" referring to the RV park as proposed.

Jack Wood moved to deny the concept. Three voted "yes" to deny: Jack Wood, Eileen Delaney and Donna Gebhart. Lee DeMeo, Ron Miller, Jim Russell, Jerry Kalman, Roy Moosa, Jim Loge, Bill O'Connor and Rich Billburg voted "no" to accept the concept. Steve Brown abstained.

Roy Moosa moved to approve the concept. Jim Russell said approval of a concept is acceptable. The vote to approve the project as a concept was granted with Lee DeMeo, Ron Miller, Jim Russell, Jerry Kalman, Roy Moosa, Jim Loge, Bill O'Connor and Rich Billburg voting yes to accept the concept. Jack Wood, Eileen Delaney and Donna Gebhart voted no on the concept and Steve Brown abstained.

6. Request for a B designator Design Review waiver to install a non-illuminated wall sign and a new monument panel for CAPITIS at 1676 South Mission Road, Suite A, APN 104-360-60. Owner Pepper Tree Park, LLC, 619-321-1111. Contact person Jeff Grady, 780-776-9907, jeff@pdsignanama.com. **Design Review Committee.** Community input. Voting item. 6/20

Design Review Chair Eileen Delaney said that the proposed sign meets County standards and she moved to accept the project as presented. It passed unanimously.

7. Presentation by Lila MacDonald, CEO, Fallbrook Chamber of Commerce , 760-728-5845, lila.macdonald@fallbrookchamberofcommerce.org, on adding additional Way-finding signs. **Design Review Committee.** Community input. Voting item. (6/25)

Lila MacDonald said that two of the seven signs would be two-sided. They would conform to the designs of previously approved signs in the Fallbrook Way-Faring Sign project that would direct visitors to the downtown area of the community. One at Live Oak and Mission Rds. would indicate the town center is four miles away. One at Reche and Live Oak would be replaced. Others would direct to the Airpark and Historical Society.

Design Review Chair Eileen Delaney said that the signs are consistent with the project as approved earlier this year and moved to approve the additional signs as presented.

It was approved by eleven (11) members with Roy Moosa abstaining (he is chair of the Village Association, which is providing partial funding for the Way-Faring Signs).

8. Request from Donna Gebhart, 760-731-9441 for a letter of support for the Santa Margarita River Parkway project and the transfer of the property to The Wildlands Conservancy. Community input. Voting item. (6/27)

Donna Gebhart presented the draft letter for consideration by the Planning Group, noting that the proposed sale of the FPU property along the Santa Margarita River to the Wildlands Conservancy is proceeding. She introduced Zack, who would be the Park Ranger for the project, and he explained the role of the Wildlands Conservancy in managing the eventual use of the river area as a recreation area while maintaining environmental preservation of habitats. He asserted that the area would be maintained in perpetuity for recreational use. Donna Gebhart noted that more than 100,000 people use the Santa Margarita River area for recreation and most are non-residents.

A copy of the signed letter is attached by reference. Steve Brown moved to approve the letter to the Coastal Conservancy and it passed unanimously. The Secretary will forward the signed letter to the Coastal Conservancy by July 19, 2018.

9. OCEAN BREEZE - PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013 a proposed development of the 1387.28 acres at 5820 West lilac Road, Bonsall, CA for 396 residential lots and a privately owned and operated equestrian facility. County planner Bronwyn Brown, (858) 495-5516, Bronwyn.Brown@sdcounty.ca.gov. Contact person Pete Fagrell, 760-533-7261, pfagrell@sbcglobal.net. Community input. Non-voting item (6/27)

Pete Fagrell presented the Ocean Breeze Ranch project to the Planning Group, noting that there is a small tip at the northeastern end of the project that is in Fallbrook; the remainder is in Bonsall. He also said that the owners are working with the Bonsall Sponsor Group and the County on conforming the project to County standards for the area. The portion within the Fallbrook Community Planning Group purview is south of Highway 76 and near a proposed Dulin Rd. extension coming in from the Rancho Monserate mobile home park. He said it would not be built on. There are 14 lots in the area designated for low density housing, along with several areas set aside for mitigation for endangered species habitats. The Dulin Road extension in that area would be primarily for residents of Ocean Breeze Ranch, would be gated at the mobile home park, and would be opened during emergencies for residents of either project to move one way or the other. Most of the density involving over 390 dwelling units would be concentrated in the western end of the project, near the existing equestrian facilities, which would remain. Historical and tribal sensitive sites would also be maintained within the complex. Some portions of the area owned by the current owners would be sold to the County to connect with proposed regional parks along the San Luis Rey River. Seven recreational parks for residents consisting of 14.5 acres would be created within Ocean Breeze Ranch.

The presentation was informational and not a voting item.

The meeting was adjourned at 8:52PM.

Respectfully submitted, Jerry Kalman, Secretary

NOTE: The Planning Group occasionally has openings on its **Land Use** (Jack Wood 760-731-3193), **Circulation** (Roy Moosa 760-723-1181), **Parks & Recreation** (Donna Gebhart 760-731-9441), **Public Facilities** (Roy Moosa 760-723-1181) and **Design Review** (Eileen Delaney 760-518-8888) Committees for non-elected citizens. Interested persons please contact the Chairman. This is a preliminary agenda. If any changes are made, a final agenda will be posted at the North County Fire District, 315 E. Ivy Street, Fallbrook, at least 72 hours prior to the meeting.

Jim Russell, Chairman, 205 Calle Linda, Fallbrook, California 92028, (760) 728-8081, russellfarms@roadrunner.com

Chair: Kerry Garza
Secretary: Delores Chavez Harmes

I-15 CORRIDOR DESIGN REVIEW BOARD

August 14, 2019 Meeting Minutes
Valley Center Community Center – Room 3
28246 Lilac Road Valley Center, Ca 92082

Attendance: Kerry Garza, Victoria Stover, William Crocker, Delores Chavez Harmes

Call to Order: The meeting was called to order by Chair, Kerry Garza at 7:20pm in room 3 of the Valley Center Community Hall – 28246 Lilac Road Valley Center, 92082. All stood for the pledge of allegiance.

Welcome: Chair, Kerry Garza, welcomed all and thanked them for attending the first meeting of the I-15 Design Review Board.

Public Comments: None

Action Items:

1. **Sage Road:** Fallbrook (APN: 125-070-23-00): Request for site plan exemption for single-family dwelling by Tai Phan, Owner. Plans have not been approved by the county and request is not ready for presentation to I-15 DRB at this date. Will be resubmitted for consideration at September 2019 meeting.
2. **Ocean Breeze:** Peter Fagrell, of Helios Property Solutions, LLC, representing Ocean Breeze Ranch (formerly Vessels Ranch) presented detailed information of the development of 396 residential lots and a separate, privately owned and operated equestrian facility. Project is located on 1,402.52 acres in north San Diego County, unincorporated area of Bonsall. To include two planned development areas (planning area 1 and 2) with lot sizes ranging from 4,500 and 5,000 sq. ft., larger estate lots with 5-acre minimums (planning area 3) and one single hillside estate lot of 24.24 acres. The equestrian facility is located on 203.5 acres and is existing. This facility would remain while ancillary new components would be added to the existing facility. Total of 15.91 acres of public and private parks as well as provide for the permanent preservation of 832.7 acres within a biological open space easement.
 - a. For biological and land planning purposes the project is essentially tucked behind a large ridge with only the park visible from roads. Canopy of trees covers the development area with only glimpse from Hwy 76.
 - b. Historical buildings existing on property to remain in place with only 1980 Spanish style building removed.
 - c. Utilities to be underground.
 - d. Very little wetland impact and any impact will be mitigated onsite.
 - e. Project proposal has no signage on I-15 corridor.
 - f. Three additional evacuation routes and traffic mitigation with use of roundabouts.
 - g. **Vote: Aye-4, Nay-0, Abstentions-0**

Group Business: No further announcements or discussion items.

Next Meeting: Sept. 11, 2019 room 3 of the Valley Center Community Hall – 28246 Lilac Road Valley Center, 92082

Adjournment: 8:07pm

*Rancho Monserate Country Club
Homeowners Association, Inc.*

Board of Directors Meeting

September 11, 2019

MINUTES

I Call to Order

The September 11, 2019 Board of Directors Meeting was called to order at 9:01 am by President Raia. The Pledge of Allegiance was recited.

II Roll Call

The following Board of Directors, constituting a quorum, were present:

A. President Carol Raia Treasurer David Allen
Vice President Dave Murdock Director Dick Schneider
Secretary Ruthie Harris

B. Managing Agent Tom Riggs, Bridgette Conboy, Office Manager and thirteen residents were in attendance.

III Approval of the Minutes

A. A motion to approve the August 14, 2019 Annual Board of Directors Meeting minutes was made by Ruthie Harris, seconded by Dave Murdock and approved by all.

IV Financial Report

A. Treasurer David Allen gave the financial report for for the month ending August 31, 2019. The full report for the month of August was presented in the Board packet and is available in the library, along with the minutes. The highlights for the financials ending August 31, 2019, were as follows:

Total income was \$57,965.60. Total Operating Expense was \$59,935.83. That left us a monthly net loss of \$1,970.23. Our total cash and reserves were \$454,760.57.

V Manager's Report

All of the banks should be up and running four days a week, except for the bank between Via San Arturo and Via San Arrono because that bank is so short. Hopefully the road repair will be on the schedule for sometime in October. We still have some cleanup by space #212, but other than that we should be winding down with all the fire repair.

VI Committee Liaison Reports

- A. **Architectural -Landscape - Carol Raia** - it has slowed down a lot. Most of the people are adding on or cleaning up doing some planting or fencing. Most of the homes are in. We only have four left. So things are quiet. Brenda Vatnsdal and Robert Styles are co-chairing the committee.
- B. **RV Lot - Ruthie** - We got the new lock for the RV lot, so only those who have vehicles in the lot will have a key.
- C. **Social - Ruthie Harris** - Diane Choske was the chairperson for the Hoe Down party on the patio which was a great success. The free concert on the patio, with the Greg Douglass Band was great. Thanks Brenda. There will be Bingo on Saturday September 21st. There will also be an Oktoberfest party on October 19th, a Veterans breakfast in November. We also had a great Labor Day party.
- D. **Welcome Wagon - Ruthie Harris** - There will be a new homeowners meeting in September.
- E. **Golf Course - Greens - Dave Murdock**- The course was suppose to be closed on October 1st, but the Senoras are having Skyline here that day. So it will be closed most of Wednesday and Thursday October 2nd and 3rd.
- F. **Common Area Landscape - Dave Murdock** - Replacing some plants that were destroyed by the fire is on the agenda today.
- G. **Facilities - Dick Schneider**- Nothing really new. The security cameras have been replaced and we are getting better pictures at night. Jim Kelley is getting some training on how to retrieve pictures from the cameras.
- H. **NW/EP - Dick Schneider** - We don't have anything in place and since the fire, things seem to be running okay.

- I. Political - Publicity - David Allen - nothing this month.

VII President's Report

We will be meeting with Marcos Lubich project manager with the Parks Department about the Rio Prado Park at the end of Dulin Road. We would like passive amenities at the Rio Prado Park and active amenities at the Bonsall Community Park. The Rio Prado Park probably won't be finished before 2021 and the Bonsall Community Park in 2020. There will be two community meetings on October 2nd and 3rd which is open to the public about the two parks. Pete Fragrell, the project manager from the Ocean Breeze Ranch, is here today to get our support for their project and will give their support for passive amenities at the Rio Prado Park.

VIII Unfinished Business

None

IX New Business

- A. A motion to approve to formally support Ocean Breeze (the development west of Rancho on Dulin Road), was made by Dave Murdock, seconded by Dick Schneider, discussed and approved.
- B. A motion to approve the expenditure not to exceed \$2,500.00 to implement the landscape plan submitted by the Common Area Landscape Committee, was made by Ruthie Harris, seconded by Dave Murdock, discussed and approved by all.
- C. A motion to approve to file the foreclosure proceedings against APN 125-090-43-36, was made by Ruthie Harris, seconded by Dick Schneider, discussed and approved by all.
- D. A motion to approve the request from Michael and Susan Crumley to have the Board reverse the denial of their paint color choice for their home from the A/L Committee, was made by Ruthie Harris, seconded by Dick Schneider, discussed and Dick Schneider likes the color, but in a matt finish. Ruthie Harris, Dave Murdock and David Allen don't like the color. Motion denied.

X Announcements

- A. The next regular scheduled Board Agenda Meeting will be held in the Clubhouse on Friday, October 4, 2019 at 9:00 AM.
- B. The next regular scheduled Board of Directors Meeting will be held in the Clubhouse on Wednesday, October 9, 2019 at 9:00 AM.

XI Open Forum

Resident Cheryle Clinite said she would help people with the surveys. She will spend a day at the Clubhouse and help people put the survey in the computer. Carol Raia will put out a One Call about it and deliver the survey to all residents. The more residents who do a survey the better.

Resident Suzic Crumley said they have put a matt finish on their home as requested by the A/L committee, but they did not get a written denial that is required. We would like to request the A/L minutes. Also we should have a color book then there would not be a problem selecting colors.

Tom Riggs replied that what they are requesting is reasonable.

XII Adjournment

Having no further business, the meeting was adjourned at 9:43 am.

Signed _____ Dated _____



County of San Diego, Planning & Development Services
Project Planning Division

Memorandum

TO: File

FROM: Bronwyn Brown, Project Manager

SUBJECT: Response to Comments; Ocean Breeze Ranch; PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-16-013, PDS2016-STP-16-023; PDS2016-ER-16-02-006

DATE: December 13, 2019

The following are staff's responses to comments received during the public review period for the 15183, Projects Consistent with a Community Plan or Zoning, prepared pursuant to the California Environmental Quality Act (CEQA) dated September 19, 2019. The document was released for public review from September 19, 2019 through November 4, 2019, and 11 comment letters were received during that time.

Response to comments received from Dan Silver, Endangered Habitats League, received September 26, 2019:

- A1. This comment states that Mr. Silver is supportive of the proposed project. No changes were made to the CEQA 15183 environmental doc (15183) as a result of this comment.
- A2. This comment states that the Endangered Habitats League does not agree with the proposed sale of biological open space as mitigation for other projects and states that developers needing offsite mitigation should purchase credits from mitigation banks established by landowners who have not recouped value through development.

The County does not entirely agree with this comment. The proposed project would either sell the 308.9 acres of land, which is not necessary to mitigate project specific impacts, to one entity which would require approval through the County of San Diego, US Fish and Wildlife Service (USFWS) and California Department of Fish and Wildlife (CDFW), or would proceed to establish a formal mitigation bank which would follow the established CDFW mitigation banking process. No changes were made to the 15183 as a result of this comment.

- A3. This comment quotes a draft provision from the 2014 draft of the North County Multiple Species Conservation Plan (MSCP) which describes using 75% of on-site mitigation for recognition of mitigation credit.

The County does not agree with the comment that the draft North County MSCP requires this conservation level on a project by project basis. A conservation target has not yet been adopted for the draft North County MSCP. In addition, the current

draft plan has omitted this language from the previous version. The proposed project is meeting the required on-site mitigation ratios per the County Guidelines in accordance with the Habitat Loss Permit Ordinance. No changes were made to the 15183 as a result of this comment.

Response to comments received from San Diego Archaeological Society, Inc., received October 15, 2019:

- B1. The comment is introductory and does not raise any issues with 15183. No changes were made to the 15183 as a result of this comment.
- B2. The commenter requests that text be added to the 15183 identifying that the adequate number of monitors be included in the Archaeological Monitoring and Capping Programs. The standard condition language includes the plural (s) after the term monitor. In addition, the required number of monitors would be identified when the Treatment and Preservation Plan (condition of approval) is prepared. Changes were not made to the 15183 as a result of this comment.
- B3. The commenter request that the term “clean fill soil” be defined to include “culturally sterile and chemically compatible with the existing soil being capped”. The standard use of the term “clean fill soil” within the capping condition of approval is meant to mean culturally sterile and chemically compatible. No changes were made to the 15183 as a result of this comment.
- B4. The commenter requests that photography and monitoring of the pictograph use the Dstretch program/app that can bring out details that are poorly visible to the naked eye. Although this is an appropriate program to use for recordation of the resource, the condition is for the pre- and post-condition of the pictograph. The pictograph has been adequately recorded as part of the cultural study. No changes were made to the 15183 as a result of this comment.
- B5. The commenter requests that historic designation be requires as a condition of approval. Historic designation does not mitigate potential impacts to the Canfield-Lighton Ranch Complex (Complex). The Project will be conditioned to place a Use, Maintenance and Repair Easement over the Complex for preservation purposes. No changes were made to the 15183 as a result of this comment.
- B6. The comment is conclusionary and does not raise any issues with the 15183. No changes were made to the 15183 as a result of this comment.

Response to comments to Nova Wiestling., received October 28, 2019:

C1. This comment states a general objection to the proposed project.
The comment is introductory and does not raise any issues with the 15183. No changes were made to the 15183 as a result of this comment.

C2. The comment states that even though the project is consistent with CEQA section 15183, a public hearing should be held.

A public hearing will be held for the proposed project on December 13th, 2019, located in the Campus Center Chambers, at the County Operations Center, 5520 Overland Avenue, San Diego, 92123. Anyone may request to speak at the hearing by submitting a Request to Speak form to the Planning Commission Secretary prior to the item being called for discussion. No changes were made to the 15183 as a result of this comment.

C3. This comment states concern for the additional potential project-related traffic to the project area with specific emphasis on West Lilac Road.

A Traffic Impact Study has been prepared for the proposed project. No impacts have been identified for the roadway segment of West Lilac Road. In addition, all intersections along West Lilac Road have been reviewed for impacts. One intersection, West Lilac Road/Old Highway 395, was identified to be directly impacted within the Traffic Impact Study. As a result, mitigation would be required in the form of a new traffic signal for West Lilac/Old Highway 395. The project applicant would also improve West Lilac Road along the property frontage (approximately 0.90 mile) to widen the roadway shoulder and add a right-hand turn pocket at the intersection of West Lilac/Camino Del Rey as a design feature, consistent with the County's General Plan Mobility Element. In addition, any cumulative impacts to County intersections or road segments would be mitigated through the payment of a Traffic Impact Fee (TIF). The TIF program is a fee program that provides a mechanism to fund future roadway improvements to the unincorporated County of San Diego, including the Bonsall area. No changes were made to the 15183 as a result of this comment.

C4. This comment states concern for fire evacuation due to traffic on West Lilac Road and the location of the proposed project in a fire prone area.

Two Fire Protection Plans, one for the Residential MUP and one for the Equestrian Facility, have been prepared and approved by the North County Fire Protection District. Within the plans, a Fire Behavior Prediction Model by Behave Plus was utilized to predict fire behavior in the event of a wildfire. Conditions such as wind speed, slope, vegetation, and fire history were incorporated within the model. The results of the model indicated a "less than significant" impact due to project design and fire protection measures. The proposed project would comply with all Wildland Fire Regulations, including consistency with fire codes and ordinances. The codes and ordinances would ensure adequate travel response times, emergency/fire access, evacuation, fuel modification around structures and roadways, and ignition-resistant structures, amongst other requirements.

No changes were made to the 15183 as a result of this comment.

- C5. This comment states concern for Rainbow Municipal Water District's ability to serve the proposed project in addition to existing serviced properties.

A Service Availability Form has been received from the Rainbow Municipal Water District (District) indicating the District's ability to service the project site with conditions. All conditions must be met prior to project connections to the District. No changes were made to the 15183 as a result of this comment.

- C6. The comment is conclusionary in nature and does not raise any issues with the 15183. No changes were made to the 15183 as a result of this comment.

Response to comments to Alexander Maniscalco, Loftin Bedell P.C. on behalf of the Rancho Monserate Country Club Homeowners Association Inc., November 4, 2019:

- D1. This comment gives a general background to the Rancho Monserate Mobilehome Park.

This comment is introductory and does not raise any issues with the content of the 15183. No changes were made to the 15183 as a result of this comment.

- D2. This comment states that Mr. Fagrell sent minutes from a meeting of the Rancho Monserate Country Club Homeowners Association Inc. (HOA) to the County of San Diego without authorization. The comment also states that in doing so, Mr. Fagrell suggested that the HOA unconditionally supported the proposed project. Finally, the comment states that the HOA has specifically declines to provide a letter of support while the HOA was reviewing the 15183mo for the proposed project.

Mr. Fagrell is the President of Helios Property Solutions, LLC (Helios). Helios is the project manager for the proposed project.

This comment does not raise any issues with the content of the 15183. No changes were made to the 15183 as a result of this comment.

- D3. This comment states that the HOA is not opposed to the density of the proposed project. The comment further states that the HOA was seeking additional information concerning the proposed project, which information was not made available until circulation of the 15183.

This comment does not raise any issues with the content of the 15183. No changes were made to the 15183 as a result of this comment.

- D4. This comment states that the HOA's opposition to the proposed project is premised on specific impacts from the circulation within the parcels of the proposed project and those impacts on the Rancho Monserate Mobilehome Park (Mobilehome Park). The comment states that the proposed project would use a segment of Dulin Road through the Mobilehome Park as ingress and egress for equestrian

purposes and as primary access for Planning Area-3 (PA-3) of the proposed project, rather than only for emergency access.

Dulin Road is a public road that provides access to the Mobilehome Park and to the proposed project. PA-3 of the proposed project is a gated neighborhood of 14 estate homes.

This comment does not raise any issues with the content of the 15183. No changes were made to the 15183 as a result of this comment.

- D5. This comment states that the Mobilehome Park is located on a steep hillside, which necessitates the use of golf carts to access from mobilehomes to the common area amenities located on the low level of the Mobilehome Park. The comment states that most residents who reside on the hillside cannot walk due to age and health.

This comment does not raise any issues with the content of the 15183. No changes were made to the 15183 as a result of this comment.

- D6. This comment states that incomplete or missing information in the 15183 for the proposed project impair or prevent public participation in the development process. The comment states concern that the adequacy and completeness of the 15183 is essential in meeting the basic purposes of CEQA to inform governmental decision makers and the public about the potential, significant environmental effects of proposed activities and ways to avoid or significantly reduce environmental damage. The comment cites to the CEQA Guidelines and case law.

The County does not agree that the 15183 for the proposed project fails to meet CEQA's basic purposes of providing disclosure of the proposed project's potential, significant effects on the physical environment. This comment does not raise any specific issues with the content of the 15183. No changes were made to the 15183 as a result of this comment.

- D7. This comment cites to CEQA Guidelines §15183 and states that even when a project is consistent with development density established by comprehensive land use planning for which an EIR was previously certified, it is appropriate to examine project-specific significant effects which are peculiar to the property or its site. The comment states that the CEQA documentation for the proposed project, particularly the checklist and the related traffic study and fire protection plans, do not support the findings. The comment gives as an example a statement from the FEIR for the County General Plan Update from 2011, which statement acknowledges the appropriateness of project-level transportation corridor analysis. The comment concludes that it is reasonable to review and condition the proposed project based on its impact to circulation.

The County agrees that it is appropriate to analyze a proposed project's specific impacts on transportation corridors and intersections, even when the project's development density is consistent with the County General Plan Update. The 15183 for the proposed project includes a traffic impact study prepared by LSA and approved by the County.

The study prepared by LSA analyzes the proposed project's impacts on corridor segments and intersections within a study area that conforms to and meets the requirements of the San Diego Association of Governments (SANDAG) Series 12 traffic model, the County *Traffic Impact Study Guidelines*, the San Diego Traffic Engineers' Council/Institute of Transportation Engineers *Guidelines for Traffic Studies in the San Diego Region*, the SANDAG 2050 Regional Transportation Plan and Sustainable Communities Strategy, and applicable provisions of CEQA.

The project-specific traffic impact study concludes that the project will have a direct impact and would contribute to cumulative impacts. The proposed project has been conditioned to mitigate the direct impact before project impacts occur, and to contribute its fair share to mitigation of cumulative impacts to County intersections and road segments.

This comment does not raise any specific issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

- D8. This comment states that the 15183 for the proposed project do not adequately consider the impacts to the Mobilehome Park and existing Dulin Road. The comment states that the documents are fatally flawed because they fail to identify a significant impact to Dulin Road and the Mobilehome Park due to risks to pedestrians, and golf cart traffic

The County does not agree that the CEQA documentation for the proposed project is fatally flawed because it fails to identify a significant impact to pedestrian and golf cart traffic on Dulin Road within the Mobilehome Park. See the response to comment D4.

This comment does not raise any specific issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

- D9. This comment states that the cumulative impact analysis fails to include the Rio Prado Park in the list of cumulative projects subject to the analysis. The comment states that the sole access to the active recreational park is through the Mobilehome Park because potential access through the proposed project is gated with no through traffic.

In 2009, the County acquired 1 68-acre parcel of land immediately west of the Mobilehome Park and east of the proposed project. The County's website for the park states that access will be provided from Dulin Road, a public road. Design and environmental analysis were funded in July 2018. The County expects to complete park design and environmental analysis in spring 2020. To date, no environmental analysis, including a traffic impact study, has been completed for the Rio Prado Park and no funding has been allocated for the construction of the park. In addition, the project is already conditioned to pay into the County TIF program which mitigates for cumulative impacts to County roads (see response C3).

To develop the trip generation of the proposed park, the San Diego Association of Governments (SANDAG) (*Not So*) *Brief Guide of Vehicular Traffic Generation*

Rates for the San Diego Region was applied. Applying the SANDAG "Neighborhood/County Park" trip rate of 5 trips per acre, the proposed park would expect to generate approximately 340 daily trips. SANDAG does not specify rates for the a.m. and p.m. peak periods.

In addition, the trips rates from the Institute of Traffic Engineers (ITE) *Trip Generation Manual* was also evaluated. Applying the ITE "County Park" (Land Use 412) trip rate of 2.28 trips per acre during the weekday, the proposed park would generate 155 daily trips. Applying the ITE weekend trip rate of 12.24 trips per acre, the proposed park would generate approximately 826 daily trips. Applying the weekday a.m. and p.m. peak-hour of generator rates would result in approximately 36 a.m. peak-hour trips (25 inbound and 10 outbound) and approximately 40 p.m. peak-hour trips (14 inbound and 26 outbound). The weekday a.m. and p.m. peak hours of the generator are the single highest hours of traffic volume of the proposed use between 12:00 a.m. and 12:00 p.m. and between 12:00 p.m. and 12:00 a.m., respectively, which are unlikely to coincide with the a.m. and p.m. peak hours of a typical weekday (single highest hours of traffic volume of the adjacent roadway between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m., respectively).

Two conceptual design alternatives, dated October 2019, are currently being considered and would potentially include the following recreational amenities:

- Soccer Field (Alternative 1)
- Baseball Field (Alternative 1)
- Basketball Courts
- Tennis/Pickleball Courts
- Disc Golf Course (9 Holes)
- Dog Park
- Community Center Building
- Community Garden
- Playground

These active uses are not typical trip generators during the weekdays and would not likely contribute trips to the typical a.m. and p.m. peak periods on the weekdays. Instead, the majority of trips associated with these active uses would occur during the weekend. Due to the nature of the potential active park uses, the proposed Rio Prado Park project is not expected to adversely affect traffic during the weekdays (including the peak-hour periods) when the volumes along the adjacent roadways and intersections are highest. As such, it is unlikely that inclusion of the Rio Prado Park project as a cumulative project in the County-staff approved Traffic Impact Study for the Ocean Breeze Ranch project would change the analysis results and conclusions.

The proposed project would conserve 832.7 acres of the 1,402-acre site as biological open space. A biological open space easement would preserve existing habitat in perpetuity. The open space easement would include all areas of the project site east of the eastern gate of PA-3. The proposed project would not provide access to Rio Prado Park through the biological open space preserve.

In addition, a separate stand-alone environmental analysis will be completed for the Rio Prado park in the future.

This comment does not raise any specific issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

- D10. This comment states that Dulin Road and its segments are operating at Level “C” level of service (LOS), the Old Highway 395/Dulin Road is already at an unsatisfactory “E” LOS, and that with the proposed project the LOS drops to an “F”. The comment states that the proposed project’s cumulative impact is likely to be cumulatively considerable when Rio Prado Park is included in the analysis.

See response to comment D9. No changes were made to the CEQA documentation as a result of this comment.

- D11. This comment states that the proposed project’s cumulative impacts to the Old Highway 395/Dulin Road intersection, when Rio Prado Park is included in the analysis, “would commend the consideration of project alternatives that direct flow in a reasonable manner”.

See response to comment D9. No changes were made to the CEQA documentation as a result of this comment.

- D12. This comment urges that the traffic impact study be revised to include a cumulative analysis of impacts on Dulin Road from the Rio Prado Park in conjunction with the proposed project. The comment states that the proposed project’s “400 households” will be within a short distance of Rio Prado Park, but will have no access to the park except through the Mobilehome Park and the impacted Old Highway 395/Dulin Road intersection. The comment states the County’s own summary table of traffic generators assigns regional parks an average of 59.1 trips per developed acre, 3.6 trips per undeveloped acre, and 5.7 trips per parking space. The comment states that a 124-acre park would result in a range of 446- more than 7,000 weekday trips.

See response to comment D9. No changes were made to the CEQA documentation as a result of this comment.

- D13. This comment urges that the traffic impact study be revised to include analysis of access routes through the proposed project for both the proposed project and Rio Prado Park. The comment urges that access through the Mobilehome Park be used only for emergency.

See responses to comment D9. An analysis of access routes for Rio Prado Park is outside of the scope of environmental review for the proposed project. However, further coordination between the HOA, applicant and County have occurred for the

project resulting in the addition of conditions of approval. These conditions require a restriction in the covenants, conditions and restrictions for PA 3 and a covenant for the Equestrian Facility that will require daily access for horse trailers, deliveries of equipment, services or supplies associated with such large animal uses to use the west entrance accessing W. Lilac Road and prohibiting those same vehicle uses from using Dulin Road through Rancho Monserate.

With the addition of the conditions, no changes were made to the CEQA documentation as a result of this comment.

D14. This comment quotes case law regarding the importance of an adequate cumulative impact analysis. This comment does not raise any issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

D15. This comment states that CEQA requires that an EIR must consider alternatives to substantially lessen significant effects of a project. The comment quotes statute and case law in support of the statement. The comment opines that the consideration of project alternatives should apply in cases of streamlined environmental review per CEQA Guidelines §15183. The comment states that the CEQA documentation for the proposed project does not consider on-site project alternatives.

The County does not agree that environmental review per CEQA Guidelines §15183 must or should include a consideration of alternatives to the proposed project. CEQA Guidelines §15183 is a regulation adopted to implement CEQA Public Resources Code §21083.3. Public Resources Code §21083.3 limits review of projects that are consistent with the zoning or community plan for which an EIR was certified to effects upon the physical environment which were not addressed as significant in the prior EIR or which substantial new information shows will be more significant than described in the prior EIR. A consideration of alternatives would fall outside of the limitations of Public Resources Code §21083.3.

This comment does not raise any issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

D16. This comment states that an alternative to the proposed project would be one that would provide access to the proposed Rio Prado Park through the westerly boundaries of the proposed project. The comment also states that the absence of a discussion of project alternatives urges reconsideration, revision, and recirculation of the 15183 for the proposed project.

The County does not agree that an absence of a discussion of project alternatives in the case of streamlined environmental review per CEQA Guidelines §15183 is cause for reconsideration, revision, and recirculation of the 15183 for the proposed project. See the response to Comment D15.

This comment does not raise any issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

- D17. This comment states that an assumption in the traffic impact study for the proposed project is unsubstantiated, and contradicted by previous EIR's certified by the County, when the assumption states that it is not anticipated that the on-site equestrian center will generate external vehicular trips because the center is preserved for the private use of the center's owners. The comment states that the proposed project documents do not contain a restriction that the equestrian center be preserved for the owner's use.

The equestrian center is an existing, legal, non-conforming use. The applicant has applied to the County for a major use permit to bring the use into conformance with current, applicable law as a legal, conforming use. The major use permit will limit the equestrian center to the owner's use. The center will not be open to the public and will not be open for public events. Traffic counts for the proposed project include all trips associated with the existing equestrian center, including employee trips. An increase in the number of horses may or may not generate additional trips. If additional trips are generated, they are expected to be nominal. No changes were made to the CEQA documentation as a result of this comment.

- D18. The comment states that the 2013 EIR for the County's Equine Ordinance provides trip generation rates for horse stables based on a tiered use system. The comment states that the proposed project's equestrian center would be classified as a Tier 4 facility, with a trip generation rate slightly more than approximately 28 weekday daily trips and 44 weekend daily trips.

See the response to Comment D17. No changes were made to the CEQA documentation as a result of this comment.

- D19. This comment states that the traffic impact study for the proposed project is not clear because it does not discuss the "tie-ins" to circulation from the equestrian center. The comment states that the fire protection plan states that the secondary access for the equestrian center is through the Mobilehome Park. The comment states that the traffic impact study for the proposed project is fatally flawed because the study does not delineate the secondary access for the equestrian center through the Mobilehome Park and does not consider the traffic impacts of a Tier 4 facility. The comment states that claims that Dulin Road will be used only as an emergency access should be substantiated because final design decisions are deferred to City [sic] officials.

See the response to Comment D17. No changes were made to the CEQA documentation as a result of this comment.

- D20. This comment states that the traffic impact study should have considered the increase in staff trips necessary to support an increase in number of horses over from existing conditions.

See the response to Comment D17. No changes were made to the CEQA documentation as a result of this comment.

- D21. This comment states that that the traffic impact study fails to consider the potential impacts from an emergency evacuation of horses in 100-300 horse trailers in the event of a fire.

The County disagrees with this comment. A Fire Protection Plan for the Equestrian Center Major Use Permit was prepared by Michael J. Rogers of *FIREWISE* 2000 LLC. Mr. Rogers is a certified fire consultant and is on the list of consultants approved by the County to prepare fire protection plans. Mr. Roger's plan was approved by County staff and by the North County Fire Protection District. Chapter 5.0 of the plan provides an evacuation plan for the equestrian center.

This comment does not raise any specific issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

- D22. This comment states an understanding that the equestrian center plans to shelter horses in place in the event of a wildfire. The comment expresses skepticism of this plan given that over 390 new homes and equestrian center staff would be evacuating the proposed project site in the event of a wildfire. The comment states that during a wildfire, shelter-in-place would need to be abandoned and the equestrian center would have to promptly remove 400 horses. The comment states that consideration of these project-level emergency and evacuation concerns.

The comment responds to its own comment by acknowledging that the equestrian facility would shelter the horses on site and would not initiate a 100 to 300 horse trailer evacuation. The fire protection plan provides details regarding the equestrian facility fire protection features, maintenance, and emergency plans. These plans would result in fire being maintained at great distances from the horses by ignition resistant landscapes (pastures, bare ground, irrigated turf, etc). Ember storms from burning riparian zone fuels could blow onto the facility but would not find receptive fuel beds for ignitions. Horses can be sheltered from the ember storms, as necessary, in barns and other structures. Evacuation of horses would only occur if there was a) time available to safely move the horses off-site, b) considerable volunteer and Dept. of Animal Services resources, and c) the evacuation would not interfere with the area's resident evacuations. No changes were made to the CEQA documentation as a result of this comment.

- D23. This comment states that inconsistencies in the 15183 for the proposed project access to Dulin Road from the equestrian center is sometimes referred to as "emergency and evacuation" and sometimes as "secondary access", leading to confusion and uncertainty as to whether use of Dulin Road will be restricted to emergency use.

See the response to comment D4. No changes were made to the CEQA documentation as a result of this comment.

- D24. This comment states that the traffic impact study presumes that all traffic from PA3 will cross into Dulin Road, when the HOA has previously understood that Dulin Road would be used only in emergencies. The comment states that the traffic

impact study fails to consider the impacts to Dulin Road from horse trailer traffic both in everyday use and in the event of an emergency. The comment states that the actual inconsistencies and lack of clarity in the 15183 leave the reader without substantial evidence for concluding that the assumptions in the traffic impact study will be borne out in actual entitlements.

See the response to comment D4. No changes were made to the CEQA documentation as a result of this comment.

- D25. This comment states that the HOA participated in informational meetings about the proposed project but that the HOA did not receive special notice of the Fallbrook Planning Group Subcommittee meeting.

This comment is informational and does not raise any issues with the 15183. No changes were made to the CEQA documentation as a result of this comment.

- D26. This comment requests that flashing, lighted cross-walks be required on Dulin Road to accommodate wheelchairs and golf carts.

This request does not raise any issues with the 15183. No changes were made to the CEQA documentation as a result of this comment.

- D27. This comment states that a review of the 15183 indicated that they do not consider or address the substantial impact of a significant increase in traffic through the senior-restricted Mobilehome Park. The comment states that the omission undermines support for the findings in the Statement of Reasons for Exemption.

See the response to comment D4. No changes were made to the CEQA documentation as a result of this comment.

- D28. This comment requests that the traffic impact study be revised to consider an alternative access for the proposed project and Rio Prado Park. The comment also requests that emergency access alternatives be considered for the proposed project, including without limitation the equestrian center. The comment also asks that the 15183 be recirculated after the traffic impact study has been revised.

The County does not agree that the traffic impact study fails to consider access impacts or access alternatives required under CEQA. No changes were made to the CEQA documentation as a result of this comment.

Response to comments to the California Department of Transportation (CALTRANS), received November 4, 2019:

E1. This comment is introductory and does not raise any issues with the 15183. No changes were made to the CEQA documentation as a result of this comment.

E2. This comment notes the regional and state GHG reduction targets identified in SB 32, AB 32, SB 375 and Executive Orders S-03-05 and B-30-15.

This comment is informational and does not raise any issues with the 15183. The state legislation noted in the comment were acknowledged in the Greenhouse Gas Analysis. No changes were made to the CEQA documentation as a result of this comment.

E3. This comment encourages the project to evaluate strategies to reduce vehicle miles traveled (VMT).

The proposed project includes the following project design features that would reduce VMT: electric vehicle charging stations will be installed at each residential unit; bicycle parking rack will be installed at park areas on the project site; and information materials for rideshare programs will be provided to each new resident. In addition, the proposed project is a conservation subdivision which reduced the project development footprint to preserve substantial resources (cultural and biological).

The bill which requires the analysis of VMT, California Senate Bill 743, is not currently in effect. VMT analysis is not required until July 1, 2020. In addition, the County of San Diego has not yet adopted a threshold for impacts associated with VMT. As stated above, the proposed project has included design features to reduce VMT.

No changes were made to the CEQA documentation as a result of this comment.

E4. This comment states that CALTRANS requests the County condition the proposed project to reduce the number of vehicle trips associated with the development to a number that would not cause an impact on the State Highway System. The example of the Final Climate Action Plan Consistency Review Checklist TDM measures could be applied to residential projects to reduce the number of vehicle trips to a level that would not cause an impact on the State Highway System.

The County's Final Climate Action Plan Consistency Review Checklist (CAP Checklist) includes measures (Step 2, Checklist Items 1 and 2) for reducing VMT from commute related trips. The commenter notes that the VMT reducing measures identified in the CAP Checklist could be applied to residential projects. The purpose of the CAP Checklist is to provide streamlined CEQA review for proposed discretionary development projects by demonstrating project consistency with the County's CAP. The VMT reducing measures noted by the commenter only apply to non-residential projects. The proposed Ocean Breeze Ranch project is a residential project for which consistency with this measure is not required.

Though not required, the proposed project would include VMT reducing project design features consistent with those noted in Step 2, Checklist Items 1 and 2. These project design features include bicycle parking facilities, electric-vehicle charging stations, and promotion of rideshare services.

No changes were made to the CEQA documentation as a result of this comment.

- E5. This comment states that CALTRANS supports the County TIF program to mitigate for cumulative impacts but should include improvements to pedestrian, bicycle and transit infrastructure or that could be considered representative of the project's likely Transportation Demand Management mitigation measures.

The update of the TIF program to include pedestrian, bicycle and transit infrastructure is noted, however, is irrelevant to the proposed project. A separate process would be required to update the County TIF program.

No changes were made to the CEQA documentation as a result of this comment.

- E6. This comment states that any work performed within the CALTRANS Right-of-Way would require discretionary review and approval by CALTRANS.

It is acknowledged that any work that may be conducted in the State right of way will follow the appropriate Caltrans permit process and discretionary review.

No changes were made to the CEQA documentation as a result of this comment.

Response to comments to C.T. Davis, Vice-Chair of the Bonsall Community Sponsor Group, received November 4, 2019:

- F1. This comment indicates a general distaste in the 15183, including the length, and the language.

This comment does not raise any issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

- F2. This comment gives a general background on the 15183 CEQA document and the topics discussed.

This comment is informational and does not raise any issues with the 15183. No changes were made to the CEQA documentation as a result of this comment.

- F3. This comment suggests that a significant impact would occur from the proposed project.

The project's 15183 is tiering off of the previous GPU for which an EIR has been prepared. The 15183 found the following: no project specific effects which are peculiar to the site were identified; no project specific impacts were identified which

the GPU EIR failed to analyze as significant effects; no significant off-site and/or cumulative impacts were identified in which the GPU EIR failed to evaluate; and no substantial new information which resulted in more severe impacts than anticipated by the GPU EIR were identified.

No changes were made to the CEQA documentation as a result of this comment.

- F4. This comment suggests that the comments believes significant impact would occur from the addition of 3,990 average daily trips from the proposed project. This comment also suggests that the cumulative analysis in the County in general for projects has not been adequately analyzed.

Based on the impact criteria and significance thresholds of the County and Caltrans, as well as the analysis presented in the project Traffic Impact Study, the project would result in significant direct and cumulative project impacts. In order to mitigate impacts to County intersections or road segments, the project is required to implement physical improvements and pay into the County TIF Program.

No changes were made to the CEQA documentation as a result of this comment.

- F5. This comment states that traffic analysis has been performed, analyzing 20 intersections on roads surrounding the project site but found less than significant impacts on traffic.

The commenter is incorrect in stating that “an engineering study has been done...finding less than significant impacts on traffic.”

Based on the impact criteria and significance thresholds of the County and Caltrans, as well as the analysis presented in the project Traffic Impact Study, the project would result in significant direct and cumulative project impacts. In order to fully mitigate the impacts to County intersections and road segments, the project is required to implement a series of physical improvements and pay into the County TIF Program. No changes were made to the CEQA documentation as a result of this comment.

- F6. This comment states the CSG member’s distaste in clustering development. The comment also suggests the Open Space Easement would not be preserved in perpetuity and would be likely developed in the future by another developer.

The proposed project is a conservation subdivision which allows for relocation or a reduction in size of the project footprint in order to preserve sensitive resources pursuant to the County General Plan Policy LU-6.4. The Bonsall Community Plan Land Use Policy 5.2.2 also allows for the further reductions in minimum lot sizes indicated in Policy LU-5.2.1, through Planned Development when setbacks, building scale and design are appropriate to retain the equestrian and agricultural community character in the area. A MUP for an Equestrian Facility is proposed to formalize the existing facility. In addition, PA-3 has been designed to include a

“limited-use easement” for the allowance specifically for pastures and equestrian uses. The site has been historically used for agricultural purposes. However, the agricultural uses were lost in the 2017 Lilac Fire. The proposed project would be required to preserve 244 acres of off-site agricultural lands through either the County Purchase of Agricultural Conservation Easement (PACE) program or other off-site easement. If acquired through the County PACE program, the Bonsall area has approximately 19.1 acres of PACE mitigation credits available which would help contribute to the Bonsall Community Plan Policy LU-5.2.1.

No changes were made to the CEQA documentation as a result of this comment.

- F7. This comment raises concern of the Biological Resources section of the 15183 document in specific regards to the displacement of species and off-site alternate breeding grounds.

Numerous coordination meetings were held with the project applicant, County staff, and the USFWS and CDFW during the project design process in order to get early feedback on biological resources and project design to minimize impacts to biological resources, including to listed animal species and other rare animal species. Preservation of 833 acres of biological open space on site includes large blocks of habitat for many species and connects to off-site conserved lands that also support suitable habitat and breeding areas. While some project impacts would occur within native habitats, these impacts are minimized, and the majority of proposed development is planned within previously disturbed lands. Your comment regarding displacement is understood, however, it is generally not possible to avoid some level of displacement of wildlife species at the individual level when impacting habitat. For the proposed project, the amount and types of habitat conserved on site would continue to provide breeding and live-in habitat, as well as dispersal functions, for both common and rare species.

No changes were made to the CEQA documentation as a result of this comment.

- F8. This comment indicates the CSG member’s distaste in the planning process and his lack of involvement.

The proposed project has been presented and discussed with the CSG over a series of meetings beginning from 2016 to current: 4/5/16, 10/4/16, 7/10/18, 7/16/18, 10/1/18, 5/7/19, 7/2/19, 9/10/19, 10/1/19, and 11/5/19. The Bonsall CSG has been involved throughout the planning process for the proposed project. Changes requested from the Bonsall CSG has been incorporated within the proposed project, such as alterations to the design of the homes.

This comment does not raise any issues with the content of the 15183. No changes were made to the CEQA documentation as a result of this comment.

Response to comments to Jeff Faulk, member of the Bonsall Community Sponsor Group, received November 4, 2019:

- G1. This comment is general and does not raise an issue under CEQA. No changes were made to the CEQA documentation as a result of this comment.
- G2. This comment states a general distaste of the methodology used for the CEQA documentation.

No issues were raised under CEQA by this comment. No changes were made to the CEQA documentation as a result of this comment.

Response to comment to Margarete Morgan Schoendienst, Chair of the Bonsall Community Sponsor Group, received November 4, 2019:

- H1. This comment is introductory and does not raise any issues with the 15183. No changes were made to the CEQA documentation as a result of this comment.
- H2. This comment is informational and does not raise any issues with the 15183. No changes were made to the CEQA document as a result of this comment.
- H3. This comment states the Bonsall Community Planning area has received more than its fair share of residential projects in reference to the California housing shortage.

The comment is in regards to the Bonsall Community Planning area in general which does not pertain to the proposed project. The proposed project is consistent with the density established by the General Plan and analyzed by the General Plan EIR. The project site allows for the development of 402 residential lots. The proposed project is for the development of 396 residential lots. Therefore, the proposed project is consistent with the density established by the General Plan and the County Zoning Ordinance.

No issues were raised under CEQA by this comment. No changes were made to the CEQA documentation as a result of this comment.

- H4. This comment states that the Bonsall area road network was never designed to accept the traffic that comes with medium to large residential projects. West Lilac was stated to be a 2.2C Light Collector road without a shoulder on the majority of the road length. In addition, it was stated the impacts from traffic of the project would exceed "the air quality impacts and the Counties Green House Gas Emissions Policy".

The Mobility Element of the General Plan was developed in tandem with the Land use Element of the General Plan. The Mobily Element gives classifications to

roadways based on the anticipated capacity needed for buildout of the General Plan. The anticipated capacity was based on the density established by the Land Use Element of the General Plan. The proposed project is consistent with the density established under the General Plan and analyzed by the GPU EIR. The GPU EIR identified traffic impacts and LOS Standards to the unincorporated County of San Diego as significant and unmitigable. However, the approved Traffic and circulation Assessment of the GPU does not indicate West Lilac as a Deficient Facility (LOS E/F). The proposed project traffic impacts have been anticipated with the GPU EIR.

The Mobility Element identifies West Lilac Road as a 2.2E Light Collector Road. A project specific Traffic Impact Study has been prepared for the project. It was concluded that the West Lilac Road segment would have sufficient capacity to accommodate the proposed project. In addition, the proposed project would mitigate the impact to the intersection of West Lilac and Old Hwy 395 with the project condition of a traffic signal. As design features, the proposed project would also widen the shoulder to West Lilac along project frontage with decomposed granite and design a right-hand turn lane at West Lilac and Camino Del Rey.

It is not clear which threshold the commenter is referring to for Air Quality or GHG. However, an Air Quality Analysis and a Global Climate Change analysis has also been prepared for the proposed project. No impacts have been identified that would not be fully mitigable.

No changes were made to the CEQA documentation as a result of this comment.

- H5. This comment states that traffic sits in idle for one hour or longer in the morning and afternoon due to traffic from the schools. It is also stated that due to West Lilac, Camino Del Rey, and Olive Hill designation of scenic roads, the commenter hopes that no major improvements would occur.

The commenter generally suggests an impact near the schools, which is an existing condition. The existing conditions were analyzed in the prepared Traffic Impact Analysis and found the roadway segment of West Lilac and the intersection of Camino Del Rey and Old River Road near the schools (Sullivan Middle School or Bonsall Elementary), to be working at acceptable conditions. In addition, the Traffic Impact Study did not identify a direct impact on the roadway segments along West Lilac Road or at the intersection of Camino Del Rey and Old River Road near the schools due to the contribution from the proposed project.

A Visual Impact Analysis was prepared for the proposed project analyzing impacts to scenic roadways, including the County Scenic Highway System, Table COS-1 of the General Plan. The improvements of West Lilac (see response H4) would not result in a significant impact to the scenic roadways. In addition, an impact to scenic resources or County scenic roadways, is generally analyzed as the projects ability to detract from the quality of the scenic resource and the surroundings.

Improvements of roadways are not generally identified as an impact to a scenic roadway. The proposed project would not detract from the quality of a scenic vista, or views from a scenic roadway, due to the limited visibility of the site from intervening vegetation and topography.

No changes were made to the CEQA documentation as a result of this comment.

- H6. This comment suggests the semi-rural County of San Diego should require a different set of road standards than more urban areas. In addition, reference is given to the General Plan Goals M-3 and M-4. This comment also states that lighting is proposed “at every turn in the road”, suggesting the lighting is inconsistent with the Dark Skies Ordinance.

This comment is general to projects proposed within the County and does not address the proposed project specifically. However, the proposed project is consistent with the County’s General Plan Mobility Element but has also requested a design consideration be approved along West Lilac Road in accordance with the CSG request of no curb and gutter. In place, a decomposed granite shoulder would be required as a condition of approval for the proposed project.

The proposed project is consistent with the Dark Skies Ordinance. In addition, lighting on site has been reduced to the minimum extent possible to still meet the County of San Diego Building Code standards for safety purposes.

No issues were raised under CEQA by this comment. No changes were made to the CEQA documentation as a result of this comment.

- H7. This comment states the commenter does not agree with the findings that the proposed development is consistent with the County of San Diego Bonsall Design Review Checklist.

The Bonsall Design Review Checklist is the process used for projects requesting an exemption from the discretionary Site Plan process to easily check mark that all design elements have been met. The proposed project has not requested an exemption, but has met with the CSG numerous times, as indicated in response F8 above. For instance, the last revision to the plan elevations of November 5, 2019, included a redesign to the Farmhouse and Ranch house to address roof surface area facing the street (elevation sheets A-10 and A-17) in response to the CSG request. The proposed project has incorporated design elements of rural style consistent with the Bonsall Community Plan and the Bonsall Design Guidelines: use of earth tones (creams, browns, tans, and taupes), cement plaster, pitched roofs, roof overhangs, porches/recessed front doors, window treatments (e.g., decorative shutters, recessed windows), exterior wood cladding materials and textures, and landscaping with trees and tree canopies.

No issues were raised under CEQA by this comment. No changes were made to the CEQA documentation as a result of this comment.

- H8. This comment is in regards to the GPU EIR language. More specifically, the commenter states that a specific goal from the General Plan should include "infrastructure" because "that is a major issue in semi-rural communities". The commenter does not reference the specific goal, but states "the sentence that states the GPU establishes a blueprint that meets the community desires and balances the environmental goals with the need for housing, agriculture, infrastructure, and economic vitality".

The commenter is requested a more comprehensive review of the General Plan goals which is not specific to the proposed project. For a change to occur to the General Plan Goal, a General Plan Amendment would be required. The proposed project is consistent with the General Plan.

No issues were raised under CEQA by this comment. No changes were made to the CEQA documentation as a result of this comment.

- H9. This comment states that the 15183 Exemption Checklist does not include an analysis of the GPU Goals and Policies regarding agricultural preservation. This comment also states the development of the proposed project would result in significant and unavoidable impacts based on the FMMP designated farmland. General Plan Goals and Policies related to agriculture were provided for background.

An analysis for project conformance to the General Plan Goals and Policies related to agriculture has been provided in the Agricultural Resources Report, section 4.0. The project does not conflict with the General Plan Goals or Policies in relation to agriculture.

The impact acreages to Important Farmland categories cited in this comment are incorrectly attributed to proposed development within the project site. The listed acreages are associated with the area generally including a quarter-mile radius around the project site, or otherwise known as the Zone of Influence identified in the Agricultural Resources Report. The Zone of influence includes approximately 3,461 acres surrounding the project site. Direct project-related impacts to the noted off-site important Farmland designations would be limited to approximately 0.3 acre associated with off-site roadway improvements. The proposed project would result in direct impacts to agricultural resources on-site pursuant to the County Guidelines for Determining Significance, Agricultural Resources (Agricultural Guidelines). The proposed project would be required to preserve 244 acres of off-site agricultural lands through either the County PACE program or other off-site easement. All impacts to noted on and off-site agricultural resources have been adequately mitigated pursuant to the Agricultural Guidelines.

In addition, on-site preservation of agricultural resources was analyzed. However, it was determined that the use of on-site agricultural resource preservation to mitigate all or part of the identified proposed project impacts was considered infeasible based on the lot sizes of PA-1 and PA-2, the limited-use easements in PA-3 which preclude agricultural use, and interface conflicts with adjacent residential and biological open space uses.

The identified mitigation within the proposed project 15183 15183 is consistent with the General Plan Update and related GPU EIR. Therefore, no changes were made to the CEQA documentation as a result of this comment.

- H10. This comment states that rural and semi-rural residential land of 1 acre or larger, when compared to other residential land use designations, would be generally compatible with agricultural resources according to the County General Plan. The commenter attributes the smaller development footprint to the loss of viable agricultural land on the proposed project site.

Per response H9, on-site preservation of agricultural resources was analyzed and considered infeasible. In addition, previous renditions of the project design included larger lots which could accommodate for on-site agricultural resources. However, it was determined that due to land use conflicts between the potential on-site agricultural easements and the biological open space easements on-site preservation of agricultural resources was determined infeasible. The building footprint was reduced to allow for the preservation of biological resources and cultural resources to the maximum extent possible while still developing 396 lots, just under the density established by the General Plan for the proposed project site.

No changes were made to the CEQA documentation as a result of this comment.

- H11. This comment is informational and provides background to the two kinds of environmental resources within the Bonsall Community Plan.

No changes were made to the CEQA documentation as a result of this comment.

- H12. This comment is conclusionary in nature. No changes were made to the CEQA documentation as a result of this comment.

The following comments were received after the end of the public disclosure period of November 4th, 2019, 4:00 p.m.:

Response to comments to the California Department of Fish and Wildlife, received November 4, 2019:

- I1. This comment is introductory in nature and does not raise an issue under CEQA. No changes were made to the CEQA documentation as a result of this comment.
- I2. This comment acknowledges the extensive coordination efforts between the County of San Diego, the project applicant, and with CDFW. This comment also states only a few concerns remain.

This comment is general and does not raise an issue under CEQA. No changes were made to the CEQA documentation as a result of this comment.

- I3. This comment asks for further clarification on the CEQA section 15183 with the applicability of the proposed project. This comment also asks the question of how the equestrian facility is consistent with the General Plan Update EIR.

CEQA section 15183 allows for a streamlined review process of a project if the project is consistent with the density established by the general plan for which an EIR was certified. A project shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.

The Equestrian Facility has existed on the project site since the 1980s which predates the adoption of the County General Plan Update EIR of 2011. In addition, aerial imagery shows agricultural uses dating back to the 1950s. According to the CEQA Guidelines 15125 (a), the CEQA baseline is generally the conditions as they exist when the notice of preparation is published. Unauthorized uses are allowed to be part of the baseline if they are long-term and continuous, and the existing equestrian facility satisfies that criteria.

The preparation of a CEQA document is not a forum for determining the nature and consequences of the prior conduct of a project applicant (*Fat v. County of Sacramento* (2002), 97 Cal.App.4th 1270; and *Riverwatch v. County of San Diego* (1999) 76 Cal.App. 4th 1428). Lead agencies must evaluate impacts against actual conditions existing at the time of CEQA review and are not required to “turn back the clock” and evaluate impacts compared to a baseline condition that predates the illegal activity. Therefore, the Equestrian Facility has been adequately included within the project baseline condition.

The proposed project requires the application and approval of an MUP for the Equestrian Facility. New structures are proposed which include horse shade structures, a horse aquatic therapy pool, equipment shop, arena fencing and pens,

and the relocation of two manufacture homes for employees. In addition, minor improvements are proposed to bring the facility up to code (i.e. County of San Diego Consolidated Fire Code and the County of San Diego Building Code). The proposed structures would be located within the existing footprint of the Equestrian Facility. Specifically, all structures except for the horse shade structures, would be located on previously disturbed areas. The horse shade structures would be allowed to be placed within existing maintained pastures. No structures that would have the potential to preclude wildlife movement within the pastures, would be allowed. After several meetings with CDFW, it has been determined that a "limited use easement" would be placed over all pastures areas in order to protect wildlife movement, specifically for the Arroyo Toad. The "limited use easement" is a condition of approval for the project.

The underlying land use designations of the Equestrian Facility are Limited Agriculture (A-70) and Open Space (S-80) with General Plan Designations of Rural Lands (RL-20, RL-40). Of the 203.61-acre site proposed for the Equestrian Facility MUP, approximately 10 acres within the North Western portion of the site is zoned S-80. No structures or improvements are proposed in this portion of the site. The remaining approximate 193 acres are within the A-70 use regulations. The A-70 use regulations allows for a variety of use types by right which include various horticulture (cultivation, storage, tree crops, row & field crops), limited agricultural packaging and processing, essential services (cellular telephone repeater, gas distribution lines, etc.), and single-family residences. Other use types are allowed under the A-70 but are subject to further conditioning or limitations include Fire Protection Services, Law Enforcement Services, Minor Impact Utilities, Small Schools, Veterinary Hospitals, Small Recycling Collection Facility, Wood and Green Material Recycling Processing Facility, animal raising projects, farm labor camp, and a Small Winery. None of the aforementioned use types would require a Major Use Permit within an A-70 zone.

It has been determined that the addition of the accessory structures to the existing Equestrian Facility, would result in less impacts than other land use types that do not require an MUP and are allowed within the A-70 Zone. In addition, the project as a whole is preserving 833.85 acres of Open Space, which is approximately 59 percent of the project site. In addition, the limited use easement would protect the wildlife movement within the equestrian facility to other locations of the site within the biological open space easement.

14. This comment asks for additional clarification on the excess mitigation preserved by the project. Specifically, the commenter asks for clarification on the avoidance of steep slopes and impacts of the existing equestrian facility. In addition, CDFW states the remaining open space would be required to be sold to one entity and not multiple outside buyers.

A Resource Protection Study Focused Steep Slopes Analysis (analysis) has been prepared for the project. The project is consistent with the Resource Protection

Ordinance (RPO). The analysis evaluated the project with consistency to section 86.604(e)(2), with focus on subparts (aa), (bb)(i) through (bb)(iii), and (cc).

The project would impact RPO Steep Slopes. However, pursuant to section 86.604(e)(2)(bb) and (cc), additional encroachments beyond what has been identified within section (aa) would be allowed if specific findings are met. Specifically, section (bb) allows encroachment into steep slopes by roads and utility systems. Section (cc) is applicable to both Planned Residential Subdivisions and Conservation Subdivisions where design considerations include encroachments into steep slopes to avoid impacts to significant environmental resources (i.e. cultural resources, biological resources, etc.) Please see the analysis for the details of the aforementioned sections and the findings.

The equestrian facility has historically existed since the 1980s. The proposed Equestrian MUP project footprint and improvements are within the existing limits of the facility. In addition, pursuant to CEQA section 15125, the project baseline for the analysis within an 15183 is described as the physical environmental conditions as they exist at the time the notice of preparation is published. In other words, the baseline should reflect what is actually happening at the project site. The 15183 adequately disclosed the baseline conditions.

The remaining on-site open space would not be sold to multiple outside buyers. The proposed project would either sell the 308.9 acres of land, which is not necessary to mitigate project specific impacts, to one entity which would require approval through the County of San Diego, USFWS and CDFW, or would proceed to establish a formal mitigation bank which would follow the established CDFW mitigation banking process.

No changes were made to the CEQA documentation as a result of these comments.

15. This comment gives background to the take of a federally listed species and the applicability of the Habitat Loss Permit (HLP).

This comment is for informational purposes. The project applicant and the County of San Diego are aware that the Planning Agreement for the North County MSCP will expire January 31, 2020. Prior to ground disturbance of the site, the County will evaluate the applicability of the HLP Ordinance and coordinate with USFWS and CDFW. No changes were made to the CEQA documentation as a result of this comment.

Response to comments to Alexander Maniscalco, Loftin Bedell P.C. on behalf of the Rancho Monserate Country Club Homeowners Association Inc., “Introduction to Comments”, November 4, 2019:

- J1. This comment states the purpose for the introduction to comments is to inform the County that Rancho Monserate is participating in communications with the applicant of the project.

This comment is informational and does not raise any issues with the 15183. No changes were made to the 15183 as a result of this comment.

Response to comments to Alexander Maniscalco, Loftin Bedell P.C. on behalf of the Rancho Monserate Country Club Homeowners Association Inc., Subsequent Letter, November 20, 2019

- K1. This comment states further coordination has occurred to “negotiate supplemental conditions” between the Loftin Bedell P.C. firm and the applicant of the project. Due to this coordination, the letter states that the HOA is in support of the 15183 and the underlying project as modified by the supplemental conditions.

The referenced supplemental conditions have been incorporated into the project. Please see response D13 for a summary of the conditions. No changes were made to the 15183 as a result of this comment.

- K2. This comment restates a comment from the original letter, dated November 4, 2019 (original letter), that the HOA is not opposed to the project’s density but with the configuration of circulation within the parcels. The comment also restates the 4 primary concerns stated within the original letter.

This comment gives background to previous comments. No changes were made to the 15183 as a result of this comment.

- K3. This comment is for informational purposes, indicating that the applicant has resolved the HOA concerns in regards to vehicular traffic from the equestrian center and from Planning Area 3 as well as fire protection plan evacuation. The commenter also states that the previous comments concerning Rio Prado Park would arguably exceed the County’s authority. No changes were made to the 15183 as a result of this comment.

- K4. This comment is in regards to the inclusion of Rio Prado Park within the Traffic Impact Study cumulative analysis. The letter states that the omission of a particular project from a cumulative analysis would not render environmental review inadequate and all that is required is a reasonable, good faith effort at full disclosure. Loftin Bedell P.C. and the HOA acknowledge that the Rio Prado Park’s “ultimate utilization is still in flux”. It is further stated that the County cannot impose a circulation condition for Rio Prado Park onto the project which renders the

omission of the Rio Prado park from the cumulative impact analysis a “distinction without a difference”.

The comment is acknowledged. No changes were made to the 15183 as a result of this comment.

- K5. This comment states the HOA appreciates the timely and responsive communication from the project in response to its concerns. The commenter also states that via the supplemental conditions and factual clarification addressed in the letter, the HOA believes the concerns of the original letter are addressed.

This comment is conclusionary in nature. No changes were made to the 15183 as a result of this comment.

ENDANGERED HABITATS LEAGUE

DEDICATED TO ECOSYSTEM PROTECTION AND SUSTAINABLE LAND USE



September 26, 2019

VIA ELECTRONIC MAIL

Bronwyn Brown
Dept of Planning and Development Services
5510 Overland Ave, Third Floor
San Diego CA 92123

RE: OCEAN BREEZE RANCH – *Support with qualification*

Dear Ms. Brown

Endangered Habitats League (EHL) appreciates the opportunity to comment on the Section 15183 documentation under CEQA for this project. For your reference, EHL is a longstanding participant in County planning initiatives and serves on the North County MSCP Advisory Committee. Our comments are limited to biological resources and North County MSCP consistency.

Located within draft PAMA, and with multiple land use designations, site design presented a major challenge to accommodate both General Plan density and properly configured biological open space. We are gratified to find that, through creative planning, the site design represents an exemplary response, creating large blocks of contiguous habitat and meeting all NC MSCP and project objectives. We commend the applicant, the wildlife agencies, and the County for this successful and difficult collaboration. For this reason, we support the project (which does not require a General Plan amendment and in part contains Village classification).

A-1

Our qualification involves proposed sale of biological open space as mitigation for other projects:

As discussed in Section 2.0, subject to approval by the County and the applicable state and federal Resource Agencies, up to 308.9 acres of the proposed 832.7 acres of on-site biological open space may be sold as preservation lands to another entity to mitigate for the impacts of their projects, which would be unrelated to the proposed Ocean Breeze Ranch project, or incorporated into a mitigation bank through the formal mitigation bank approval process with the USFWS and CDFW. Any sale of lands to another entity would require County and Wildlife Agency approval. (Biological Resources Technical Report, p. 85)

A-2

On-site avoidance and preservation in order to meet NC MSCP objectives is the cornerstone of successful preserve assembly. Developers needing of-site mitigation

should purchase credits from mitigation banks established by landowners who have *not* recouped value through development. Sale of on-site, avoided open space, as here proposed, could financially undercut traditional banks and produce serious inefficiencies in preserve assembly.

However, recognizing that *extraordinary* avoidance should be incentivized, the draft NC MSCP contains this provision, which EHL supports:

Discretionary Projects and Ordinance Required Conservation. Discretionary projects within the Pre-Approved Mitigation Areas are required to 1) set aside under easement the land needed to make preserve design and planning unit goal findings and 2) to mitigate for their impacts on site, or otherwise within the Pre-Approved Mitigation Areas, according to the requirements set forth in the Biological Mitigation Ordinance. However, if the total amount of open space conserved on a project site meets or exceeds 75% of the site area, and all project mitigation requirements are otherwise satisfied, the amount of protected open space that exceeds 75% will be recognized as mitigation credit. Once recognized by the County, the mitigation credits may be used as mitigation for other projects in conformance with the mitigation requirements set forth in the Biological Mitigation Ordinance. The project applicant may choose any portion of the conserved acreage to use for mitigation credit as long as it is equal to the amount of conservation that exceeds the 75% threshold and provided that the area was not required as mitigation for species specific or other project specific mitigation requirements. For example, the owner of a 100 acre project site who conserves 85 acres in biological open space and has otherwise satisfied all other mitigation requirements would be eligible to receive mitigation credits of 10 acres. Credits will be tracked as part the Plan's annual reporting requirement (Section 8.3.1). Areas identified for mitigation credits must have no fuel management, trails, utilities, or other impacts.

A-3

With this approach, however, there would be no credits available for sale from this project, as the biological open space does not exceed 75% of the site. On this basis, we urge removal of the language pertaining to future mitigation land sales. But, noting that the sale of the proposed credits is contingent upon subsequent County and wildlife agency approval, and noting that the NC MSCP is not formally in effect, we do *not* view this contingent possibility as a reason this very well-designed project should not move forward.

Thank you for considering our views.

Yours truly,

Dan Silver
Executive Director



San Diego County Archaeological Society, Inc.

Environmental Review Committee

8 October 2019

To: Ms. Bronwyn Brown
Department of Planning and Development Services
County of San Diego
5510 Overland Avenue, Suite 310
San Diego, California 92123

Subject: Notice of Intent to Adopt Findings
Ocean Breeze Ranch
PDS2016-TM-5615, PDS2016-MUP-16-012, PDS2016-MUP-13.
PDS2015-ER-08-001

Dear Ms. Brown:

I have reviewed the subject Notice on behalf of this committee of the San Diego County Archaeological Society.

Based on the information contained in the documents posted on the County's website, particularly the cultural resources report prepared by Brian F. Smith & Associates, we have the following comments:

- 1. Given the size of this project, the mitigation measure for archaeological and Native American monitoring activities should clearly state that an adequate number of monitors shall be provided to enable monitoring of ground-disturbing work and cap placement at all locations where such work is to take place.
- 2. The site-capping procedure for SDI-776A should clarify that "clean fill soil" includes culturally sterile and chemically compatible with the existing soil being capped.
- 3. The program defined to protect the pictograph at SDI-8237 is good. We would just add that photography and monitoring of the pictograph should also utilize the program/app Dstretch, which can bring out details poorly (if at all) visible to the naked eye. It is widely and commonly utilized in study of rock art sites. If the project archaeologist is not familiar with its use, an experienced consultant (perhaps Mr. Hedges) should be called in.
- 4. Consideration should be given to requiring that the historic Canfield-Lighton Ranch Complex be nominated for inclusion on the County's Local Register of Historical Resources. This would involve the County's Historic Site Board (HSB), which meets the California Office of Historic Preservation's requirements for a Certified Local Government, in

B1

B2

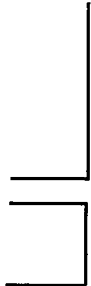
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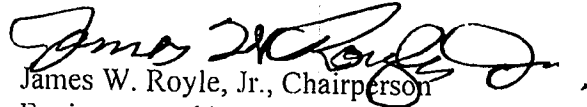
reviewing restoration and maintenance, including compliance with the Secretary of the Interior's Standards. [As a disclosure, I currently serve as Chairperson of the HSB.]

Other than the above, we agree with the impact analysis and mitigation measures as proposed, and we thank the County for including SDCAS in the public review of this project's environmental documents.



B6

Sincerely,


James W. Royle, Jr., Chairperson
Environmental Review Committee

cc: Brian F. Smith & Associates
SDCAS President
File

October 21, 2019
County of San Diego
Planning & Development
5510 Overland Avenue, Suite 310
San Diego, CA 92123

Dear Director Mark Wardlaw

RE: Ocean Breeze Ranch Development, PDS2016-TM5615,PDS2016-MUP-16-012,PDS2016-MUP013, PDS2015-ER-O8-001

I would like enter my objection to the plan to build 396 homes on 1402.52 acres of the Ocean Breeze Ranch. Even though the notice states it is not necessary to have a public hearing on this development because it was adopted in accordance with the California Environmental Quality Act Section 15183, it seems we are being deprived of our right to learn more and voice our opinion.

C-1
C-2

Some of my objections concern traffic. It seems to be in poor judgment to build more homes in far North County when Interstate 15 is already overcrowded and this development would only further impact it because there is no way to move North or South but by car. Traffic is also overwhelming narrow and windy Lilac Road which has three schools within three miles. In the morning and afternoon a mile or more of cars are parked on Lilac to drop off and/or pick up students. There is no room on the campus of Norman Sullivan and Bonsall High Schools for the cars, so they just park in the roadway so it is completely blocked for an hour or so. God forbid we have a fire at those times. Which leads to another concern: evacuation in time of fires. I lost everything I owned in my 84 years during the Lilac Fire. We evacuated with just seconds, our place was burning as was it on both sides of our long westerly driveway. We went about a mile when we reached the back up with two more miles to go, and that was before 93 homes were built surrounding the elementary school. The plan calls for the exists for the development to be onto Lilac Road which would be more than the road can handle in normal times but in time of fire we'd all be incinerated in our cars as in Paradise for this has been declared a fire prone area.

C-3
C-4

Another concern is Rainbow Water which doesn't seem to be able to handle the business it presently has. They have held up the permit for my fire hydrant for eleven months. The fire department says I must put it in to service my place and my neighbor's place, of course I must pay for it not the neighbor because she didn't loose everything, just an apartment.

C-5

By way of information, for fifty plus years I have lived on my 10 acres three miles up Lilac Road from Bonsall Elementary School, where I taught when it was K-8, and both my children attended there, so we have a long attachment to Bonsall. I hope you will consider my concerns seriously.



C-6

Respectfully

Nova Wiestling

LOFTIN | BEDELL P.C.

Jenna Roady

Project Environmental Coordinator

County of San Diego PDS

November 4, 2019

Overview

LOFTIN | BEDELL P.C.
Jenna Roady
Project Environmental Coordinator
County of San Diego PDS
November 4, 2019

Attachment 1

Rancho Monserate Comments to Ocean Breeze EIR:
County Equine Ordinance 2013 EIR

2.8 Transportation and Traffic

This section assesses general transportation and traffic conditions in the County of San Diego (County) and identifies potential transportation and traffic impacts that could occur as a result of implementation of the proposed Zoning Ordinance Amendment project (proposed project). The information used in this analysis is derived from the Traffic Impact Analysis prepared by Linscott, Law & Greenspan Engineers (LLG), which is included in Appendix F of this environmental impact report (EIR).

2.8.1 Existing Conditions

The proposed project would apply to properties located in the unincorporated portions of the County over which the County has land use jurisdiction. More specifically, the proposed project would apply to properties that are zoned with an Animal Designator, D–J, L–N, U, V, or X, for a total of 344,665 acres, as depicted in Figure 1-2.

Existing Roadway Network

The County Department of Public Works Road Section is responsible for maintaining nearly 2,000 miles of County Mobility Element roadways and other transportation facilities within the unincorporated County. Non-County-maintained roadways include private roads (maintained by adjacent property owners), public roads (maintained by respective municipalities), and state highways (maintained by the California Department of Transportation (Caltrans)). The County's existing General Plan Mobility Element (County of San Diego 2011a) provides definitions for the roadway classification of County-maintained roads and identifies existing major roadways. Roadways include freeways (also known as state highways), expressways, prime arterials, major roads, collector roads, town collector roads, light collector roads, recreational parkways, rural collector roads, rural light collector roads, and rural mountain roads.

As part of the General Plan Update, the County determined the amount of existing roadway lane miles throughout the County that are operating below County standards (Level of Service (LOS) D) and aggregated this data by community planning area, as shown in Table 2.8-1.

The traffic analysis examines several specific Mobility Element roadways in the following primary planning areas:

1. Alpine Community Planning Area
2. Bonsall Community Planning Area
3. Fallbrook Community Planning Area
4. Jamul Community Planning Area

5. Julian Community Planning Area
6. Lakeside Community Planning Area
7. North County Metro Community Planning Area (e.g., Escondido)
8. Pala–Pauma Community Planning Area
9. Ramona Community Planning Area
10. San Dieguito Community Planning Area
11. Spring Valley Community Planning Area
12. Sweetwater Community Planning Area
13. Valle De Oro Community Planning Area
14. Valley Center Community Planning Area.

Within each community planning area (CPA), key Mobility Element roadways were selected that would be affected by the proposed project in that planning area. Roadway segments were selected for analysis based on several factors, including streets leading to equine facilities and streets with accessibility to arterials and freeways. The following is a description of the key roadway segments located in each community planning area.

1. Alpine

Alpine Boulevard is classified as a Collector Road on the current County of San Diego Mobility Element and is proposed to be classified as a Light Collector (2.2A) as part of the General Plan Update. Alpine Boulevard is currently constructed as a two-lane undivided facility. Bike lanes are provided along both sides of the road, and curbside parking is generally prohibited. The posted speed limit on Alpine Boulevard is 35 miles per hour (mph).

Tavern Road is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. Tavern Road is currently constructed as a two-lane undivided facility with a two-way left turn median. No bike lanes are provided, and curbside parking is prohibited along both sides of the roadway. The posted speed limit on Tavern Road is 35 mph.

2. Bonsall

S. Mission Road is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Major Road (4.1B) as part of the General Plan Update. S. Mission Road is constructed as a two-lane undivided facility. No bike lanes are

SR-79 is classified as a State Highway on the current County of San Diego Mobility Element and is proposed to be classified as a Light Collector (2.2D) as part of the General Plan Update. SR-79 is currently constructed as a winding two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along SR-79 is posted at 55 mph.

6. Lakeside

SR-67 is classified as a State Highway on the current County of San Diego Mobility Element and is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. SR-67 is currently constructed as a winding two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along SR-67 is posted at 55 mph.

Lake Jennings Park Road is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Major Road (4.1B) as part of the General Plan Update. Lake Jennings Park Road is currently constructed as a two-lane undivided facility. Bike lanes are provided along both sides of the road and curbside parking is prohibited. The speed limit along Lake Jennings Park Road is posted at 40 mph.

7. North County Metro (e.g., Escondido)

SR-78 is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. SR-78 is currently constructed as a three-lane (two northbound, one southbound) undivided facility. Bike lanes are provided along both sides of the road, and curbside parking is prohibited. The speed limit along SR-78 is posted at 55 mph.

Valley Center Road is classified as a Prime Arterial on the current County of San Diego Mobility Element and is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. Valley Center Road is currently constructed as a winding four-lane divided facility. Bike lanes are provided along both sides of the road, and curbside parking is prohibited. The speed limit along Valley Center Road is posted at 55 mph.

Bear Valley Parkway is classified as a Major Road on the current County of San Diego Mobility Element, and is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. Bear Valley Parkway is currently constructed as a two-lane undivided facility. Bike lanes are provided along both sides of the road, and curbside parking is prohibited. The speed limit along Bear Valley Parkway is posted at 50 mph.

provided, and curbside parking is prohibited along both sides of the roadway. Generally, the posted speed limit on S. Mission Road is 50 mph.

State Route (SR) 76 has the following classifications on the current County's Mobility Element:

- Expressway from S. Mission Road to south of East Vista Way
- Prime Arterial from Interstate 15 (I-15) to S. Mission Road
- Major Road east of I-15.

Within the Bonsall and Fallbrook CPAs, SR-76 is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. Currently, SR-76 is a two-lane roadway in the study area with one lane of travel in each direction between East Vista Way and Old Highway 395 and east of I-15. It is a four-lane roadway between Old Highway 395 and I-15. Additionally, four-lanes are provided at key intersections along SR-76 to provide additional capacity at intersections. The posted speed limit in the study area is 40 mph.

3. Fallbrook

Mission Road is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Boulevard (4.2B) as part of the General Plan Update. Mission Road is constructed as a two-lane undivided facility. No bike lanes are provided, and curbside parking is prohibited along both sides of the roadway. Generally, the posted speed limit on Mission Avenue is 40 mph.

SR 76—see Bonsall Community Planning Area for description.

4. Jamul

SR 94 is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Community Collector (2.1D) as part of the General Plan Update. SR 94 is currently constructed as a two-lane undivided facility. No bike lanes are provided, and curbside parking is prohibited along both sides of the roadway. The speed limit along SR 94 is posted at 50 mph.

5. Julian

SR-78 is classified as a State Highway on the current County of San Diego Mobility Element and is proposed to be classified as a Light Collector (2.2D) as part of the General Plan Update. SR-78 is currently constructed as a winding two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along SR-78 is posted at 40 mph.

8. Pala–Pauma

SR-76 is classified as a State Highway on the current County of San Diego Mobility Element, and is proposed to be classified as a Community Collector (2.1D) as part of the General Plan Update. SR-76 is currently constructed as a winding two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along SR-76 is posted at 55 mph.

9. Ramona

SR-67 is classified as a State Highway on the current County of San Diego Mobility Element, and is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. SR-67 is currently constructed as a two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along SR-67 ranges between 40 and 55 mph.

SR-78 is classified as a State Highway on the current County of San Diego Mobility Element and is proposed to be classified as a Light Collector (2.2D) as part of the General Plan Update. SR-78 is currently constructed as a two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along SR-78 is posted at 55 mph.

San Vicente Road is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Community Collector (2.1D) as part of the General Plan Update. San Vicente Road is currently constructed as a two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along San Vicente Road is posted at 50 mph.

10. San Dieguito

Del Dios Highway is classified as a Light Collector on the current County of San Diego Mobility Element and is proposed to be classified as a Light Collector (2.2D) as part of the General Plan Update. Del Dios Highway is currently constructed as a two-lane undivided facility. Bike lanes are provided along both sides of the road, and curbside parking is prohibited. The speed limit along Del Dios Highway is posted at 55 mph.

Via de La Valle is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Community Collector (2.1E) as part of the General Plan Update. Via de La Valle is currently constructed as a two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along Via de La Valle is posted at 50 mph.

Paseo Delicias is classified as a Light Collector on the current County of San Diego Mobility Element and is to continue to be classified as a Light Collector (2.2A) as part of the General Plan

Update. Paseo Delicias is currently constructed as a two-lane undivided facility. No bike lanes or curbside parking is provided. The speed limit along Paseo Delicias is posted at 50 mph.

11. Spring Valley

Jamacha Boulevard is classified as an Expressway on the current County of San Diego Mobility Element and is proposed to be classified as a Major Road (4.1A) as part of the General Plan Update. Jamacha Boulevard is currently constructed as a two-lane undivided facility. Bike lanes are provided along both sides of the road, and curbside parking is prohibited. The speed limit along Jamacha Boulevard is posted at 45 mph.

12. Sweetwater

Bonita Road is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Community Collector (2.1D) as part of the General Plan Update. Bonita Road is currently constructed as a two-lane undivided facility. Bike lanes are provided along both sides of the road, and curbside parking is prohibited. The speed limit along Bonita Road is posted at 45 mph.

Sweetwater Road is classified as a Major Road on the current County of San Diego Mobility Element and is proposed to be classified as a Community Collector (2.1D) as part of the General Plan Update. Sweetwater Road is currently constructed as a two-lane undivided east-west facility. No bike lanes or curbside parking is provided. The speed limit along Sweetwater Road is posted at 45 mph.

13. Valle De Oro

Jamacha Road is classified as a Prime Arterial on the current County of San Diego Mobility Element, and is proposed to be classified as a Prime Arterial (6.2) as part of the General Plan Update. Jamacha Road is currently constructed as a four-lane divided facility. Bike lanes are provided along both sides of the road and curbside parking is prohibited. The speed limit along Jamacha Road is posted at 45 mph.

14. Valley Center

Valley Center Road is classified as a Prime Arterial on the current County of San Diego Mobility Element and is proposed to be classified as a Boulevard (4.2A) as part of the General Plan Update. Valley Center Road is currently constructed as a four-lane divided facility. Bike lanes are provided along both sides of the road, and curbside parking is prohibited. The speed limit along Valley Center Road is posted at 45 mph.

Cole Grade Road is classified as a Collector Road on the current County of San Diego Mobility Element, and is proposed to be classified as a Boulevard (4.2A) as part of the General Plan Update. Cole Grade Road is currently constructed as a two-lane undivided facility. Bike lanes are not provided along the road, and curbside parking is prohibited. The speed limit along Cole Grade Road is posted at 50 mph.

Lilac Road is classified as a Rural Light Collector on the current County of San Diego Mobility Element and is proposed to be classified as a Light Collector (2.2E) as part of the General Plan Update. Lilac Road is currently constructed as a two-lane undivided facility. Bike lanes are not provided, and curbside parking is prohibited. The speed limit along Lilac Road is posted at 50 mph.

Existing Volumes

Existing weekday average daily traffic volumes (ADTs) were obtained from several sources including the County's geographic information system (GIS) volume data platform, Caltrans Highway Traffic Volumes website, and recently completed traffic reports by LLG throughout the County. In the case of weekend ADTs, LLG conducted counts at representative locations throughout the County and applied the changes relative to the weekday counts where applicable. Appendix F contains the existing traffic volumes exhibits by CPA.

Existing Roadway Segment Operations

The following is a discussion of the existing daily roadway operations, based on existing weekday and weekend traffic volumes, and existing roadway capacities. Table 2.8-2 summarizes existing roadway segment operations.

Level of service (LOS) is the term used to denote the different operating conditions which occur on a given roadway segment under various traffic volume loads. It is a qualitative measure used to describe a quantitative analysis taking into account factors such as roadway geometries, signal phasing, speed, travel delay, freedom to maneuver, and safety. LOS provides an index to the operational qualities of a roadway segment or an intersection. LOS designations range from A to F, with LOS A representing the best operating conditions and LOS F representing the worst operating conditions. The LOS designation is reported differently for signalized intersections, unsignalized intersections, and roadway segments.

As shown in Table 2.8-2, during the weekday and weekend, 8 of the 14 planning areas have segments that are currently operating at LOS E or LOS F. However, it should be noted that as part of the General Plan Update Goals and Policies, there are instances where the County considers it more appropriate to retain road classifications that could result in a LOS E or F rather than increase the number of travel lanes (see Table 2.8-3). These segments operating at

below an acceptable LOS have been identified in italics. The following is a list of roadway segments currently operating at below an acceptable LOS.

Alpine Community Planning Area

- *Alpine Boulevard: Boulders Road to Louise Drive – LOS F (Both)*
- Tavern Road: Alpine Boulevard to Arnold Way – LOS E(Both).

Bonsall Community Planning Area

- S. Mission Road: S. Via Monserate to SR-76 – LOS F/E (Weekday/Weekend, respectively)
- Mission Road (SR-76): S. Mission Road to Via Monserate – LOS F/E (Weekday/Weekend).

Lakeside Community Planning Area

- *SR-67: Johnson Lake Road to Posthill Road – LOS F (Both)*
- *Lake Jennings Park Road: Blossom Valley Road to I-8 WB Ramps – LOS F/E (Weekday/Weekend).*

North County Metro Community Planning Area

- SR-78: Bear Valley Parkway to San Pasqual Road – LOS E (Both)
- Bear Valley Parkway: SR-78 to Eldorado Drive – LOS F (Both)
- *Via de la Valle: Paseo Delicias to El Camino Real – LOS F (Weekend only).*

Ramona Metro Community Planning Area

- SR-67: Archie Moore Road to Mussey Grade Road – LOS F (Both)
- San Vicente Road: Warnock Drive to Wildcat Canyon Road – LOS E (Weekday only).

San Dieguito Community Planning Area

- *Del Dios Highway: Via Rancho Parkway to Mt. Israel Road – LOS F (Both)*
- *Del Dios Highway: Mt. Israel Road to Calle Ambiente – LOS F (Both)*
- *Del Dios Highway: Calle Ambiente to El Camino Del Norte – LOS F (Both)*
- *Via de la Valle: Paseo Delicias to El Camino Real – LOS F (Weekend only)*
- *Paseo Delicias: Via de la Valle to El Camino Del Norte – LOS F (Both).*

Spring Valley Community Planning Area

- Jamacha Boulevard: Galapago Street to Sweetwater Springs Boulevard – LOS F(Both).

Valle De Oro Community Planning Area

- *Jamacha Road: Campo Road to Fury Lane – LOS F (Both).*

Horizon Year 2030 Forecasts

As part of the General Plan Update, the County determined the amount of Year 2030 roadway lane miles throughout the County that are operating at below County standards (LOS D). This is aggregated by community planning area for the entire county, and presented in total lane miles (see Table 2.8-4). Using this information, a Horizon Year street segment analysis was completed. This analysis assumes roadway capacities based on the County's General Plan Update Mobility Element Framework (accepted August 3, 2011). Therefore, it is reasonably expected that the proposed improvements detailed in the General Plan Mobility Element would be in place. Table 2.8-5 shows the proposed General Plan Update roadway classifications and ADTs.

Year 2030 ADT for weekends is not available from the San Diego Association of Governments (SANDAG) model. Year 2030 weekend ADTs were estimated by utilizing the relationship between existing weekday and weekend ADTs, and applying these existing relationships to the model's weekday ADTs. This methodology provides a reasonable estimation of future volumes within the suburban and rural communities throughout San Diego County. Appendix F contains the buildout (2030) weekday/weekend traffic volumes exhibits by community planning area. Finally, it should be noted that roadway capacity has generally increased for each key street segment. This corresponds to the projected implementation of the General Plan Update Mobility Element.

Horizon Year 2030 Segment Operations

As shown in Table 2.8-5, several of the street segments within the various communities are forecasted to have roadways that operate at LOS E or LOS F, despite the increase in capacity assumed for each segment, as described above. The following is a summary of these projected poorly-operating roadways for a weekday. Several of these roadways also fail under weekend traffic loads:

Alpine Community Planning Area

- *Alpine Boulevard: Boulders Road to Louise Drive – LOS F (Both).*

Bonsall Community Planning Area

- Mission Road (SR-76): S. Mission Road to Via Monserate – LOS F/E (Weekday/Weekend).

Fallbrook Community Planning Area

- SR-76: Old Highway 395 to I-15 SB Ramps – LOS F/E (Weekday/Weekend).

Jamul Community Planning Area

- SR-94: Melody Road to Otay Lakes Road – LOS E (Both).

Lakeside Community Planning Area

- *SR-67: Johnson Lake Road to Posthill Road – LOS F (Both).*

Ramona Metro Community Planning Area

- SR-78: Pine Street to Ninth Street – LOS F / E (Weekday/Weekend)
- San Vicente Road: Warnock Drive to Wildcat Canyon Road – LOS E (Weekday only).

San Dieguito Community Planning Area

- *Del Dios Highway: Via Rancho Parkway to Mt. Israel Road – LOS F (Weekend only)*
- *Del Dios Highway: Mt. Israel Road to Calle Ambiente – LOS F (Both)*
- *Del Dios Highway: Calle Ambiente to El Camino Del Norte – LOS F (Both)*
- *Via de la Valle: Paseo Delicias to El Camino Real – LOS F (Both)*
- *Paseo Delicias: Via de la Valle to El Camino Del Norte – LOS F (Both).*

Valle De Oro Community Planning Area

- *Jamacha Road: Campo Road to Fury Lane – LOS F (Both).*

Trip Generation

There are no published trip generation rates for “horse stables” as proposed by the project, either in the national Institute of Transportation Engineers Trip Generation Manual, or in the regional SANDAG Brief Guide to Vehicular Traffic Generation Rates for the San Diego Region. Therefore, project trip generation was calculated based on various stables currently operating within the County, and developed from operational data collected in surveys conducted by County staff. Several pieces of information relevant to the trip generation determination included project size (both in acres and horses), the number of employees, the number of deliveries, and the amount of customers which occur on typical days. LLG developed daily (ADT) and peak hour trip generation estimates for the Tier One, Tier Two, and Tier Three projects. Tables 2.8-6a, 2.8-6b, and 2.8-6c show the estimated trip generation for the weekday and weekend for each tier, respectively. Trip generation rates have not been calculated for a Tier Four facility because the potential for Tier Four facilities is limited due to the requirement of more than 10 acres of useable land, and only approximately 0.07% of the properties within the project area are over 10 acres. It is assumed that a Tier Four facility would have slightly greater trip generation rates than Tier Three facilities because they would allow for more horses and people.

2.8.2 Regulatory Setting

State Regulations

California Department of Transportation Standards

Caltrans is responsible for planning, designing, building, operating, and maintaining California’s \$300 billion, 50,000-lane-mile state road system. Caltrans sets standards, policies, and strategic plans that aim to do the following: (1) provide the safest transportation system in the nation for users and workers, (2) maximize transportation system performance and accessibility, (3) efficiently deliver quality transportation projects and services, (4) preserve and enhance California’s resources and assets, and (5) promote quality service. Caltrans has the discretionary authority to issue special permits for the use of California state highways for other-than-normal transportation purposes. Caltrans also reviews all requests from utility companies, developers, volunteers, nonprofit organizations, and others desiring to conduct various activities within the California highway right-of-way. The Caltrans Highway Design Manual, prepared by the Office of Geometric Design Standards (Caltrans 2012), establishes uniform policies and procedures to carry out the highway design functions of Caltrans. Caltrans has also prepared the Guide for the Preparation of Traffic Impact Studies (Caltrans 2002). Objectives for the preparation of this guide include providing consistency and uniformity in the identification of traffic impacts generated by local land use proposals.

Statewide Transportation Improvement Program

The California 2007 Statewide Transportation Improvement Program, approved by the U.S. Department of Transportation in October 2006, is a multiyear, statewide, intermodal program of transportation projects that is consistent with the statewide transportation plan and planning processes, metropolitan plans, and Title 23 of the federal Code of Regulations. The Statewide Transportation Improvement Program is prepared by Caltrans in cooperation with the Metropolitan Planning Organizations and the Regional Transportation Planning Agencies. In the County, the Metropolitan Planning Organization and Regional Transportation Planning Agency is the San Diego Association of Governments (SANDAG). The Statewide Transportation Improvement Program contains all capital and non-capital transportation projects or identified phases of transportation projects for funding under the Federal Transit Act and Title 23 of the United States Code, including federally funded projects.

Transportation Development Act

The Transportation Development Act provides two major sources of funding for public transportation: the Local Transportation Fund and the State Transit Assistance Fund. These funds are for the development and support of public transportation needs that exist in California and are allocated to areas of each county based on population, taxable sales, and transit performance. Some counties have the option of using the Local Transportation Fund for local streets and roads projects if they can show there are no unmet transit needs. The branch provides oversight of the public hearing process used to identify unmet transit needs. It provides interpretation of and initiates changes or additions to legislation and regulations concerning all aspects of the Transportation Development Act. It also provides training and documentation regarding Transportation Development Act statutes and regulations. Caltrans ensures local planning agencies complete performance audits required for participation in the Transportation Development Act.

Local Regulations

Mobility Element of the County of San Diego General Plan

The County's General Plan Mobility Element (2011a) provides a framework for a balanced, multi-modal transportation system for the movement of people and goods within the unincorporated areas of the County. The guiding principles focus on a central theme to support a multi-modal transportation network that enhances connectivity and supports existing development patterns while retaining community character and maintaining environmental sustainability by reducing gasoline consumption and greenhouse gas (GHG) emissions. A primary goal of the Mobility Element is to achieve a road network that accommodates buildout

of the land use map while operating with acceptable levels of congestion for the efficient and effective movement of people and goods. For example, the Mobility Element requires development projects to provide associated road improvements necessary to achieve an LOS of “D” or higher on all Mobility Element roads, except those where failing LOS has been accepted by the County pursuant to specific criteria. LOS is a quality of service measure that describes the operational conditions on a transportation facility, such as a roadway or intersection. Six LOS capacity thresholds are defined for each type of roadway, with letters A through F used to establish the LOS measure. Criteria for each LOS threshold include speed, travel time, freedom to maneuver, traffic interruptions, comfort, convenience, and safety. LOS A represents free flow, almost complete freedom to maneuver within the traffic stream. LOS F represents forced flow, where more vehicles are attempting to use the road facility than can be served, resulting in stop and go traffic. In circumstances where development is proposed on roads with an accepted failing LOS, mitigation such as road improvements or fair share contribution to a road improvement program is required (County of San Diego 2011b).

County of San Diego Consolidated Fire Code

The County, in collaboration with the local fire protection districts, created the first Consolidated Fire Code in 2001. The Consolidated Fire Code contains the County’s and fire protection districts’ amendments to the California Fire Code. Emergency ingress/egress is established by the County’s Consolidated Fire Code. Ingress/egress is necessary for both citizen evacuation and to provide access for emergency vehicles in the event of a fire or other emergency. Section 902.2 of the Consolidated Fire Code dictates minimum design standards for “Fire Apparatus Access Roads” and includes minimum road standards, secondary access requirements, and restrictions for gated roads and gated communities. Road standard requirements for emergency vehicles specify a minimum 12-foot paved lane or 24-foot travel way.

County of San Diego Transportation Impact Fee Ordinance

The County has developed an overall programmatic solution that addresses existing and projected future road deficiencies in the unincorporated portion of the County. This program commits the County to construct additional capacity on identified deficient roadways and includes the adoption of a Transportation Impact Fee program to fund improvements to roadways necessary to mitigate potential cumulative impacts caused by traffic from future development. The fees are collected at issuance of a development permit (including building permits) and at the time that a change of occupancy occurs. The fees are used to fund identified transportation facilities, or portions thereof, that provide increased road capacity necessitated by the cumulative impacts of future development. This program is based on a summary of projections contained in an adopted planning document that evaluates regional or area-wide conditions contributing to cumulative transportation impacts. Although the program does not address every road in the unincorporated County, it is considered

to be a broad-based approach to mitigation of cumulative traffic impacts from additional traffic generated by a project or series of projects.

Regional Transportation Plans and Programs

The County General Plan Update EIR states: “SANDAG serves as the forum for decision-making on regional issues such as growth, transportation, land use, the economy, the environment, and criminal justice. SANDAG builds consensus, makes strategic plans, obtains and allocates resources, and provides information on a broad range of topics pertinent to the region’s quality of life. SANDAG is governed by a Board of Directors composed of mayors, council members, and supervisors from each of the San Diego region’s 19 local governments” (County of San Diego 2011b).

“As the San Diego County Metropolitan Planning Organization (MPO) and Regional Transportation Planning Agency, SANDAG has produced the following documents that identify transportation plans and policies in the San Diego area” (County of San Diego 2011b).

Regional Transportation Plan

The Regional Transportation Plan (RTP), also known as MOBILITY 2030, serves as a blueprint to address the mobility challenges created by the San Diego region’s growing population and employment. It contains an integrated set of public policies, strategies, and investments to maintain, manage, and improve the transportation system in the region. The 2030 RTP was approved on March 28, 2003. Changes in anticipated cost and revenue have resulted in an update of the RTP that was approved by the SANDAG Board of Directors in 2006. Additional updates and approvals were obtained in late 2007 to incorporate a new regional growth forecast, strategic initiatives, and several other white papers on topics not previously covered in the RTP (County of San Diego 2011b).

2006 Regional Transportation Improvement Program

The Regional Transportation Improvement Program (RTIP) is a multi-year program of proposed major highway, arterial, transit, and bikeway projects. The 2006 RTIP is a prioritized program designed to implement the region’s overall strategy for providing mobility and improving the efficiency and safety of efforts to attain federal and state air quality standards for the region. The 2006 RTIP also incrementally implements the latest update to the RTP. The 2006 RTIP covers fiscal years 2007 to 2011. The 2006 RTIP, including an air quality emissions analysis for all regionally significant projects, was adopted on August 4, 2006 (County of San Diego 2011b).

Congestion Management Program

State Proposition 111, passed by voters in 1990, established a requirement that urbanized areas prepare and regularly update a Congestion Management Program (CMP), which is a part of SANDAG's RTP. The purpose of the CMP is to monitor the performance of the region's transportation system, develop programs to address near-term and long-term congestion, and better integrate transportation and land use planning. SANDAG, as the designated Congestion Management Agency for San Diego region, must develop, adopt, and update the CMP in response to specific legislative requirements. SANDAG, local jurisdictions, and transportation operators such as Caltrans, the Metropolitan Transit Development Board (MTDB), and the North County Transit District (NCTD), are responsible for implementing and monitoring the CMP (County of San Diego 2011b).

2.8.3 Analysis of Project Effects and Determination of Significance

The impact analysis below has been separated into Tier One/Tier Two and Tier Three/Tier Four to reflect the distinction in the level of review required for the establishment of each use (non-discretionary versus discretionary).

At this time, the exact number of potential Tier One, Tier Two, Tier Three, and Tier Four facilities that may result from the proposed project is unknown. The traffic report, included as Appendix F to this EIR, uses the Tier Three equine facilities as the representative project, since these are neither the highest traffic-generating (Tier Four) nor the lowest traffic-generating (Tier One) facilities under consideration. Realistically, development of some combination of all four tiers would be expected. Considering the data collected in surveys conducted by County Staff, as described above under the heading Trip Generation in Section 2.8.1 and included as Appendix B to this EIR, most facilities that exist within the County would be classified as Tier Two and Tier Three. Due to the average parcel size within the County, few areas would support Tier Four facilities. Therefore, it should be noted that the worst-case scenario for purposes of this analysis is best represented as Tier Three equine facilities.

2.8.3.1 Conflict with Plan, Policy, or Ordinance

Guidelines for the Determination of Significance

For the purpose of this EIR, the following significance guideline from Appendix G of the California Environmental Quality Act (CEQA) applies to the direct and indirect impact analysis, as well as the cumulative impact analysis. A significant impact would result if:

- The project would conflict with an applicable plan, ordinance, or policy establishing measures of the effectiveness of the circulation system performance, taking into account all

modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit.

The County has created the following guidelines to evaluate likely traffic impacts of a proposed project for road segments and intersections serving that project site, for purposes of determining whether the development would “significantly impact congestion” on the referenced LOS E and F roads. The guidelines are summarized in Table 2.8-7. These thresholds are based upon average operating conditions on County roadways. It should be noted that these thresholds only establish general guidelines, and that the specific project location must be taken into account in conducting an analysis of traffic impact from new development.

Analysis

Tier One and Tier Two

Based on the trip generation estimates described in Section 2.8.1, a single Tier One equine facility would generate 8 ADT (weekday and weekend), and a single Tier Two equine facility would generate 20 ADT (weekday) and 30 ADT (weekend). The addition of a single Tier One or Tier Two facility is not anticipated to result in any significant impacts to roadway segments; however, it is conceivable that multiple facilities within a given community could be located in close proximity, thereby contributing trips to the same road segments or intersections. The impact to existing LOS could be significant depending on the location, site conditions, and development proposed. By revising the existing Zoning Ordinance, the County of San Diego would no longer have the ability to review the specific conditions of a given Tier One or Tier Two facility to ensure adequate mitigation for impacts to specific public roadways, some of which are currently operating at unacceptable levels of service. Consequently, impacts on key Mobility Element roadway segments from the development of multiple Tier One and Tier Two facilities would be **potentially significant (TR-1)**.

Tier Three and Tier Four

A summary of the existing near-term traffic operations is depicted in Table 2.8-8. This table illustrates the “reserve capacity” remaining on each of the key roadways, which is the amount of roadway capacity (in ADT) that is available for development until the LOS E threshold is reached and the segment would operate below county standards. Where roadways are currently operating at LOS E or LOS F, the amount of reserve capacity is measured as the allowable increase in ADT until a significant impact would occur, as stated in the County’s significance criteria.

As described above in Section 2.8.3, the worst-case scenario for purposes of this analysis is best represented as Tier Three equine facilities. Table 2.8-8 also shows how many Tier Three equine

facilities could be developed using a trip generation of 28 ADT/facility (weekday), and 44 ADT/facility (weekend) shown in Table 2.8-6c. To calculate the number of equine facilities that could be constructed in a particular community before a significant impact would occur, the reserve capacity for each roadway was divided by the number of trips per Tier Three facility. This exercise was conducted for both a weekday and weekend day. The lowest number calculated for each community is the number of facilities that could be constructed prior to a significant impact occurring. The following is a summary of the results.

1. **Alpine**—Table 2.8-8 shows that both 2-lane roadway segments in the Alpine CPA are currently operating at LOS E or F. As shown on Table 2.8-8, the reserve capacity is 100 ADT for the Alpine Boulevard segment and 200 ADT along the segment of Tavern Road. The weekday and weekend trip generation was determined to be 28 ADT/facility and 44 ADT/facility, respectively. Therefore, within the Alpine CPA, the lowest weekday reserve capacity was calculated for three Tier Three facilities. Two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has determined that the Alpine Boulevard segment has been accepted as operating at LOS F.
2. **Bonsall**—Table 2.8-8 shows that both 2-lane roadway segments in the Bonsall CPA are currently operating at LOS E or F. As shown on Table 2.8-8, the reserve capacity is 100 ADT for the weekday and 200 ADT for the weekend. The weekday and weekend trip generation was determined to be 28 ADT/facility and 44 ADT/facility, respectively. Therefore, within the Bonsall CPA, the weekday reserve capacity was calculated at three Tier Three facilities. Four Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur.
3. **Fallbrook**—Table 2.8-8 shows that both roadways in the Fallbrook Community Planning Area are calculated to operate at acceptable LOS D or better. The reserve capacity on these roadways could accommodate more than 50 based on the trip generation described previously. However, were 50 stables to be constructed, the collective traffic of these projects would usurp all reserve capacity on the segment of S. Mission Road. While technically feasible, the development of 50 Tier Three facilities is unlikely to occur because this assumes that either construction of all 50 facilities will occur at the same time, or no other projects will absorb the area's reserve roadway capacity.
4. **Jamul**—Table 2.8-8 shows that the SR-94 (2-lane roadway) segment in the Jamul CPA is currently operating at LOS C. As shown on Table 2.8-8, the reserve capacity is 5,670 ADT for the weekday and 6,750 ADT for the weekend. Given the weekday and weekend trip generation for a Tier Three facility from Table 2.8-6c, both the weekday and weekend reserve capacity was calculated at greater than 50 Tier Three facilities within the Jamul CPA.

5. **Julian**—Table 2.8-8 shows that both of the key roadway segments in the community of Julian are currently operating at LOS B or better operations. Technically, greater than 50 additional Tier Three facilities could be accommodated within the key segments' reserve capacity. However, much of Julian's traffic comes through neighboring Ramona, which is constrained by poorly operating segments. Therefore, up to three Tier Three facilities could be constructed before a significant impact would occur to at least one roadway segment in Ramona.
6. **Lakeside**—Table 2.8-8 shows that both key roadway segments in the community of Lakeside are currently operating at LOS E or F. As shown on Table 2.8-8, the lowest reserve capacity is 100 ADT for both the weekday and weekend. Given the weekday and weekend trip generation for a Tier Three facility from Table 2.8-6c, the lowest weekday reserve capacity was calculated at three Tier Three facilities. Two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has identified both of these segments as operating at LOS E or F.
7. **North County Metro**—Table 2.8-8 shows that the majority of the key roadway segments in the North County Metro community are currently operating at LOS E or F. As shown on Table 2.8-8, the lowest reserve capacity is 100 ADT for both the weekday and weekend. Given the weekday and weekend trip generation for a Tier Three facility, the lowest weekday reserve capacity was calculated at three Tier Three facilities in the North County Metro Subregional Plan area. Two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur.
8. **Pala–Pauma**—Table 2.8-8 shows that the SR-76 roadway segment in the community of Pala–Pauma is currently operating at LOS C. As shown on Table 2.8-8, the reserve capacity is 4,270 ADT for the weekday and 5,620 ADT for the weekend. Given the Tier Three weekday and weekend trip generation, and the reserve capacity, it was calculated that greater than 50 Tier Three facilities could be constructed before significant impacts would occur.
9. **Ramona**—Table 2.8-8 shows that several roadway segments in the Ramona CPA are currently operating at LOS E or F and that the lowest reserve capacity is 100 ADT for both the weekday and weekend. Given the Tier Three weekday and weekend trip generation, the lowest weekday reserve capacity was calculated at three Tier Three facilities. Two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, since it is expected that some of Julian's traffic would travel through neighboring Ramona, which is constrained by poorly operating segments, the Tier Three facility limits identified for Ramona stated here should also apply to Julian as well.

10. ***San Dieguito***—Table 2.8-8 shows that the majority of 2-lane roadway segments in the San Dieguito CPA are currently operating at LOS E or F. As shown on Table 2.8-8, the lowest reserve capacity is 100 ADT for both the weekday and weekend. Given the Tier Three weekday and weekend trip generation, the lowest weekday reserve capacity was calculated at three Tier Three facilities. Two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has identified several of the key segments as operating at LOS E or F.
11. ***Spring Valley***—Table 2.8-8 shows that the Jamacha Boulevard roadway segment in the Spring Valley CPA is currently operating at LOS F. As shown on Table 2.8-8, the reserve capacity is 100 ADT for both the weekday and weekend. Given the Tier Three weekday and weekend trip generation, the lowest weekday reserve capacity was calculated at three Tier Three facilities. Two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur.
12. ***Sweetwater***—Table 2.8-8 shows that both 2-lane roadway segments in the Sweetwater CPA are currently operating at acceptable LOS D. As shown on Table 2.8-8, the lowest reserve capacity is 1,110 ADT for the weekday and 300 ADT for the weekend. Given the Tier Three weekday and weekend trip generation, weekday reserve capacity was calculated at 39 Tier Three facilities. Six Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur.
13. ***Valle De Oro***—Table 2.8-8 shows that the Jamacha Road roadway segment in the Valle De Oro CPA is currently operating at LOS F. As shown on Table 2.8-8, the lowest reserve capacity is 100 ADT for both the weekday and weekend. Given the Tier Three weekday and weekend trip generation, weekday reserve capacity was calculated at three Tier Three facilities. Two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur.
14. ***Valley Center***—Table 2.8-8 shows that the segments in the Valley Center CPA are currently operating at LOS D or better. As shown on Table 2.8-8, the lowest reserve capacity is 2,620 ADT for the weekday and 3,420 for the weekend. Given the Tier Three weekday and weekend trip generation, and the reserve capacity, approximately 50 Tier Three equine facilities could be constructed before significant impacts would occur.
15. ***Private Roads (All Communities)***—Private roads within San Diego County could potentially be impacted by approval of the proposed Zoning Ordinance Amendment. The County categorizes private roads as local roads that have not been declared or accepted for public use and/or County-maintenance by the County Board of Supervisors. It should be noted that LOS classifications are not applicable to private roads since these roads do not carry through traffic. The design of private roads varies from area to area within the

County. In rural areas such as Bonsall and Julian (and others) these roads are typically designed as two-lane undivided, unpaved roadways ranging in width between 20 and 30 feet. Other areas of the County have private roads paved with concrete or asphalt. It should be noted that once a private road is determined to carry more than 2,500 trips per day, the County may require that the roadway be dedicated and improved to County of San Diego Public Road standards.

Because the number of future Tier Three equine facilities that would result from the project is not currently known, specific impacts to roadway LOS from their development are unknown. As can be seen in Table 2.8-8, all of the key roadways could accommodate at least one Tier Three facility without resulting in a significant impact on those roadways. However, there is minimal reserve capacity remaining for several key roadways in the Alpine, Bonsall, Lakeside, North County Metro, Ramona, San Dieguito, Spring Valley, and Valle De Oro CPAs. An increase in Tier Three equine facilities on these roadways could result in a significant impact. Because this analysis presents a representative sample, significant impacts to other roads with minimal reserve capacity could occur in other locations.

Under Tier Three and Tier Four, discretionary review would still be required and projects would be evaluated as part of the County's discretionary environmental review process (CEQA) and would be required to implement measures to minimize impacts to traffic, as necessary. However, as there is ultimately no guarantee on a project-specific level that mitigation measures would reduce impacts to a level below significant, the proposed project may result in **potentially significant impacts (TR-2)**.

2.8.3.2 Conflict with CMP Guidelines for the Determination of Significance

For the purpose of this EIR, the following significance guideline from Appendix G of the CEQA Guidelines applies to the direct and indirect impact analysis, as well as the cumulative impact analysis. A significant impact would result if:

- The project would conflict with an applicable CMP, including but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways.

Analysis

As described in Section 2.8.2, SANDAG is the designated Congestion Management Agency for the San Diego region. The CMP for San Diego is a part of SANDAG's RTP. The purpose of the CMP is to monitor the performance of the region's transportation system, develop programs to address near-term and long-term congestion, and better integrate transportation and land use planning. The same factors associated with the analysis in Section 2.8.3.1 apply to this analysis.

Under the CMP's Land Use Analysis Program, the CMP requires a review of large projects that generate 2,400 or more average daily trips or 200 or more Peak Hour trips. If the proposed project includes development that would exceed these thresholds, the proposed project could potentially conflict with the CMP. The CMP thresholds are considered on a project-by-project basis, so each future equine facility would be considered separately, rather than cumulatively.

Tier One and Tier Two

As described in Section 2.8.3.1, a Tier One facility would generate approximately 8 weekday and 8 weekend daily trips, and a Tier Two facility would generate approximately 20 weekday and 30 weekend daily trips. Future Tier One and Tier Two facilities would therefore not exceed the CMP thresholds, and a CMP-level analysis would not be required for such facilities. Impacts associated with Tier One and Tier Two projects would be **less than significant**.

Tier Three and Tier Four

As described in Section 2.8.3.1, a Tier Three facility would generate approximately 28 weekday daily trips and 44 weekend daily trips. Trip generation rates have not been calculated for a Tier Four facility since the potential for Tier Four facilities is limited due to the requirement of more than 10 acres of useable land. It is assumed that a Tier Four facility would have slightly greater trip generation rates than Tier Three facilities. Since the trip generation for a Tier Three facility is far below the CMP thresholds, a Tier Four project is not expected to exceed the CMP thresholds. Tier Three and Tier Four facilities would not exceed CMP thresholds, and therefore a CMP-level analysis would not be required. Impacts associated with Tier Three and Tier Four projects would be **less than significant**.

2.8.3.3 Road Safety Guidelines for the Determination of Significance

For the purpose of this EIR, the following significance guideline from Appendix G of the CEQA Guidelines applies to the direct and indirect impact analysis, as well as the cumulative impact analysis. A significant impact would result if:

- The proposed project would substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment).

Analysis

Potential road hazards can occur due to a design feature or physical configuration of existing or proposed access roads that can adversely affect the safe transport of vehicles along a roadway. The physical conditions of the project site and surrounding area, such as curves, slopes, walls,

landscaping, or other barriers, may also result in vehicle conflicts with other vehicles or stationary objects.

Tier One and Tier Two

Tier One and Tier Two facilities would not alter traffic patterns, roadway design, place incompatible uses (e.g., farm equipment) on existing roadways, or create or place curves, slopes, or walls that impede adequate site distance on a road. The location of Tier One and Tier Two facilities is unknown at this time, and therefore, specific access road design information is not available. However, the design of the access roads would be specific to the needs of the facilities and are not expected to result in unsafe design features or unsafe configurations. Roads would be constructed according to the County's Zoning Ordinance Sections 6750–6799, San Diego County Public Road Standards, San Diego County Private Road Standards, and the San Diego County Consolidated Fire Code. Because Tier One and Tier Two facilities would be required to comply with County standards for any road improvements, the proposed project would not significantly increase hazards due to design features or incompatible uses. Impacts would be **less than significant**.

Tier Three and Tier Four

If road improvements are required for Tier Three and Tier Four equine facilities, they would be constructed according to the San Diego County Public Road Standards, San Diego County Private Road Standards, and the San Diego County Consolidated Fire Code. Additionally, the proposed project would not place incompatible uses (e.g., farm equipment) on existing roadways. Because future Tier Three and Tier Four facilities would be required to comply with County standards for any road improvements, the proposed project would not significantly increase hazards due to design features or incompatible uses. Impacts would be **less than significant**.

2.8.3.4 *Emergency Access*

Guidelines for the Determination of Significance

For the purpose of this EIR, the following significance guideline from Appendix G of the CEQA Guidelines applies to the direct and indirect impact analysis, as well as the cumulative impact analysis. A significant impact would result if:

- The project would result in inadequate emergency access.

Analysis

Inadequate emergency access and egress can occur as a result of an incomplete or not fully interconnected roadway network, such as inadequate roadway widths, turning radii, dead ends or gated roads, one-way roads, single ingress and egress routes, or other factors.

Tier One and Tier Two

Multiple regulations are in place to ensure adequate emergency access exists within the County. The proposed project would allow Tier One and Tier Two facilities without discretionary review if they meet the zoning verification requirements in the amended ordinance; however, the development of any associated access roads would be required to comply with the San Diego County Public Road Standards and San Diego County Private Road Standards, which provide guidance for roadway and transportation facility development. Additionally, future Tier One and Tier Two facilities would be required to comply with the San Diego County Consolidated Fire Code, which dictates minimum design standards for “Fire Apparatus Access Roads” and includes minimum road standards, secondary access requirements, and restrictions for gated communities. Therefore, future Tier One and Tier Two facilities developed under the proposed project would not result in inadequate emergency access; impacts would be **less than significant**.

Tier Three and Tier Four

Similar to Tier One and Tier Two facilities, as discussed previously, the development of any access roads for future equine facilities would be required to comply with the San Diego County Public Road Standards, San Diego County Private Road Standards, and the San Diego County Consolidated Fire Code. Therefore, future Tier Three and Tier Four facilities developed under the proposed project would not result in inadequate emergency access; impacts would be **less than significant**.

2.8.3.5 *Alternative Transportation*

Guidelines for the Determination of Significance

For the purpose of this EIR, the following significance guideline from Appendix G of the CEQA Guidelines applies to the direct and indirect impact analysis, as well as the cumulative impact analysis. A significant impact would result if:

- The project would conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities.

Analysis

Tier One and Tier Two

Any road improvements associated with future Tier One or Tier Two facilities would be for access to the site for construction and operational activities. As discussed in Section 2.8.3.3, any future roads required for Tier One or Tier Two facilities would be improved or constructed according to the San Diego County Public Road Standards, and San Diego County Private Road Standards, which includes standards for associated bicycle or pedestrian pathways. Therefore, future Tier One and Tier Two facilities developed under the proposed project would not decrease the performance or safety of public transit, bicycle, or pedestrian facilities, and impacts would be **less than significant**.

Tier Three and Tier Four

Similar to Tier One and Tier Two facilities, the development of any access roads for future Tier Three or Tier Four facilities would be required to comply with the San Diego County Public Road Standards, and San Diego County Private Road Standards. Therefore, future Tier Three and Tier Four facilities would not conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities. Impacts would be **less than significant**.

2.8.4 Cumulative Impact Analysis

The geographic scope of cumulative impact analysis for transportation and traffic is the San Diego region, including jurisdictions and special districts within and adjacent to the unincorporated County.

Horizon Year Conditions

The County's General Plan Update forecasts were utilized instead of an individual discretionary project list since the proposed project would be enforced at a County-wide level.

CEQA Guidelines Section 15355 defines cumulative impacts as two or more individual effects, which, when considered together, are considerable, or which compound or increase other environmental impacts. The CEQA Guidelines further state that individual effects may be changes resulting from a single project or a number of separate projects, or the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable future projects. CEQA Guidelines Section 15130 allows for the use of two alternative methods to determine the scope of projects to analyze cumulative impacts.

List Method: A list of past, present, and probable future projects producing related or cumulative impacts, including, if necessary, those projects outside the control of the agency.

Summary of Projections Method: A summary of projects contained in an adopted General Plan or related planning document, or in a prior environmental document, that have been adopted or certified, which describes or evaluates regional or area-wide conditions contributing to the cumulative impact.

The cumulative analysis conducted for this analysis is based on both the List Method and Summary of Projections Method. For projects located outside the control of the County of San Diego, such as those located in tribal lands or adjacent counties, the List Method is used.

The assessment of potential cumulative impacts involves consideration of the proposed project in combination with growth in the region. For purposes of the cumulative discussion, the main difference between activities currently allowed under the existing Zoning Ordinance and those proposed under the Zoning Ordinance Amendment is the establishment of a tiered permitting process for the development of horse stables.

2.8.4.1 Conflict with Plan, Policy, or Ordinance

Refer to the significance guideline in Subchapter 2.8.3.1 above. Under the cumulative traffic scenario in the County's General Plan Update, 34 state highways and 124 Mobility Element roads (for a total of 158 roadway segments) would operate at a deficient LOS (County of San Diego 2011b). This would be considered a cumulatively considerable impact. Additionally, 33 roadway segments would be significantly impacted upon build-out of respective adjacent cities' general plans combined with buildout of the County's General Plan Update. Therefore, cumulative projects in the region would have the potential to result in cumulatively considerable impacts due to potential conflicts with an applicable plan, ordinance, or policy establishing measures of the effectiveness of the circulation system performance.

Tier One and Tier Two

As described in Section 2.8.3.1, the development of future Tier One and Tier Two facilities, in combination with anticipated buildout of the County's General Plan and cumulative projects, has the potential to exceed LOS levels on key roadway segments in the Near-Term scenario. Therefore, the development of Tier One and Tier Two facilities under the proposed project **would contribute to a cumulatively considerable impact (TR-3).**

Tier Three and Tier Four

Table 2.8-9 shows a summary of the buildout traffic operations in terms of the “reserve capacity” remaining on each of the key roadways. Table 2.8-9 also shows how many Tier Three facilities could be constructed at buildout (Year 2030) assuming a worst-case trip generation of 28 ADT/facility (weekday), and 44 ADT/facility (weekend). As stated above, this exercise was conducted for both a weekday and weekend day. The lowest number calculated for each community is the number of Tier Three facilities that could be constructed prior to significant impacts occurring. The following is a summary of the buildout results by CPA.

1. **Alpine**—Table 2.8-9 shows that the Alpine Boulevard (2-lane roadway) segment in the Alpine CPA is calculated to operate below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 100 ADT for both the weekday and weekend. The weekend trip generation is established at 44 ADT/facility. Therefore, two Tier Three facilities based on the weekday and weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has accepted this segment of Alpine Boulevard as operating at LOS F.
2. **Bonsall**—Table 2.8-9 shows that the S. Mission Avenue (4-lane roadway) segment in the Bonsall CPA is calculated to operate below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 200 ADT for the weekday only as the weekend operations is within acceptable LOS C. Therefore, seven Tier Three facilities based on the weekday reserve capacity could be constructed before significant impacts would occur.
3. **Fallbrook**—Table 2.8-9 shows that the SR-76 (4-lane roadway) segment in the Fallbrook CPA is calculated to operate below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 100 ADT for the weekday and 200 ADT for the weekend. The weekend trip generation is established at 44 ADT/facility. Therefore, three Tier Three facilities based on the weekday reserve and four Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur to at least one roadway segment in Fallbrook. However, it should be noted that the County has accepted this segment of SR-76 as operating at LOS F.
4. **Jamul**—Table 2.8-9 shows that the SR-94 (2-lane roadway) segment in the Jamul CPA is forecasted to operate below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 200 ADT for both the weekday and weekend. The weekday trip generation is established at 28 ADT/facility and the weekend trip generation is established at 44 ADT/facility. Therefore, seven Tier Three facilities based on the weekday reserve capacity and four Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur.

5. **Julian**—Table 2.8-9 shows that both roadways in the Julian CPA are forecasted to operate at acceptable LOS B. The lowest reserve capacity is therefore 9,300 ADT during the weekday and 9,070 ADT during the weekend. Therefore, these roadways could accommodate more than 50 Tier Three facilities based on the trip generation established in this report.
6. **Lakeside**—Table 2.8-9 shows that the SR-67 (4-lane roadway) segment in the Lakeside CPA is forecasted to operate at below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 100 ADT for both the weekday and weekend. The weekday trip generation is established at 28 ADT/facility, and the weekend trip generation is established at 44 ADT/facility. Therefore, three Tier Three facilities based on the weekday reserve capacity and two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has accepted this segment of SR-76 as operating at LOS F.
7. **North County Metro**—Table 2.8-9 shows that the Del Dios Highway (2-lane roadway) segment in the North County Metro CPA is forecasted to operate at below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 100 ADT for both the weekday and weekend. The weekday trip generation is established at 28 ADT/facility, and the weekend trip generation is established at 44 ADT/facility. Therefore, three Tier Three facilities based on the weekday reserve capacity and two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur.
8. **Pala–Pauma**—Table 2.8-9 shows that the SR-76 roadway in the Pala–Pauma CPA is forecasted to operate at acceptable LOS C or better. The lowest reserve capacity is therefore 7,300 ADT during the weekday and 5,490 ADT during the weekend. Therefore, these roadways could accommodate more than 50 Tier Three facilities based on the trip generation established in this report.
9. **Ramona**—Table 2.8-9 shows that several segments in the Ramona CPA are forecasted to operate at below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 100 ADT for the weekday and 200 ADT for the weekend. The weekday trip generation is established at 28 ADT/facility, and the weekend trip generation is established at 44 ADT/facility. Therefore, three Tier Three facilities based on the weekday reserve capacity and four Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has accepted this segment of SR-78 as operating at LOS F.
10. **San Dieguito**—Table 2.8-9 shows that all segments in the San Dieguito CPA are forecasted to operate at below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 100 ADT for both the weekday and weekend. The weekday

trip generation is established at 28 ADT/facility, and the weekend trip generation is established at 44 ADT/facility. Therefore, three Tier Three facilities based on the weekday reserve capacity and two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has determined that all key segments have been accepted as operating at LOS F.

11. **Sweetwater**—Table 2.8-9 shows that the Sweetwater Road (2-lane roadway) segment in the Sweetwater CPA is calculated to operate at below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 200 ADT for the weekday only as the weekend operations is within acceptable LOS D. Therefore, seven Tier Three facilities based on the weekday reserve capacity could be constructed before significant impacts would occur.
12. **Valle De Oro**—Table 2.8-9 shows that the Jamacha Road (6-lane roadway) segment in the Valle De Oro CPA is forecasted to operate at below acceptable LOS with future traffic volumes. The lowest reserve capacity is therefore 100 ADT for both the weekday and weekend. The weekday trip generation is established at 28 ADT/facility, and the weekend trip generation is established at 44 ADT/facility. Therefore, three Tier Three facilities based on the weekday reserve capacity and two Tier Three facilities based on the weekend reserve capacity could be constructed before significant impacts would occur. However, it should be noted that the County has accepted this segment of Jamacha Road as operating at LOS F.
13. **Valley Center**—Table 2.8-9 shows that all of the roadways in the Valley Center CPA are forecasted to operate at acceptable LOS D or better. The lowest reserve capacity is therefore 3,000 ADT during the weekday and 3,750 ADT during the weekend. Therefore, these roadways could accommodate more than 50 Tier Three facilities based on the trip generation established in this report.

The analysis shows several lane miles of County roadways (and discusses specific roadways) that currently operate below County of San Diego standards or which are forecasted to operate below standards in the long-term scenario. Because the development of specific future Tier Three equine facilities is not currently known, specific impacts to roadway LOS from their development are unknown. However, as can be seen in Table 2.8-9, there is minimal reserve capacity remaining for several key roadways in the Alpine, Bonsall, Fallbrook, Jamul, Lakeside, Ramona, San Dieguito, Sweetwater, and Valle De Oro CPAs. An increase in traffic from Tier Three or Tier Four equine facilities on these roadways in combination with buildout of the General Plan and other cumulative projects could result in a significant cumulative impact. Significant cumulative impacts to other roads with minimal reserve capacity could also occur in

other locations. Therefore, the development of future Tier Three or Tier Four projects under the proposed project **would potentially contribute to a cumulatively considerable impact (TR-4)**.

2.8.4.2 Conflict with CMP

Refer to the significance guideline in Subchapter 2.8.3.2 above. Because the cumulative traffic scenario in the County's General Plan Update would result in deficient roadway segments, cumulative projects in the region would have the potential to result in cumulatively considerable impacts due to conflicts with SANDAG's CMP.

Tier One and Tier Two

As described in Section 2.8.3.2, traffic generated by individual Tier One and Tier Two projects would not generate 2,400 or more ADT and would therefore not require a CMP analysis since the CMP thresholds are considered on a project-by-project basis. Therefore, Tier One and Tier Two facilities developed under the proposed project **would not contribute to a cumulatively considerable impact**.

Tier Three and Tier Four

As described in Section 2.8.3.2, individual Tier Three and Tier Four projects would not generate 2,400 ADT or more and would therefore not require a CMP analysis, which is considered on a project-by-project basis. In addition, Tier Three and Tier Four projects would require project-specific traffic analysis, which would evaluate the potential of those projects to contribute to a cumulatively considerable impact. Therefore, in combination with other past, present, and foreseeable future projects, the future Tier Three or Tier Four projects allowed under the proposed project **would not contribute to a cumulatively considerable impact**.

2.8.4.3 Road Safety

Refer to the significance guideline in Section 2.8.3.3 above. Cumulative projects in the region include surrounding jurisdictions' general plans and regional roadway plans such as the SANDAG RTP and Southern California Association of Governments (SCAG) RTP. It is possible that older roadways in the region may not be adequate by existing roadway standards. Additionally, many unincorporated areas that surround the County, including areas within the Counties of Riverside and Imperial, have rural roadway conditions similar to the unincorporated County. Therefore, cumulative projects in these areas would face the same traffic operational concerns such as roadway networks that include existing roadways with horizontal and vertical curves sharper than existing standards, increased traffic on rural roads with slow moving agricultural vehicles, increased risk to pedestrians and bicyclists by increasing and/or redistributing traffic patterns, or hazards from at-grade rail crossings. While cumulative projects

would not preclude improvements to roadways with potential hazards, there is no guarantee that these improvements would be constructed concurrently with the anticipated increase in vehicle trips on these roadways. Therefore, cumulative projects would result in a cumulatively considerable impact to road safety.

Tier One and Tier Two

As described in Section 2.8.3.3, access roads would be specific to the needs of the project and are not expected to result in unsafe design features or unsafe configurations because they would be constructed according to the San Diego County Public Road Standards, San Diego County Private Road Standards, and the San Diego County Consolidated Fire Code. Therefore, Tier One and Tier Two facilities developed under the proposed project **would not contribute to a cumulatively considerable impact.**

Tier Three and Tier Four

As described in Section 2.8.3.3, all future Tier Three and Tier Four projects will be subject to discretionary review. If road improvements are required, they would be constructed according to the San Diego County Public Road Standards, San Diego County Private Road Standards, and the San Diego County Consolidated Fire Code. Additionally, the proposed project would not place incompatible uses (e.g., farm equipment) on existing roadways. Therefore, Tier Three and Tier Four facilities developed under the proposed project **would not contribute to a cumulatively considerable impact.**

2.8.4.4 Emergency Access

Refer to the significance guideline in Section 2.8.3.4 above. Cumulative projects include those in the County and surrounding jurisdictions. Existing conditions in these areas may include inadequate roadway widths, dead-end roads, one-way roads, and gated communities, all of which have the potential to impair emergency access. However, cumulative emergency access impacts would be limited to the immediate vicinity of the impact, such as multiple obstructions to emergency access along the same route to an emergency care facility hospital. In addition, most cumulative projects, such as those identified in the SANDAG RTP, SCAG RTP, and applicable general plans, which propose the construction of new roadways, would be required to meet current state and applicable jurisdictional standards, in addition to CEQA requirements. Community plans would also be required to consider local public and fire access roads to fully address emergency access requirements. The exception to this would be projects on tribal land; however, it would be unlikely for cumulative projects on tribal lands to occur simultaneously and in close enough proximity to one another to create a potentially cumulatively significant emergency access impact on roadways in the County (County of San Diego 2011b). Therefore,

cumulative project impacts would be considered less than significant because emergency access impacts would be limited to the immediate vicinity of a project area and associated impacts would be considered direct, not cumulative.

Tier One and Tier Two

As described in Section 2.8.3.4, the development of any access roads would be required to comply with the San Diego County Public Road Standards and San Diego County Private Road Standards, which provide guidance for roadway and transportation facility development and require that sufficient emergency access is provided in new development. Additionally, the proposed project would be required to comply with the San Diego County Consolidated Fire Code for projects with building permits, which dictates minimum design standards for “Fire Apparatus Access Roads” and includes minimum road standards, secondary access requirements, and restrictions for gated communities. Therefore, Tier One and Tier Two facilities developed under the proposed project **would not contribute to a cumulatively considerable impact** associated with emergency access.

Tier Three and Tier Four

As described in Section 2.8.3.4, all future Tier Three and Tier Four projects will be subject to discretionary review. If road improvements are required, they would be constructed according to the San Diego County Public Road Standards, San Diego County Private Road Standards, and the San Diego County Consolidated Fire Code. Therefore, Tier Three and Tier Four facilities developed under the proposed project **would not contribute to a cumulatively considerable impact** associated with emergency access.

2.8.4.5 Alternative Transportation

Refer to the significance guideline in Section 2.8.3.5 above. Cumulative projects, consistent with applicable general plans, could locate land uses that are dependent on alternative transportation in areas that were not planned for in existing public transportation, plans, or programs such as SANDAG RTP and SCAG RTP. If cumulative projects in surrounding jurisdictions are not effectively communicated and planned with agencies managing alternative transportation in the region, conflicts would occur. However, most cumulative projects would be required to comply with existing federal, state, and local regulations, such as the Americans with Disabilities Act, Highway Capacity Manual 2000, Transportation Development Act funds, 2030 RTP, 2006 RTIP, and any applicable community plans or jurisdictional standards, such as a zoning ordinance (County of San Diego 2011b). However, since the majority of cumulative projects would be required to comply with existing regulations, cumulative project impacts would be considered **less than significant**.

Tier One and Tier Two

As described in Section 2.8.3.5, future Tier One and Tier Two facilities would not decrease the performance or safety of public transit, bicycle, or pedestrian facilities. Therefore, Tier One and Tier Two facilities developed under the proposed project **would not contribute to a cumulatively considerable impact** associated with alternative transportation.

Tier Three and Tier Four

As described in Section 2.8.3.5, future Tier Three and Tier Four facilities would not decrease the performance or safety of public transit, bicycle, or pedestrian facilities. Therefore, Tier Three and Tier Four facilities developed under the proposed project **would not contribute to a cumulatively considerable impact** associated with alternative transportation.

2.8.5 Significance of Impacts Prior to Mitigation

The proposed project would result in potentially significant direct and cumulative impacts associated with conflicts with a plan, policy, or ordinance that establishes measures of the effectiveness of the circulation system performance due to the development of multiple Tier One, Two, Three, and Four facilities (**TR-1** through **TR-4**). The proposed project would not result in potentially significant impacts relative to conflicts with the CMP, road safety, emergency access, and alternative transportation.

2.8.6 Mitigation Measures

The proposed project consists of an amendment to the Zoning Ordinance related to equine uses and is not project-specific. There is no way to know at this stage which specific future equine uses may result in direct and cumulative impacts caused by adoption of the proposed project due to variables such as facility size, access road conditions, and existing roadway LOS. However, it has been determined that there is potential for significant impacts to occur as a result of the development of future Tier One, Tier Two, Tier Three, and Tier Four equine uses allowed under the proposed project (**TR-1** through **TR-4**).

The County of San Diego has developed an overall programmatic solution that addresses existing and projected future road deficiencies in the unincorporated portion of San Diego County. This program includes the adoption of a Transportation Impact Fee (TIF) program to fund improvements to roadways necessary to mitigate potential cumulative impacts caused by traffic from future development. Based on SANDAG regional growth and land use forecasts, the SANDAG Regional Transportation Model was utilized to analyze projected buildout (year 2030) development conditions on the existing mobility element roadway network throughout the unincorporated area of the County.

M TR-1: Payment of the appropriate Transportation Impact Fee (TIF) shall be required at issuance of any building permits for Tier One through Four equine facilities.

2.8.7 Conclusion

The following discussion provides a synopsis of the conclusion reached in each of the above impact analyses, and the level of impact that would occur after mitigation measures are implemented.

Conflict with Plan, Policy, or Ordinance

The proposed project could result in the development of several stables which would add traffic to roadway segments in the County that are either currently operating below acceptable LOS, or forecasted to operate below acceptable LOS. Based on these operations and the limited reserve capacity to accept additional traffic volumes, potentially significant impacts have been identified on several segments within the various CPAs studied (**TR-1** through **TR-4**). Payment of the County's TIF **would reduce potentially significant impacts to a less-than-significant level.**

Conflict with CMP

The proposed project would not result in significant impacts relative to conflicts with the CMP.

Road Safety

The proposed project would not result in significant impacts relative to road safety.

Emergency Access

The proposed project would not result in significant impacts relative to emergency access.

Alternative Transportation

The proposed project would not result in significant impacts relative to alternative transportation.

**Table 2.8-1
Roadway Lane Miles by Level of Service
Existing Conditions**

Community Planning Area	Lane Miles					
	LOS E			LOS F		
	State Highway	ME Roads	Total	State Highway	ME Roads	Total
<i>Northwestern</i>						
Bonsall	3.0	7.0	10.0	9.0	0.0	9.0
Fallbrook	0.0	23.0	23.0	1.0	4.0	5.0
N.C. Metro	0.0	6.0	6.0	0.0	5.0	5.0
Pala–Pauma Valley	2.0	2.0	4.0	4.0	0.0	4.0
Pendleton/De Luz	0.0	0.0	0.0	0.0	0.0	0.0
Rainbow	0.0	1.0	1.0	0.0	2.0	2.0
San Dieguito	0.0	11.0	11.0	0.0	24.0	24.0
Valley Center	0.0	11.0	11.0	0.0	14.0	14.0
<i>Northwestern Subtotal</i>	<i>5.0</i>	<i>61.0</i>	<i>66.0</i>	<i>14.0</i>	<i>49.0</i>	<i>63.0</i>
<i>Southwestern</i>						
Alpine	0.0	9.0	9.0	0.0	7.0	7.0
County Islands	0.0	3.0	3.0	0.0	0.0	0.0
Crest/Dehesa	0.0	0.0	0.0	0.0	0.0	0.0
Jamul/Dulzura	4.0	3.0	7.0	14.0	0.0	14.0
Lakeside	3.0	8.0	11.0	6.0	14.0	20.0
Otay	0.0	0.0	0.0	0.0	0.0	0.0
Ramona	1.0	4.0	5.0	2.0	4.0	6.0
Spring Valley	0.0	4.0	4.0	0.0	3.0	3.0
Sweetwater	0.0	1.0	1.0	0.0	0.0	0.0
Valle de Oro	5.0	5.0	10.0	0.0	5.0	5.0
<i>Southwestern Subtotal</i>	<i>13.0</i>	<i>37.0</i>	<i>50.0</i>	<i>22.0</i>	<i>33.0</i>	<i>55.0</i>
<i>Eastern</i>						
Central Mountain	0.0	0.0	0.0	0.0	0.0	0.0
Desert	0.0	4.0	4.0	0.0	1.0	1.0
Julian	0.0	0.0	0.0	0.0	0.0	0.0
Mountain Empire	5.0	0.0	5.0	9.0	0.0	9.0
North Mountain	0.0	0.0	0.0	0.0	0.0	0.0
<i>Eastern Subtotal</i>	<i>5.0</i>	<i>4.0</i>	<i>9.0</i>	<i>9.0</i>	<i>1.0</i>	<i>10.0</i>
Total	23.0	102.0	125.0	45.0	83.0	128.0

Source: County of San Diego 2011c, General Plan Update EIR (adopted August 3, 2011)

General Notes:

Values shown are miles of roadway.

ME Roads = Mobility Element Roadways

**Table 2.8-2
Existing Roadway Segment Operations**

Community Planning Area/Street Segment	Existing Capacity (LOS) ^e	Existing Traffic Volumes			
		Weekday		Weekend	
		ADT ^b	LOS ^c	ADT	LOS
<i>Alpine</i>					
Alpine Boulevard: Boulders Road to Louise Drive	16,200	24,260	F	26,270	F
Tavern Road: Alpine Boulevard to Arnold Way	16,200	12,930	E	14,000	E
<i>Bonsall</i>					
S. Mission Road: S. Via Monserate to SR-76	16,200	18,280	F	13,140	E
Mission Road (SR 76): Mission Road to Via Monserate	16,200	17,290	F	12,430	E
<i>Fallbrook</i>					
S. Mission Road: Via Encinas Drive to S. Via Monserate	16,200	24,000	F	21,260	F
SR-76: Old Highway 395 to I-15 SB Ramps	34,200	25,130	C	21,290	B
<i>Jamul</i>					
SR-94: Melody Road to Otay lakes Road	16,200	6,230	C	6,750	C
<i>Julian</i>					
SR-78: SR79 to Whispering Pines Drive	16,200	3,870	B	5,240	C
SR-79: Main Street to Oak Land Road	16,200	1,760	A	2,380	B
<i>Lakeside</i>					
SR-67: Johnson Lake Road to Posthill Road	16,200	21,510	F	18,930	F
Lake Jennings Park Road: Blossom Valley Road to I-8 WB Ramps	16,200	16,250	F	14,300	E
<i>North County Metro</i>					
SR-78: Bear Valley Parkway to San Pasqual Road	16,200	15,680	E	13,500	E
Valley Center Road: Woods Valley Road to City Limits	34,200	21,320	B	18,300	B
Valley Center Road: City Limits to Lake Wohlford Road (S.)	34,200	24,930	C	21,400	B
Bear Valley Parkway: SR-78 to Eldorado Drive	16,200	25,880	F	22,300	F
<i>Pala-Pauma</i>					
SR-76: Cole Grade Road to Valley Center Road	16,200	6,630	C	5,620	C
<i>Ramona</i>					
SR-67: Archie Moore Road to Mussey Grade Road	16,200	24,220	F	21,310	F
SR-78: Pine Street to Ninth Street	37,000	23,820	B	20,970	B
San Vicente Road: Warnock Drive to Wildcat Canyon Road	16,200	11,280	E	9,920	D
<i>San Dieguito</i>					
Del Dios Highway: Via Rancho Parkway to Mt. Israel Road	16,200	19,350	F	20,220	F
Del Dios Highway: Mt. Israel Road to Calle Ambiente	16,200	20,700	F	21,630	F
Del Dios Highway: Calle Ambiente to El Camino Del Norte	16,200	19,350	F	20,220	F
Via de la Valle: Paseo Delicias to El Camino Real	16,200	10,620	D	11,100	E
Paseo Delicias: Via de la Valle to El Camino Del Norte	16,200	22,670	F	23,690	F
<i>Spring Valley</i>					
Jamacha Boulevard: Galopago Street to Sweetwater Springs Blvd.	16,200	28,470	F	30,830	F

**Table 2.8-2
Existing Roadway Segment Operations**

Community Planning Area/Street Segment	Existing Capacity (LOS E) ^a	Existing Traffic Volumes			
		Weekday		Weekend	
		ADT ^b	LOS ^c	ADT	LOS
<i>Sweetwater</i>					
Bonita Road: San Miguel Road to Central Avenue	16,200	9,790	D	10,600	D
Sweetwater Road: Plaza Bonita Centerway to Willow Street	16,200	8,070	D	8,740	D
<i>Valle De Oro</i>					
Jamacha Road: Campo Road to Fury Lane	57,000	63,240	F	68,490	F
<i>Valley Center</i>					
Valley Center Road: Lilac Road to Woods Valley Road	37,000	24,930	C	22,560	B
Cole Grade Road: Cool Valley Road to Valley Center Road	16,200	8,280	D	7,480	D
Lilac Road: W. Lilac Road to Old Castle Road	16,200	5,700	C	5,150	C

Footnotes:

^a Roadway capacity based on the County of San Diego Standard Street Classification, Average Daily Vehicle Trips table.

^b Average Daily Traffic volumes

^c Level of Service

General Notes:

County of San Diego accepts segments in *italics* at LOS E or F operations.

**Table 2.8-3
Roadway Segments Where Adding Travel Lanes is Not Justified**

Community/Street Segment	GP Update Classification	From	To
<i>Alpine</i>			
Alpine Boulevard	2.2A: Light Collector w/Raised Median	Boulders Road	Louise Drive
<i>Fallbrook</i>			
SR-76	4.1A: 4-Ln Major Road w/Raised Median	Old Highway 395	I-15 SB Ramps
<i>Lakeside</i>			
SR-67	4.1A: 4-Ln Major Road w/Raised Median	Johnson Lake Road	Posthill Road
Lake Jennings Park Road	4.1B: 4-Ln Major Road w/Intermittent Turn Lanes	Blossom Valley Road	I-8 WB Ramps
<i>Ramona</i>			
SR-78	4.2B: Boulevard	Pine Street	Ninth Street
<i>San Dieguito</i>			
Del Dios Highway	2.2D: Community Collector w/Passing Lane	Via Rancho Parkway	Mt. Israel Road
Del Dios Highway	2.1D: Community Collector w/Passing Lane	Mt. Israel Road	El Camino Del Norte
Via de la Valle	2.1E: Light Collector	Paseo Delicias	El Camino Del Norte
Paseo Delicias	2.2A: Light Collector w/Raised Median	Via de la Valle	El Camino Del Norte

**Table 2.8-3
Roadway Segments Where Adding Travel Lanes is Not Justified**

Community/Street Segment	GP Update Classification	From	To
<i>Valle De Oro</i>			
Jamacha Road	6.2: Prime Arterial	Campo Road	Fury Lane
<i>Valley Center</i>			
Valley Center Road	4.2A: Boulevard	Lilac Road	Woods Valley Road

Source: County of San Diego 2011a, General Plan Mobility Element – Appendix I

**Table 2.8-4
Roadway Lane Miles by Level of Service
Buildout Conditions**

Community Planning Area	Lane Miles					
	LOS E			LOS F		
	State Highway	ME Roads	Total	State Highway	ME Roads	Total
<i>North County</i>						
1. Bonsall	3.0	7.0	10.0	9.0	0.0	9.0
2. Fallbrook	0.0	23.0	23.0	1.0	4.0	5.0
3. N.C. Metro	0.0	6.0	6.0	0.0	5.0	5.0
4. Pala–Pauma	2.0	2.0	4.0	4.0	0.0	4.0
5. San Dieguito	0.0	11.0	11.0	0.0	24.0	24.0
6. Valley Center	0.0	11.0	11.0	0.0	14.0	14.0
<i>Southwestern</i>						
7. Alpine	0.0	9.0	9.0	0.0	7.0	7.0
8. Jamul	4.0	3.0	7.0	14.0	0.0	14.0
9. Julian	0.0	0.0	0.0	0.0	0.0	0.0
10. Lakeside	3.0	8.0	11.0	6.0	14.0	20.0
11. Ramona	1.0	4.0	5.0	2.0	4.0	6.0
12. Spring Valley	0.0	4.0	4.0	0.0	3.0	3.0
13. Sweetwater	0.0	1.0	1.0	0.0	0.0	0.0
14. Valle de Oro	5.0	5.0	10.0	0.0	5.0	5.0
Total	18.0	94.0	112.0	36.0	80.0	116.0

Source: County of San Diego 2011d, General Plan (adopted August 3, 2011)

General Notes:

Values shown are miles of roadway.

ME Roads = Mobility Element Roadways

**Table 2.8-5
Horizon Year 2030 Roadway Segment Operations**

Community Planning Area/Street Segment	Mobility Element Classification	Buildout Capacity (LOS D)	Buildout (GP Update) Traffic Volumes			
			Weekday		Weekend	
			ADT ^b	LOS ^c	ADT	LOS
<i>Alpine</i>						
Alpine Boulevard: Boulders Road to Louise Drive	Light Collector (2.2A)	13,500	20,300	F	19,590	F
Tavern Road: Alpine Boulevard to Arnold Way	Major Road (4.1A)	33,400	23,200	B	22,390	B
<i>Bonsall</i>						
S. Mission Road: S. Via Monserate to SR-76	Boulevard (4.2B)	25,000	25,500	E	21,500	C
Mission Road (SR-76): Mission Road to Via Monserate	Major Road (4.1A)	33,400	43,300	F	36,500	E
<i>Fallbrook</i>						
S. Mission Road: Via Encinas Drive to S. Via Monserate	Boulevard (4.2B)	25,000	24,000	D	21,260	C
SR-76: Old Highway 395 to I-15 SB Ramps	Major Road (4.1A)	33,400	40,400	F	35,790	E
<i>Jamul</i>						
SR-94: Melody Road to Otay lakes Road	Community Collector (2.1D)	13,500	15,300	E	14,760	E
<i>Julian</i>						
SR-78: SR-79 to Whispering Pines Drive	Light Collector (2.2D)	13,500	3,800	B	4,010	B
SR-79: Main Street to Oak Land Road	Light Collector (2.2D)	13,500	4,200	B	4,430	B
<i>Lakeside</i>						
SR-67: Johnson Lake Road to Posthill Road	Major Road (4.1A)	33,400	48,900	F	43,860	F
Lake Jennings Park Road: Blossom Valley Road to I-8 WB Ramps	Major Road (4.1B)	30,800	8,100	A	7,270	A
<i>North County Metro</i>						
SR-78: Bear Valley Parkway to San Pasqual Road	Major Road (4.1A)	33,400	15,400	B	13,720	A
Valley Center Road: Woods Valley Road to City Limits	Major Road (4.1A)	33,400	26,900	C	23,940	B
Valley Center Road: City Limits to Lake Wohlford Road (S.)	Major Road (4.1A)	33,400	26,900	C	23,940	B
Bear Valley Parkway: SR-78 to Eldorado Drive	Major Road (4.1A)	33,400	24,400	B	21,740	B
<i>Pal-Pauma</i>						
SR-76: Cole Grade Road to Valley Center Road	Community Collector (2.1D)	13,500	6,200	C	5,490	B

**Table 2.8-5
Horizon Year 2030 Roadway Segment Operations**

Community Planning Area/Street Segment	Mobility Element Classification	Buildout Capacity (LOS D) ^a	Buildout (GP Update) Traffic Volumes			
			Weekday		Weekend	
			ADT ^b	LOS ^c	ADT	LOS
<i>Ramona</i>						
SR-67: Archie Moore Road to Mussey Grade Road	Major Road (4.1A)	33,400	32,100	D	28,790	C
SR-78: Pine Street to Ninth Street	Boulevard (4.2B)	25,000	28,900	F	25,920	E
San Vicente Road: Warnock Drive to Wildcat Canyon Road	Community Collector (2.1D)	13,500	14,700	E	13,190	D
<i>San Dieguito</i>						
Del Dios Highway: Via Rancho Parkway to Mt. Israel Road	Light Collector (2.2D)	13,500	31,200	D	29,700	F
Del Dios Highway: Mt. Israel Road to Calle Ambiente	Community Collector (2.1D)	13,500	25,500	F	24,280	F
Del Dios Highway: Calle Ambiente to El Camino Del Norte	Community Collector (2.1D)	13,500	27,800	F	26,470	F
Via de la Valle: Paseo Delicias to El Camino Real	Light Collector (2.2A)	13,500	25,200	F	23,990	F
Paseo Delicias: Via de la Valle to El Camino Del Norte	Light Collector (2.2A)	13,500	23,200	F	22,090	F
<i>Spring Valley</i>						
Jamacha Boulevard: Galopago Street to Sweetwater Springs Blvd.	Major Road (4.1A)	33,400	27,000	C	26,050	C
<i>Sweetwater</i>						
Bonita Road: San Miguel Road to Central Avenue	Community Collector (2.1D)	13,500	6,900	C	6,660	C
Sweetwater Road: Plaza Bonita Centerway to Willow Street	Community Collector (2.1D)	13,500	13,800	E	13,320	D
<i>Valle De Oro</i>						
Jamacha Road: Campo Road to Fury Lane	Prime Arterial (6.2)	50,000	62,300	F	67,470	F
<i>Valley Center</i>						
Valley Center Road: Lilac Road to Woods Valley Road	Boulevard (4.2A)	27,000	17,100	A	15,480	A
Cole Grade Road: Cool Valley Road to Valley Center Road	Boulevard (4.2A)	27,000	17,900	A	16,200	A
Lilac Road: W. Lilac Road to Old Castle Road	Light Collector (2.2E)	10,900	7,900	D	7,150	D

Footnotes:

^a Roadway capacity based on the County's GP Update Mobility Element Framework (accepted August 3, 2011).

^b Average Daily Traffic volumes

^c Level of Service

General Notes:

County of San Diego accepts segments in *italics* at LOS E or F operations.

Table 2.8-6a
Project Trip Generation: Tier One

Trip Type	Weekday			Weekend		
	Number	Rate	ADT	Number	Rate	ADT
Employees	0	0	0	0	0	0
Deliveries ^a	1	4	4	1	4	4
Customers	2	2	4	2	2	4
Total	—	—	8	—	—	8

Footnotes:

^a A rate of four trips/delivery assumed the delivery vehicle is a large truck. This rate of two trips/vehicle (one trip in, one trip out) includes a 2.0 passenger car equivalent (PCE) factor to account for the added effect of the heavy vehicle on traffic flow.

General Notes:

A Tier One site allows boarding only of up to three horses not owned by the property owner.

Table 2.8-6b
Project Trip Generation: Tier Two

Trip Type	Weekday			Weekend		
	Number	Rate	ADT	Number	Rate	ADT
Employees	3	2	6	3	2	6
Deliveries ^a	1	4	4	1	4	4
Customers	5	2	10	10	2	20
Total	—	—	20	—	—	30

Footnotes:

^a A rate of four trips/delivery assumed the delivery vehicle is a large truck. This rate of two trips/vehicle (one trip in, one trip out) includes a 2.0 PCE factor to account for the added effect of the heavy vehicle on traffic flow.

General Notes:

A Tier Two site allows 10 horses per acre of useable area up to 50 horses and 5 acres.

Table 2.8-6c
Project Trip Generation: Tier Three

Trip Type	Weekday			Weekend		
	Number	Rate	ADT	Number	Rate	ADT
Employees	4	2	8	4	2	8
Deliveries ^a	1	4	4	1	4	4
Customers	8	2	16	16	2	32
Total	—	—	28	—	—	44

Footnotes:

^a A rate of four trips/delivery assumed the delivery vehicle is a large truck. This rate of two trips/vehicle (one trip in, one trip out) includes a 2.0 PCE factor to account for the added effect of the heavy vehicle on traffic flow.

General Notes:

A Tier Three site allows 10 horses per acre of useable area up to 100 horses and 10 acres.

**Table 2.8-7
Measure of Significant Project Impacts to Congestion of
Road Segments: Allowable Increases on Congested Road Segments**

Level of Service	Two-Lane Road	Four-Lane Road	Six-Lane Road
LOS E	200 ADT	400 ADT	600 ADT
LOS F	100 ADT	200 ADT	300 ADT

General Notes:

1. By adding proposed project trips to all other trips from a list of projects, this same table must be used to determine if total cumulative impacts are significant. If cumulative impacts are found to be significant, each project that contributes any trips must mitigate a share of the cumulative impacts.
2. The County may also determine impacts have occurred on roads even when a project's traffic or cumulative impacts do not trigger an unacceptable LOS, for example, when such traffic accounts for a significant amount of the remaining road capacity.

**Table 2.8-8
Near-Term Roadway Segment Operations**

Community Planning Area/Street Segment	Existing Capacity (LOS D) ^a	Weekday				Weekend			
		Existing		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ^f	Existing		Reserve Capacity (ADT until LOS E)	# Facilities before Significant Impact ^g
		ADT ^b	LOS ^c			ADT	LOS		
<i>Alpine</i>									
Alpine Boulevard: Boulders Road to Louise Drive	10,900	24,260	F	100	3	26,270	F	100	2
Tavern Road: Alpine Boulevard to Arnold Way	10,900	12,930	E	200	7	14,000	E	200	4
<i>Bonsall</i>									
S. Mission Road: S. Via Monserate to SR-76	10,900	18,280	F	100	3	13,140	E	200	4
Mission Road (SR-76): Mission Road to Via Monserate	10,900	17,290	F	100	3	12,430	E	200	4
<i>Fallbrook</i>									
S. Mission Road: Via Encinas Drive to S. Via Monserate	10,900			—	—	—	—	—	—
SR-76: Old Highway 395 to I-15 SB Ramps	30,800	25,130	C	5,670	>50	21,290	B	9,510	>50
<i>Jamul</i>									
SR-94: Melody Road to Otay Lakes Road	10,900	6,230	C	4,670	>50	6,750	C	4,150	>50

**Table 2.8-8
Near-Term Roadway Segment Operations**

Community Planning Area/Street Segment	Existing Capacity (LOS D) ^a	Weekday				Weekend			
		Existing		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ¹	Existing		Reserve Capacity (ADT until LOS E)	# Facilities before Significant Impact ²
		ADT ^b	LOS ^c			ADT	LOS		
<i>Julian</i>									
SR-78: SR-79 to Whispering Pines Drive	10,900	3,870	B	7,030	>50	5,240	C	5,660	>50
SR-79: Main Street to Oak Land Road	10,900	1,760	A	9,140	>50	2,380	B	8,520	>50
<i>Lakeside</i>									
SR-67: Johnson Lake Road to Posthill Road	10,900	21,510	F	100	3	18,930	F	100	2
Lake Jennings Park Road: Blossom Valley Road to I-8 WB Ramps	10,900	16,250	F	100	3	14,300	E	200	4
<i>North County Metro</i>									
SR-78: Bear Valley Parkway to San Pasqual Road	10,900	15,680	E	200	7	13,500	E	200	4
Valley Center Road: Woods Valley Road to City Limits	30,800	21,320	B	9,480	>50	18,300	B	12,500	>50
Valley Center Road: City Limits to Lake Wohlford Road (S.)	30,800	24,930	C	5,870	>50	21,400	B	9,400	>50
Bear Valley Parkway: SR-78 to Eldorado Drive	10,900	25,880	F	100	3	22,300	F	100	2
<i>Pala-Pauma</i>									
SR-76: Cole Grade Road to Valley Center Road	10,900	6,630	C	4,270	>50	5,620	C	5,280	>50
<i>Ramona</i>									
SR-67: Archie Moore Road to Mussey Grade Road	10,900	24,220	F	100	3	21,310	F	100	2
SR-78: Pine Street to Ninth Street	37,000	23,820	B	—	—	20,970	B	16,030	>50

**Table 2.8-8
Near-Term Roadway Segment Operations**

Community Planning Area/Street Segment	Existing Capacity (LOS D) ^a	Weekday				Weekend			
		Existing		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ¹	Existing		Reserve Capacity (ADT until LOS E)	# Facilities before Significant Impact ²
		ADT ^b	LOS ^c			ADT	LOS		
San Vicente Road: Warnock Drive to Wildcat Canyon Road	10,900	11,280	E	200	7	9,920	D	980	21
<i>San Dieguito</i>									
Del Dios Highway: Via Rancho Parkway to Mt. Israel Road	10,900	19,350	F	100	3	20,220	F	100	2
Del Dios Highway: Mt. Israel Road to Calle Ambiente	10,900	20,700	F	100	3	21,630	F	100	2
Del Dios Highway: Calle Ambiente to El Camino Del Norte	10,900	19,350	F	100	3	20,220	F	100	2
Via de la Valle: Paseo Delicias to El Camino Real	10,900	10,620	D	280	10	11,100	E	200	4
Paseo Delicias: Via de la Valle to El Camino del Norte	10,900	22,670	F	100	3	23,690	F	100	4
<i>Spring Valley</i>									
Jamacha Boulevard: Galapago Street to Sweetwater Springs Blvd.	10,900	28,470	F	100	3	30,830	F	100	2
<i>Sweetwater</i>									
Bonita Road: San Miguel Road to Central Avenue	10,900	9,790	D	1,110	39	10,600	D	300	6
Sweetwater Road: Plaza Bonita Centerway to Willow Street	10,900	8,070	D	2,830	101	8,740	D	2,160	48
<i>Valle De Oro</i>									
Jamacha Road: Campo Road to Fury Lane	57,000	63,240	F	100	3	68,490	F	100	2

**Table 2.8-8
Near-Term Roadway Segment Operations**

Community Planning Area/Street Segment	Existing Capacity (LOS D) ^a	Weekday				Weekend			
		Existing		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ¹	Existing		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ²
		ADT ^b	LOS ^c			ADT	LOS		
<i>Valley Center</i>									
Valley Center Road: Lilac Road to Woods Valley Road	37,000	24,930	C	12,070	>50	22,560	B	14,440	>50
Cole Grade Road: Cool Valley Road to Valley Center Road	10,900	8,280	D	2,620	>50	7,480	D	3,420	>50
Lilac Road: W. Lilac Road to Old Castle Road	10,900	5,700	C	5,200	>50	5,150	C	5,750	>50

Footnotes:

^a Roadway capacity based on the County of San Diego Standard Street Classification, Average Daily Vehicle Trips table.

^b Average Daily Traffic volumes

^c Level of Service

^d Or until significant impact if already LOS E or LOS F.

General Notes:

1. Worst-case weekday trip generation is 28 ADT for a Tier Three equine facility.
2. Worst-case weekend trip generation is 44 ADT for a Tier Three equine facility.
3. County of San Diego accepts segments in *italics* at LOS E or F operations.

**Table 2.8-9
Buildout Roadway Segment Operations**

Community Planning Area/Street Segment	Mobility Element Capacity (LOS D) ^a	Weekday				Weekend			
		Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ¹	Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ²
		ADT ^b	LOS ^c			ADT	LOS		
<i>Alpine</i>									
Alpine Boulevard: Boulders Road to Louise Drive	13,500	20,300	F	100	3	19,590	F	100	2
Tavern Road: Alpine Boulevard to Arnold Way	33,400	23,200	B	15,800	>50	22,390	B	11,010	>50

**Table 2.8-9
Buildout Roadway Segment Operations**

Community Planning Area/Street Segment	Mobility Element Capacity (LOS D) ^a	Weekday				Weekend			
		Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ¹	Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ²
		ADT ^b	LOS ^c			ADT	LOS		
<i>Bonsall</i>									
S. Mission Road: S. Via Monserate to SR-76	25,000	25,500	E	200	7	21,500	C	3,500	>50
Mission Road (SR-76): Mission Road to Via Monserate	33,400	43,300	F	100	3	36,500	E	200	4
<i>Fallbrook</i>									
S. Mission Road: Via Encinas Drive to S. Via Monserate	25,000	24,000	D	1,000	35	21,260	C	3,740	>50
SR-76: Old Highway 395 to I-15 SB Ramps	33,400	40,400	F	100	3	35,790	E	200	4
<i>Jamul</i>									
SR-94: Melody Road to Otay Lakes Road	13,500	15,300	E	200	7	14,760	E	200	4
<i>Julian</i>									
SR-78: SR-79 to Whispering Pines Drive	13,500	3,800	B	9,700	>50	4,010	B	9,490	>50
SR-79: Main Street to Oak Land Road	13,500	4,200	B	9,300	>50	4,430	B	9,070	>50
<i>Lakeside</i>									
SR-67: Johnson Lake Road to Posthill Road	33,400	48,900	F	100	3	43,860	F	100	2
Lake Jennings Park Road: Blossom Valley Road to I-8 WB Ramps	30,800	8,100	A	22,700	>50	7,270	A	23,530	>50
<i>North County Metro</i>									
SR78: Bear Valley Parkway to San Pasqual Road	33,400	15,400	B	18,000	>50	13,720	A	19,680	>50
Valley Center Road: Woods Valley Road to City Limits	33,400	26,900	C	6,500	>50	23,940	B	9,460	>50
Valley Center Road: City Limits to Lake Wohlford Road (S.)	33,400	26,900	C	6,500	>50	23,940	B	9,460	>50
Bear Valley Parkway: SR-78 to Eldorado Drive	33,400	24,400	B	9,000	>50	21,740	B	11,660	>50

**Table 2.8-9
Buildout Roadway Segment Operations**

Community Planning Area/Street Segment	Mobility Element Capacity (LOS D) ^a	Weekday				Weekend			
		Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ^f	Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ^f
		ADT ^b	LOS ^c			ADT	LOS		
<i>Pala–Pauma</i>									
SR-76: Cole Grade Road to Valley Center Road	13,500	6,200	C	7,300	>50	5,490	B	8,010	>50
<i>Ramona</i>									
SR-67: Archie Moore Road to Mussey Grade Road	33,400	32,100	D	1,300	46	28,790	C	4,610	>50
SR-78: Pine Street to Ninth Street	25,000	28,900	F	100	3	25,920	E	200	4
San Vicente Road: Warnock Drive to Wildcat Canyon Road	13,500	14,700	E	200	7	13,190	D	310	7
<i>San Dieguito</i>									
Del Dios Highway: Via Rancho Parkway to Mt. Israel Road	13,500	31,200	F	100	3	29,700	F	100	2
Del Dios Highway: Mt. Israel Road to Calle Ambiente	13,500	25,500	F	100	3	24,280	F	100	2
Del Dios Highway: Calle Ambiente to El Camino Del Norte	13,500	27,800	F	100	3	26,470	F	100	2
Via de la Valle: Paseo Delicias to El Camino Real	10,900	25,200	F	100	3	23,990	F	100	2
Paseo Delicias: Via de la Valle to El Camino del Norte	13,500	23,200	F	100	3	22,090	F	100	2
<i>Spring Valley</i>									
Jamacha Boulevard: Galopago Street to Sweetwater Springs Blvd.	33,400	27,000	C	6,400	>50	26,050	C	7,350	>50

**Table 2.8-9
Buildout Roadway Segment Operations**

Community Planning Area/Street Segment	Mobility Element Capacity (LOS D) ^a	Weekday				Weekend			
		Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ¹	Buildout 2030		Reserve Capacity (ADT until LOS E) ^d	# Facilities before Significant Impact ²
		ADT ^b	LOS ^c			ADT	LOS		
<i>Sweetwater</i>									
Bonita Road: San Miguel Road to Central Avenue	13,500	6,900	C	6,600	>50	6,660	C	6,840	>50
Sweetwater Road: Plaza Bonita Centerway to Willow Street	13,500	13,800	E	200	7	13,320	D	180	4
<i>Valle De Oro</i>									
Jamacha Road: Campo Road to Fury Lane	50,000	62,300	F	100	3	67,470	F	100	2
<i>Valley Center</i>									
Valley Center Road: Lilac Road to Woods Valley Road	27,000	17,100	A	9,900	>50	15,480	A	11,520	>50
Cole Grade Road: Cool Valley Road to Valley Center Road	27,000	17,900	A	9,100	>50	16,200	A	10,800	>50
Lilac Road: W. Lilac Road to Old Castle Road	10,900	7,900	D	3,000	>50	7,150	D	3,750	>50

Footnotes:

^a Roadway capacity based on the County's General Plan Update Mobility Element Framework (accepted August 3, 2011).

^b Average Daily Traffic volumes

^c Level of Service

^d Or until significant impact if already LOS E or LOS F.

General Notes:

1. Worst-case weekday trip generation is 28 ADT for a Tier Three equine facility.
2. Worst-case weekend trip generation is 44 ADT for a Tier Three equine facility.
3. County of San Diego accepts the segments in *italics* at LOS E or F operations.

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County of San Diego PDS
November 4, 2019

Attachment 2

Rancho Monserate Comments to Ocean Breeze EIR:
County of San Diego-Rio Prado Park Webpage



San Luis Rey River Park: Rio Prado Park Active Recreation Site

In 2009, DPR acquired a 68-acre park parcel at the end of Dulin Road within the San Luis Rey River Park Master Plan area. Design and environmental analysis were funded in July 2018. This site was formerly known as SLR Dulin, but has now been officially named Rio Prado Park.

Concept designs for the park have been developed, to view them click [here](#). The final concept plan will not be exactly like Concept Plan A or B. DPR will find out what features the community likes about each concept and the final concept will be a blend of what people like most. Park design and environmental analysis of the site will be completed in spring 2020. Next, DPR will seek funding for the construction phase of this project.

[Click here](#) to view a site map of the park.

To learn more about Rio Prado Park and the Bonsall Community Park Active Recreation Sites, review the [Rio Prado Park and Bonsall Community Park FAQs](#).

To learn more about the entire San Luis Rey River Park, review the [SLRRP FAQs](#).

[Please take our survey!](#)

For further information contact Park Project Manager Nina Pisano at nina.pisano@sdcounty.ca.gov.

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 November 4, 2019

County of San Diego
 San Luis Rey River Park FAQ

SAN LUIS REY RIVER PARK
 FREQUENTLY ASKED QUESTIONS
 COUNTY OF SAN DIEGO DEPARTMENT OF PARKS AND RECREATION

General Questions

1. **Where is the San Luis Rey River Park (SLRRP)?**
 The San Luis Rey River Park runs approximately nine miles along the San Luis Rey River, south of State Route 76, from Oceanside to Interstate 15.
2. **When did the County complete the San Luis Rey River Park Master Plan and what did it call for?**
 A master plan was approved in 2008 with a vision to create a "dynamic open space legacy balancing recreation and preservation, restoration, and interpretation of the San Luis Rey River's outstanding biological and cultural resources." The approved master plan called for active and passive recreation nodes, a network of multi-use trails, preserved open space, and staging areas. To read the master plan visit sdparks.org > Plans > Development Projects > San Luis Rey River Park Master Plan
3. **What projects are part of the San Luis Rey River Park?**
 Currently there are 3 active projects within the San Luis Rey River Park. This includes two Active Rec Sites: Bonsall Community Park (formerly known as SLR Downs) & Rio Prado Park (formerly known as SLR Dulin) that may include traditional park amenities like ballfields and playgrounds. The Middle ROW trail is also underway and will provide 1.5 miles of trail from the Bonsall bridge through the right-of-way of SR-76.
4. **How much land has been acquired so far?**
 The SLRRP Master Plan calls for 1600 acres open space preserve, 40 acres of active recreation, and over 20 miles of trails. To date the County owns 548 acres of open space, with 405 acres of Caltrans mitigation land to be acquired in the next several years. The County also owns the SLR Dulin and Rio Prado Park sites that form 124 acres of active recreation within the San Luis Rey River Park Master Plan area.
5. **What outreach has been done so far for San Luis Rey River Park?**
 The SLRRP Master Plan had extensive outreach starting in 2005. This included four public meetings, Master Plan Advisory Group meetings, multiple focus group meetings, and written surveys. The first design public meeting for the Bonsall Community Park and Rio Prado Park was held on 4/29/19 to receive community input on desired amenities/programs and identify community concerns that should be considered when designing these two park sites. There will be a second public meeting later in the summer of 2019 to present concept plans for each active recreation site and receive further community input.
6. **How can I stay informed?**
 The County will send save-the-date flyers to residents and businesses within a 1.5-mile radius of each project site before each public meeting. DPR will also continue to work with Community Sponsor/Planning Groups, and may post event announcements on social media (Facebook and

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SANDAG 1990 Traffic Generators Report

REGIONAL PARKS COMPARISON

SITE	SILVER STRAND	CARLEIL NATIONAL ADJUTANT	TOPREY PINES RESERVE	LOWER OTAY (County)	EL MONTE (County)	LAKE JENNINGS (County)	SANTITAS LAKES	LAKE MIWAMAN	SOUTH MISSION BEACH	CONNY POINT BROOKS	CAUSEWAY LAND (Private)	DESANDS COVE	PLAYA PACIFICA	CENTRAL BALBOA PARK	MORELEY FIELD	BALBOA GOLF COURSE & RECREATION	AVERAGE	RANGE	
Study Number	P-1	P-2	P-3	P-4	P-5	P-6	P-7	P-8	P-8	P-10	P-11	P-12	P-13	P-14	P-15	P-16			
Study Date	6/78,6/79	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78	7/78			
BACKGROUND DATA																			
Parking Spaces	1,785	405	606	180	485	50	1,000	140	271	793	583	605	608	1,750	346	377			
Shoreline (1,000 Ft)	23.5	-	19.8	70.8	-	2.5	20.8	26.4	2.4	4.0	-	2.4	12.0	-	-	-			
Acres	427.7	144	1,014.7	70	68.4	100	75.8	162	80.3	84.5	42	30	108	190.1	111.7	274.8			
Family Picnic Units	159	-	-	137	509	100	200	85	5	48	-	12	90	-	15	17			
TRAFFIC DATA																			
Average Weekday Traffic (AMCT)	1,144	2,282	1,374	381	172	368	460	638	1,720	2,348	3,128	1,870	15,798	17,785	4,378	6,804			
Saturday Traffic	1,085	3,710	2,688	1,240	390	548	480	605	3,050	4,390	2,128	3,038	38,400	16,840	4,820	6,280			
Sunday Traffic	1,440	4,294	3,406	1,154	720	270	700	805	3,090	5,840	1,740	3,038	27,108	21,300	4,842	6,900			
TRIP RATES																			
Vehicle Occupancy	0.8	0.7	1.3	2.1	0.4	7.4	0.5	4.8	8.5	3.0	5.3	2.8	18.5	10.2	12.8	17.5	6.7	0.4-18.5	
Parking Space	48.7	-	94.3	0.4	-	147.2	22.0	24.2	729.2	587.0	-	885.8	1,316.8	-	-	-	923.8	482.1-1,316.8	
Shoreline (1,000 Ft)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	48.7	5.4-147.2
Acres	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	88.1	15.8-148.3
Family Picnic Unit	2.7	-	1.3	0.4	1.8	3.7	6.1	3.8	21.8	38.4	74.4	55.7	149.3	118.5	38.2	24.0	3.4	1.3-81.1	
VEHICLE OCCUPANCY																			
Passengers per Auto	3.47	2.89	2.90	2.20	1.91	2.05	2.70	3.21	2.77	1.65	1.89	1.55	2.13	1.94	1.98	1.67	2.28	1.50-3.47	

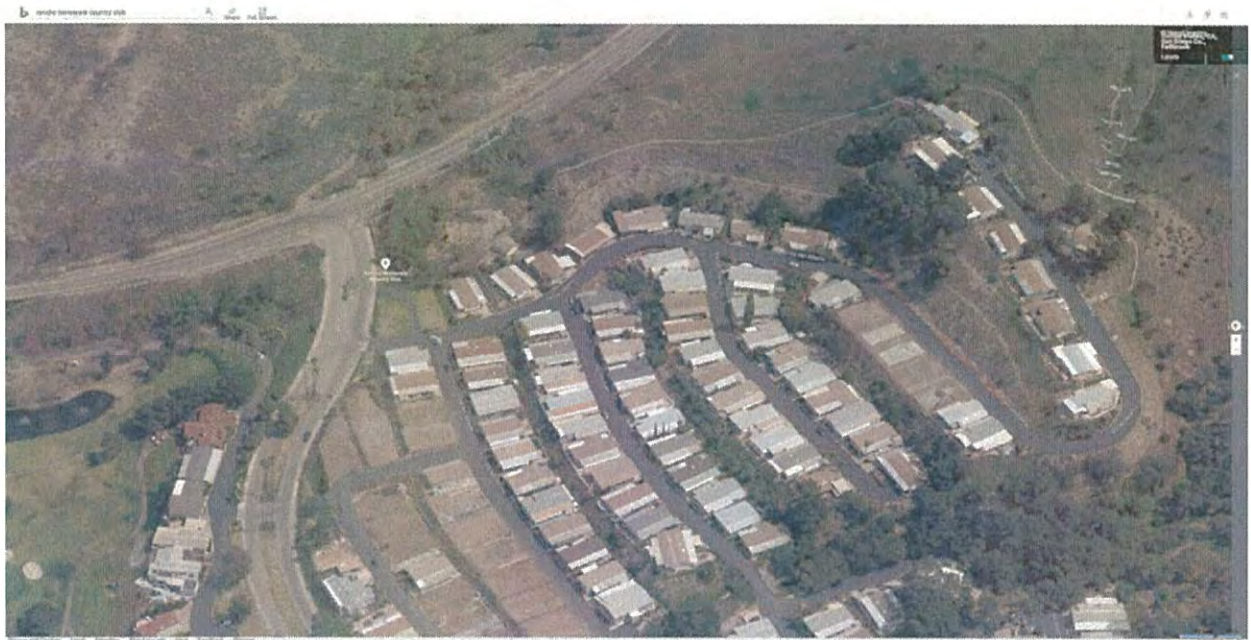
Revised: January 1990

Reference: Traffic Generation Report - May 1979

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November 4, 2019

Attachment 3

Rancho Monserate Comments to Ocean Breeze EIR:
Rancho Monserate – Dulin Road and Old 394



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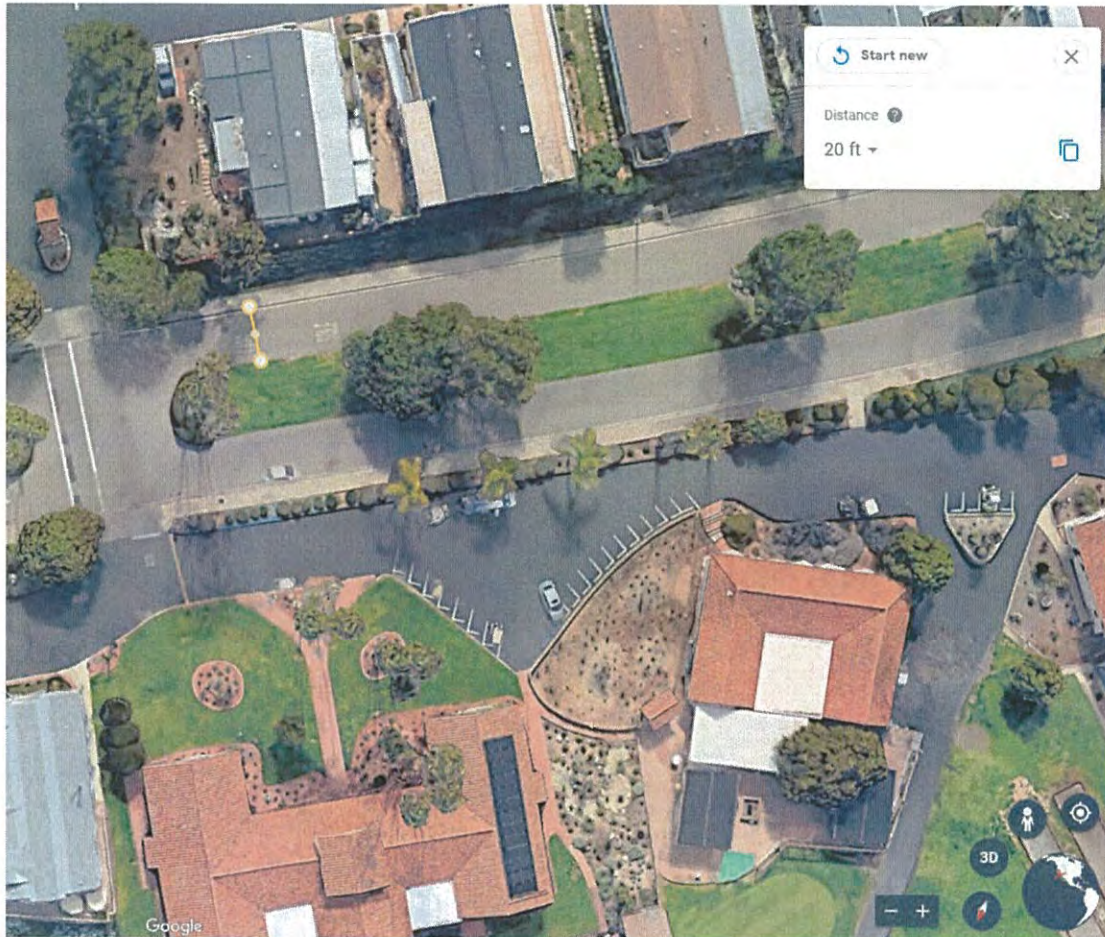
Rancho Monserate-Dulin Road at Western Project Boundary



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Project Environmental Coordinator
County of San Diego PDS
November 4, 2019





LOFTIN | BEDELL
ATTORNEYS AT LAW

Via U.S. Regular Mail and Electronic Mail (Jenna.Roady@sdcounty.ca.gov)

November 4, 2019

Jenna Roady
Project Environmental Coordinator
County of San Diego PDS
5510 Overland Avenue, Suite 110
San Diego, CA 92123-1239

RE: Intention to Adopt Findings and Statement of Reasons for Exemption from Additional Environmental Review, dated September 19, 2019, and related documents (collectively, the “**Environmental Documents**”) Ocean Breeze Ranch project: PDS2016-TM-5615; PDS2016-MUP-16-012; PDS2016-MUP-013; PDS2016-STP-16-032; and Environmental Log Number: PDS2015-ER-15-08-001 (“**Ocean Breeze Ranch**”).

Dear Ms. Roady:

I. Introduction and Preliminary Comments

This firm and the undersigned represent Rancho Monserate Country Club Homeowners Association Inc. (“**Rancho Monserate**”), the owners association representing the interests of approximately 235 households at the Rancho Monserate Mobilehome Park and community which is bisected by Dulin Road.

Rancho Monserate Mobilehome Park is an age restricted condominium mobilehome park in which the owners association owns the common areas and amenities, and the residents own the mobilehome (“**home**”), the space (“**unit**”) on which the mobilehome is located and the membership in the owners association. As a quiet, retirement community of folks 55 years and older, the population is composed of a higher percentage of elderly folks and people with disabilities than a standard community and includes heavy pedestrian traffic and golf cart access across and along Dulin Road.

The community, as a mobilehome park, includes homes in close proximity to Dulin Road given the design standards for mobilehome parks.

From the date of construction to the present time, Dulin Road has not been used as a public thoroughfare and has been maintained by Rancho Monserate without contribution from any public agency for said maintenance.

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This letter is in response to the Environmental Documents dated September 19, 2019, concerning Ocean Breeze Ranch. Separately, we understand Mr. Fagell sent, without authorization, minutes from Rancho Monserate, suggesting that they unconditionally supported the project. This is clearly not the case and is based in part on representations from Mr. Fagell that have been inaccurate or false. In fact, Mr. Fagell has been requesting that Rancho Monserate send a letter of support. Rancho Monserate has specifically declined Mr. Fagell's requests for a letter of support from Rancho Monserate, saying they are reviewing the environmental documents at present, given that the public comment period is still open.

D2

Rancho Monserate is not opposed to the density, and they were seeking additional information concerning the development, which has not been made available until the circulation of the environmental documents. Their opposition is premised on the specific, particular impacts from the configuration of circulation within the parcels, and its impact on Rancho Monserate. For example, they were previously informed that PA-3 would only use the Rancho Monserate portion of Dulin Road for emergency access. Additional issues related to use of Rancho Monserate's Dulin Road as ingress and egress for equestrian purposes. Now, in the environmental documents, they see Dulin Road proposed as the primary means of access for PA-3. Ocean Breeze Ranch 15183 Statement of Reasons, Pg. 3.

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Rancho Monserate is located on a steep hillside, which necessitates the use of golf carts to access common areas and mobilehomes. For most residents who reside on the hillside walking is not an option due to age and health. The common area amenities are located on the low level of the property and include, among other things, the clubhouse, office, card room, library, barbeque with outdoor patio seating and golf course. For most residents' access to these amenities is downhill and across Dulin Road.

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II. General Legal Standards Regarding CEQA

As the lead agency is well aware, the basic purposes of CEQA include "[i]nforming governmental decision makers and the public about the potential, significant environmental effects of proposed activities..." and also to [i]dentify the ways that environmental damage can be avoided or significantly reduced." 14. Cal. Code of Regs. § 15002. The EIR serves both protection of the environment, but also the right for "informed self government." Citizens of Goleta Valley v. Board of Supervisors, 52 Cal. 3d. 553, 564 (1990).

Courts look to "...adequacy completeness, and a good faith effort at full disclosure." 14 Cal. Code of Regs. § 15151.

We reiterate these points to highlight the concern that the adequacy and the completeness of CEQA Environmental Documents constitutes an essential component of the government and public participation in the development process. Incomplete or missing information, like those items highlighted in this letter, impair or prevent public participation—a veritable

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‘...environmental “alarm bell” whose purpose is to alert the public and its responsible officials to environmental changes before they have reached ecological points of no return.” County of Inyo v. Yorty, 32 Cal. App. 3d 795, 811 (1973).

Even where a project is consistent with development density established by comprehensive land use planning where an EIR was previously certified, review is appropriate to examine “project-specific significant effects which are peculiar to the project or its site.” 14 Cal. Code of Regs. § 15183. Here, we believe the Environmental Documents, particularly the checklist and the related traffic study and Fire Protection Plans do not support the findings.

For example, the FEIR for the County General Plan Update from 2011, specifically acknowledges “[t]he evaluation of peak hour intersection operations would be appropriate for addressing specific transportation corridors (i.e., intersections) that may be impacted by a proposed project. This approach is not feasible for the proposed project, due to its size.” Accordingly, it is reasonable to review and condition the proposed project based on its impact to circulation. San Diego County General Plan Update EIR, August 2011, Page 2.15-18

“Nothing in this section affects any requirement to analyze potentially significant offsite impacts and cumulative impacts of the project not discussed in the prior environmental impact report...” Cal. Pub. Res. Code § 21083.3. The prior environmental impact report for the comprehensive 2011 General Plan Update acknowledged it did not have the ability to consider project-level impacts.

We are concerned that the Environmental Documents do not adequately consider the impacts to Rancho Monserate and existing Dulin Road from the current configuration of Ocean Breeze Ranch—and is fatally flawed in failing to find significant impact both in the traffic study of impact to Dulin Road, as well as the impacts to the Rancho Monserate community in terms of risk to pedestrians and golf cart traffic, as well as the close proximity of mobilehome park homes to Dulin Road.

III. THE TRAFFIC STUDY CUMULATIVE IMPACTS ANALYSIS DOES NOT CONSIDER THE “TIER A” ACTIVE RECREATIONAL CENTER PROPOSED AS SLR DULIN OR SAN LUIS REY – RIO PRADO PARK, WHICH THREATENS TO IMPACT DULIN ROAD THROUGH RANCHO MONSERATE, AND WHICH HAS NO ROUTE FOR TRAFFIC THROUGH THE OCEAN BREEZE RANCH PROJECT.

According to the CEQA Guidelines, cumulative impacts refer to impacts “...which, when considered together, are considerable or which compound or increase other environmental impacts.” 14 Cal. Code of Regs. § 15355. The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other...reasonably foreseeable probable future projects.” *Id.* Most importantly,

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“[c]umulative impacts can result from individually minor but collectively significant projects taking place over a period of time.” *Id.*

In the traffic study cumulative impacts analysis, there is no mention of the proposed Rio Prado Park, immediately adjacent to the project’s terminus at Dulin Road and connection to Rancho Monserate.

The Visual Impact Analysis acknowledges that “[a]pproximately 40 acres of active recreational park development is proposed to be distributed between four “Tier A” sites as well as smaller passive “Tier B” recreational areas. Tier A sites proposed within the vicinity of the Project may be located ...on the northern and southern sides of the San Luis Rey River near the existing Rancho Monserate Country Club mobile home park, northeast of the Project.” Visual Impact Analysis for the Ocean Breeze Ranch Project, Page 26.

The sole access to the active recreational park is currently planned through Rancho Monserate, The potential access through the Project is gated with no thorough traffic.

Moreover, County Parks’ own website acknowledges that “[i]n 2009, DPR acquired a 68-acre park parcel at the end of Dulin Road within the San Luis Rey River Park Master Plan area.: “San Luis Rey River Park: Rio Prado Park Active Recreation Site”, available at: <http://www.sdparks.org/content/sdparks/en/park-pages/SanLuisReyRiverParkRioPradoParkActiveRecreationSite.html>.

Given that the County has considered the development of Rio Prado Park (“**Park**”) for an active recreational use since acquiring the property in 2009, and given the County’s additional purchase of an access parcel connecting the proposed park parcel directly to Dulin Road, the Park is well known to the applicant. Without virtue of a connection through Ocean Breeze Ranch and forcing all traffic through Rancho Monserate, Rio Prado Park should have been included and considered as to cumulative impacts concerning traffic, and related mitigation of those impacts—as it is “foreseeable” at the time of preparation of the environmental documents. *City of Antioch v. City Council of the City of Pittsburg*, 187 Cal. App. 3d 1325, 1336-1337 (1st Dist., 1986). The absence of this foreseeable project renders the cumulative impacts analysis fatally flawed as to the impacts on the secondary access at Dulin Road.

Dulin Road and its segments are operating at Level C, Old Highway 395/Dulin Road intersection is already at an unsatisfactory “E” Level of Service (“**LOS**”), and that the Old Highway 395/Dulin Road intersection drops to an “F” with the Project (See Traffic Impact Study, Tables F, G, and K, respectively). The contribution of the Ocean Breeze Ranch design to the particular traffic impacts from Rio Prado Park is likely to constitute an increment that is cumulatively considerable. Moreover, these impacts would also commend the consideration of project alternatives that direct flow in a reasonable manner.

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We urge that the traffic study be revised to consider the impacts from the Rio Prado Park upon Dulin Rd., in conjunction with Ocean Breeze Ranch. In particular, the Ocean Breeze Ranch will bring approximately 400 households within a short distance of the proposed Rio Prado Park, but apparently with no access except through Rancho Monserate, and the impacted intersection at Dulin Road. Using the County’s own summary table of Traffic Generators, regional parks average 59.1 trips per developed acre, 3.6 trips per undeveloped acre, and 5.7 trips per parking space. At roughly 124 acres, that is at least 446 weekday trips up to an excess of 7000 weekday trips. We further urge that the traffic study to be revised to include analysis of access routes through the Project located on Dulin Road and Lilac Lane for both the Project and the County Property (future Park) access through Rancho Monserate only for emergency.

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“A cumulative impact analysis which understates information concerning the severity and significance of cumulative impacts impedes meaningful public discussion and skews the decisionmaker’s perspective concerning the environmental consequences of the project, the necessity for mitigation measures, and the appropriateness of project approval. [See, *San Franciscans for Reasonable Growth v. City and County of San Francisco*, 151 Cal. App. 3d 61, 80 (1984)] An inadequate cumulative impact analysis does not demonstrate to an apprehensive citizenry that the governmental decisionmaker has in fact fully analyzed and considered the environmental consequences of its actions.” *Citizens to Preserve the Ojai v. County of Ventura*, 176 Cal. App. 3d 421, 431 (1985).

D14

IV. PROJECT ALTERNATIVES DO NOT CONSIDER RECONFIGURATION OF TRAFFIC WITHIN OCEAN BREEZE RANCH TO LESSEN THE IMPACT ON DULIN ROAD AND THE RESIDENTS OF RANCHO MONSERATE, NOR THE RESTRICTION OF ALL ACCESS THROUGH DULIN ROAD EXCEPT IN THE DECLARATION OF A FIRE EMERGENCY WITH AN EVACUATION ORDER.

Per 14 Cal. Code of Regs § 15126.6, an EIR must consider alternatives to substantially lessen significant effects of a project. *See also*, Cal. Pub. Res. Code § 21100(b)(3). Moreover, “...it is the policy of the state that public agencies should not approve projects as proposed if there are feasible alternatives or feasible mitigation measures available which would substantially lessen the significant environmental effects ofprojects...” Cal. Pub. Res. Code § 21002.

Courts have interpreted this command that “...an EIR for any project subject to CEQA review must consider a reasonable range of alternatives to the project, or to the location of the project, which: (1) offer substantial environmental advantages over the project proposal (Pub. Resources Code, § 21002); and (2) may be “feasibly accomplished in a successful manner” considering the economic, environmental, social and technological factors involved.” *Citizens of Goleta Valley v. Board of Supervisors*, 52 Cal.3d 553, 566 (1990). “[P]roject alternatives typically fall into one of two categories: on-site alternatives, which generally consist of different uses of the land under consideration; and off-site alternatives, which usually involve similar uses at different locations.” *Id.* The consideration of project

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alternatives to ameliorate significant impacts, should apply in cases of application of streamlined environmental review per 14 Cal. Code of Regs. § 15183 as well.

There do not appear to be any on-site project alternatives considered with regard to traffic circulation—only mitigation and improvement of a selection of intersections. Unfortunately, the lack of consideration of cumulative impacts, and the absence of trip counts resulting from the equestrian facility, arguably downplay not only the impact to the impacted Dulin Road intersection at Old Highway 395, but also impacts to the Dulin Road segments through Rancho Monserate, which has heavy foot traffic and golf cart traffic from senior-citizen residents.

One such alternative would be to provide for primary access to the proposed Rio Prado Park through the westerly boundaries of the Ocean Breeze Ranch project area. Additional alternatives could be to further restrict the access of residents and guests to the Equestrian Center and PA3, consistent with the developer and County representation that the access would be for emergencies only.

Alternatives to the proposed circulation plan could direct traffic away from impacted areas at Dulin Road, the Dulin Road segment through Rancho Monserate, and where the adjacent intersection has a significant impact with an “F” Level of Service. The absence of meaningful discussion of project alternatives with regard to circulation urges reconsideration, revision, and recirculation of the Environmental Documents to meet the level of contemplation reflected in 14 Cal. Code of Regs § 15126.6, and with “...meaningful information regarding alternatives” or “meaningful detail in the EIR” as to why there are no feasible alternatives. Laurel Heights Improvement Assn. v. Regents of University of California, 47 Cal. 3d. 376, 402-403 (1988).

D16

- V. THE TRAFFIC STUDY MAKES THE ASSUMPTION THAT THE PROPOSED ENTITLEMENTS TO THE EQUESTRIAN CENTER WILL NOT GENERATE EXTERNAL VEHICULAR TRIPS, DESPITE THE COUNTY’S SURVEYS AND CALCULATIONS IN 2013 FINDING A MINIMUM OF 28 WEEKDAY DAILY TRIPS, AND 44 WEEKEND DAILY TRIPS FOR TIER 3 EQUESTRIAN USES

The traffic study states “[t]he existing on-site equestrian center will be preserved for the private use of its owners and, therefore, is not anticipated to generate external vehicular trips.” Traffic Impact Study, Page 1. However, this assumption is unsubstantiated, and contradicted by previous EIRs on this topic at the County. “The data in an EIR must not only be sufficient in quantity, it must be presented in a manner calculated to adequately inform the public and decision makers, who may not be previously familiar with the details of the project. “[I]nformation ‘scattered here and there in EIR appendices’ or a report ‘buried in an appendix,’ is not a substitute for ‘a good faith reasoned analysis.’ Vineyard Area Citizens for Responsible Growth, Inc. v. City of Rancho Cordova, 40 Cal. 4th 412, 442 (2007).

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There appear no such restrictions on the equestrian center’s use in the Major Use Permit application or reflected in other documents. For example, in the Fire Protection Plan, “[t]he EC is a nationally renowned equestrian training and breeding facility, consisting of ranch staff housing, barns, indoor and outdoor stables, arenas, large pastures, veterinary buildings, business office and equipment/storage buildings. The EC has plans to add thirteen (13) new structures most of which consist of outside equestrian arenas, pasture pens, an exercise pool, and one maintenance shop.” Fire Protection Plan, Section 1.2, Page 2. The project area for the equestrian center is 203.15 acres. The current equestrian facility is increasing from 165 horses to “a maximum of 400 horses...” 15183 Statement of Reasons, Page. 4.

In the 2013 EIR for the County’s Equine Ordinance, the County created project trip generation from currently operating stables, separated into four “tiers.” County Equine Ordinance –Environmental Impact Report 2.8-11. The largest stables are “Tier Four” facilities, which have more than 10 acres of useable land. The project area for the equestrian center is 203.15 acres—putting the property well into “Tier Four.” The County explains “[a]s described in Section 2.8.3.1, a Tier Three facility would generate approximately 28 weekday daily trips and 44 weekend daily trips. Trip generation rates have not been calculated for a Tier Four facility since the potential for Tier Four facilities is limited due to the requirement of more than 10 acres of useable land. It is assumed that a Tier Four facility would have slightly greater trip generation rates than Tier Three facilities.” County Equine Ordinance – Environmental Impact Report 2.8-21, Section 2.8.3.2.

Moreover, the traffic study is unclear in that it fails to discuss the tie-ins to circulation from the Equestrian Center. The Fire Protection Plan, however, states: “[a] secondary access for emergencies will eventually be provided during Phase 2 of the OBR development, by way of Dulin Road which exits out to the east through PA-3 eastward to the Rancho Monserate Mobile Home Park, and tying into Old Highway 395. The road that travels through PA3 is a private road that will have security gates at both ends.” The secondary access for the equestrian center is through Rancho Monserate.

The lack of discussion of PDS2016-MUP-16-013 should render the traffic study fatally flawed. The tie-ins of the Equestrian Center to neighboring circulation should be clearly delineated. Traffic impacts for a Tier Four facility should be considered, at a minimum. Moreover, the “emergency access” claims should be substantiated—the gate designs now provide for key card access, but defer final design decisions to City officials without clarification of what agency, and what local keyholders will determine whether an emergency or evacuation exists (as opposed to Knox-box only access).

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VI. BOTH THE TRAFFIC STUDY AND THE FIRE PROTECTION PLAN FOR THE EQUESTRIAN FACILITY FAIL TO DISCUSS HOW SOME 400 HORSES COULD BE SAFELY EVACUATED IN THE EVENT OF A FIRE, WHICH WOULD ARGUABLY RESULT IN A SIGNIFICANT IMPACT FOR INADEQUATE EMERGENCY ACCESS.

As discussed above, the traffic study wholly disclaims any trips from the Equestrian Center. This seems improbable, when the facility is both permitting previously unpermitted facilities, and is also expanding to support over twice the amount of horses in a smaller area, with including dwellings, support buildings, therapy pools, and water. The mere increase in staff to support the increase in animals is likely to increase the number of daily trips.

D20

However, these trip counts pale in comparison to the potential impacts from an emergency evacuation in the event of a fire—evacuations which would require between 100 and 300 horse trailers assuming a mix of 1, 2, and 4 horse carriers. There is no discussion of the practical, logistical difficulties of evacuation through this area, despite the history of fires in this area.

D21

We understand, anecdotally, that the equestrian facility plans to shelter horses in place in the event of a wildfire. After the devastation of Rancho Monserate from the Lilac Fire, we are wary of such a plan—particularly with the roads bearing evacuations of over 390 new homes, and staff. In the event the Equestrian Center cannot shelter in place, they would have to remove promptly, 400 horses, through the strained nearby infrastructure, with rapidly advancing fires (again the realization that shelter-in-place needed to be abandoned would only be discovered at a late hour).

D22

The San Diego County General Plan Update EIR made no such consideration for project-level emergency and evacuation concerns.

VII. THE PROJECT DISCUSSIONS OF “EMERGENCY” AND “EVACUATION ACCESS” ARE USED INCONSISTENTLY IN THE EIR WITH “SECONDARY ACCESS”, LEADING TO CONFUSION AS TO WHETHER MEANINGFUL RESTRICTIONS ON ACCESS TO DULIN ROAD WILL BE IMPLEMENTED.

In the Environmental Documents’ components, access to Dulin Road from the Equestrian Center is used interchangeably as “emergency and evacuation” but separately “secondary access.” However, the Major Use Permit application, and the related landscape design standards for the gate do not provide any certainty that the access will be restricted to and from the Equestrian Center. Rather, the gates appear to provide for internal and exterior card access, which could be configured at the whim of the programmer.

D23

Rancho Monserate was also informed previously by the applicant that only emergency traffic from PA3 would enter Dulin Road. However, the entitlements and traffic study do not carry

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any such restriction. The traffic study presumes that all traffic from PA3 will cross into Dulin Road: "This roadway will be gated. It is likely that a portion of the 15 homes may also use the two project intersections along West Lilac Road to reach regional destinations such as Vista or Oceanside. For the purposes of assessing a worst-case traffic condition, this study has calculated traffic operations with all 15 of these homes using the Dulin Road access and no other routes to West Lilac Road." Traffic Impact Study, Pg. 40. Similarly, the project documents do not clearly indicate that the residential properties in PA-3 will be horse properties, with concomitant impacts from horse trailer traffic, as well as similar risk in the event of an evacuation. There is no discussion of the difference from these impacts, and reference to the County Equestrian Ordinance.

D24

Without certainty in these areas, "[f] actual inconsistencies and lack of clarity in the FEIR leave the reader—and the decision makers—without substantial evidence for concluding..." that the assumptions in the traffic study, and the related representations of the project applicant will be borne out in the actual entitlements. Vineyard Area Citizens for Responsible Growth, Inc. v. City of Rancho Cordova, 40 Cal. 4th 412, 439 (2007).

VIII. CONCLUSION.

As a pragmatic neighbor, Rancho Monserate participated in the development charette and town hall process, to seek information and encourage a design that both is respectful of the existing, longstanding land uses in the area, as well as considering safety concerns in light of the limits on existing infrastructure and historic events like the devastating Lilac Fire. However, we have learned that Rancho Monserate was not provided special notice of the Fallbrook Planning Group Subcommittee meeting, notwithstanding its prior request.

D25

Rancho Monserate has requested alternative traffic designs. Rancho Monserate understands the Fallbrook Planning Group requested a traffic speed hump cross-walk, widened to accommodate wheelchairs, and golf carts with high-visibility striping on Dulin Road. In considering this option, Rancho Monserate respectfully requests that flashing, lighted cross-walks be required to alert drivers' intention, given the absence of traffic lights.

D26

A review of the Environmental Documents indicated the substantial impact of the significant increase in traffic through the senior restricted mobile home park has not been considered or addressed, particularly given the cumulative impact of the Project circulation design, coupled with the limited proposed access to Rio Prado Park. This will result in a significant, irreversible, environmental effect, and undermines support for the findings in the Statement of Reasons for Exemption.

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Rancho Monserate respectfully requests that the traffic study included in the Environmental Documents be revised to consider the glaring absence of cumulative impacts analysis of a

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large, foreseeable development, the impact of the proposed design on neighboring communities, and the other deficiencies identified above.

Specifically, Rancho Monserate requests pursuant to 14 Cal. Code of Regs. § 15002(h), that (1) an alternative considering ingress and egress to the proposed Project and Park remain through the proposed project with roads through the western end of the Project and Park to Lilac Rd., rather than through Rancho Monserate; (2) that alternatives be considered for emergency ingress and egress for the Project, including without limitation the equestrian center. Given the extent of the revisions, the Environmental Documents should then be recirculated.

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Thank you for your attention to these initial comments. If you have any question concerning the above, please do not hesitate to contact me.

Sincerely,

LOFTIN|BEDELL P.C.



Alexander Maniscalco, Esq.

Encl: The following enclosures are incorporated as though fully set forth in this correspondence.

- (1) County Equine Ordinance
- (2) County of San Diego – Rio Prado Park Webpage
- (3) Aerial Photos:
 - Dulin Road and Old 394
 - Dulin Road at Western Project Boundary
 - Four Photos: Park configuration

cc: [Bronwyn Brown \(bronwyn.brown@sdcounty.ca.gov\)](mailto:Bronwyn.Brown@sdcounty.ca.gov)

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a California Way of Life.*

November 4, 2019

11-SD-76
PM 17.01
Ocean Breeze Ranch
Section 15183/PDS2016-TM-5615,
PDS2016-MUP-16-02, PDS2016-MUP-013

Ms. Bronwyn Brown
County of San Diego
Planning & Development Services
5510 Overland Avenue, Suite 310
San Diego, CA 92123

Dear Ms. Brown:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for Section 15183 for the Ocean Breeze Ranch project located near Interstate 15 (I-15) and State Route 76 (SR-76). The mission of Caltrans is to provide a safe, sustainable, integrated and efficient transportation system to enhance California's economy and livability. The Local Development-Intergovernmental Review (LD-IGR) Program reviews land use projects and plans to ensure consistency with our mission and state planning priorities.

E1

In keeping with Senate Bill 32, Assembly Bill 32, Senate Bill 375, California Executive Order S-03-05, and California Executive Order B-30-15 requiring reductions in greenhouse gases (GHG) and emissions in California, it is necessary to decrease the production of GHG and emissions to meet legislatively mandated regional and state reduction targets.

E2

We encourage Ocean Breeze Ranch to integrate transportation and land use in a way that reduces Vehicle Miles Traveled (VMT) and GHG emissions by facilitating the provision of more proximate goods and services to shorten trip lengths and achieve a high level of non-motorized travel and transit use. As such, we encourage the Developer evaluate the potential of Transportation Demand Management (TDM) strategies and Intelligent Transportation System (ITS) applications to better manage the transportation network, as well as transit service and bicycle or pedestrian connectivity improvements.

E3

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Caltrans has the following comments:

Traffic Impact Study

The proposed project currently identifies cumulative impacts for state highways at:

- SR-76/East Vista Way – Old River Road
- SR-76/Olive Hill Road Camino Del Rey
- SR-76/Old Highway 395
- SR-76/North River Road
- SR-76/Via Montellano
- I-15 SB Ramps/Old Hwy 395
- I-15 NB Ramps/Hwy 395

Caltrans requests that the County condition the Ocean Breeze Ranch development to reduce the number of vehicle trips associated with the development to a number that would not cause an impact on the State Highway System.

Strategies for conditions of development that the County can consider to effect reductions in vehicle trips from the Ocean Breeze Ranch development can be found in The County of San Diego Climate Action Plan adopted on February 14, 2018.

Built Environment and Transportation: (Chapter 1-9)

Transportation measures aim to reduce emission through context sensitive, multi-modal, planning in each community to: reduce vehicle trips through "Complete Streets" improvements that encourage pedestrian and cycling trips, foster the use of electric and alternative fuel vehicles, manage existing infrastructure more efficiently, and reduce the number and length of trips through improved access and connectivity.

Specifically, Appendix A: Final Climate Action Plan Consistency Review Checklist from the County of San Diego Climate Action Plan identifies applicable Travel Demand Management (TDM) measures such as those identified for non-residential projects

(https://www.sandiegocounty.gov/content/dam/sdc/pds/advance/cap/publicreviewdocuments/PostBOSDocs/Final%20CAP%20Checklist_FormFillable.pdf).

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Based on the proposed scope of the Ocean Breeze Ranch development, the number of associated vehicle trips, and vehicle miles of travel associated with the development, Caltrans asserts that the Final Climate Action Plan Consistency Review Checklist TDM measures could also be applied to residential projects, to reduce the number of vehicle trips to a level that would not cause an impact on the State Highway System.

Mitigation

Caltrans supports fair share funding being added by the Ocean Breeze Ranch development to the County's Transportation Impact Fee (TIF) program to address and mitigate for cumulative impacts on County facilities and the State Highway System. The TIF should include improvements to pedestrian, bicycle and transit infrastructure or that could be considered representative of the project's likely Transportation Demand Management mitigation measures.

E5

Right-of-Way

Any work performed within Caltrans' Right-of-Way (R/W) will require discretionary review and approval by Caltrans and an encroachment permit will be required for any work within the Caltrans' R/W prior to construction. As part of the encroachment permit process, the applicant must provide an approved final environmental document including the California Environmental Quality Act (CEQA) determination addressing any environmental impacts within the Caltrans' R/W, and any corresponding technical studies.

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If you have any questions, please contact Kimberly Dodson, of the Caltrans Development Review Branch, at (619) 688-2510 or by e-mail sent to Kimberly.Dodson@dot.ca.gov.

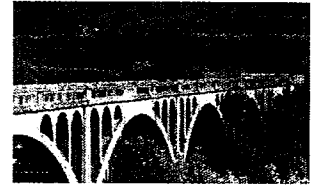
Sincerely,



MAURICE EATON, Branch Chief
Local Development and Intergovernmental Review

BONSALL COMMUNITY SPONSOR GROUP

Dedicated to enhancing and preserving a rural lifestyle



Margarette Morgan Schoendienst, Chair
Bonsall Community Sponsor Group

Monday October 28, 2019

RE: Comments on the "OCEAN BREEZE RANCH" Development

The Bonsall Community Sponsor Group has been supplied with around 150 pages of material for each member of the group regarding the justification of the above-named housing project. A project of 396 clustered housing units. Getting through this material requires a certain degree of masochism. It is not easy reading, and certainly does not rank up with 'War and Peace' as enduring class literature.

F1

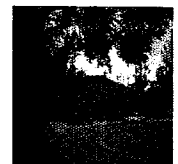
The current County mantra in the approval process for projects of this nature is to discuss and evaluate the project as to the impact that each of the nineteen listed topics below will have on the community in which it is proposed to be placed according to set standards, mitigation attempts, engineering studies, etc. Also, the reverse is to be considered; what will be the impact of the topical parameter of the surrounding community on the proposed project.

F2

1. Aesthetics
2. Agriculture/Forestry Resources
3. Air Quality
4. Biological Resources
5. Cultural Resources
6. Energy Use
7. Geology and Soils
8. Greenhouse Gas Emissions
9. Hazards and Hazardous Materials
10. Hydrology and Water Quality
11. Land Use and Planning
12. Mineral Resources
13. Noise
14. Population and Housing
15. Public Services
16. Recreation
17. Transportation and Traffic
18. Utilities and Service Systems
19. Wildfire

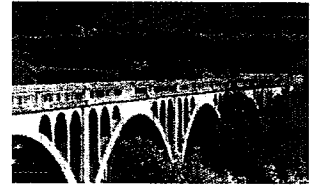
Each of these topics is of course evaluated extensively in the attendant discussions. It is disturbing, however, that no topic is ever described in terms that would be so damaging to the project that it should or could not be built. All of the project evaluations are described as causing insignificant impact, are wholly mitigable to acceptable limits, or are subject to suspect standards that would make acceptance of the project completely justified and desirable. It's pretty much a stacked deck against criticism that leads to the continual acceptance of projects that in total are having many negative impacts on the communities in which they are built, and on the whole region in which they sit.

F3



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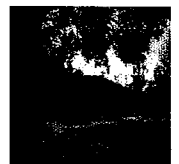


Probably our favorite item in the above list is number 17, Transportation and Traffic. It is most interesting that the conclusion of the discussion on the parameter implies that there is really no major problem that the project's 3,990 average daily trips would cause. Wonderful! For many years now the County has approved these types of Orange County type developments which have subsequently been built. There are many hundreds of these subdivisions dotting the County landscape at this point. Each of these projects was analyzed before being built as having acceptable less than significant traffic impacts. Why then do we have level of service F now on our major freeways and many county roads? The reason of course is that the provision of adequate road infrastructure has not kept up with the continual forced supply of this type of housing. It is obvious that the impact of the cumulative effect of many developments on traffic has not been adequately considered. Despite what the discussion says about traffic being of no concern we think there should be great concern. The local road infrastructure is not adequate to support this project or any project like it, nor for that matter is the county road system, nor that of the regional road system. Ask any resident what his thoughts on the road system are and whether it is adequate and will building a project of this nature make it any better. It's pretty obvious what the answer will be. The citizens of this County are very frustrated about traffic and want road improvements, and projects of this nature are anti-productive and not a catalyst to getting roads that are adequate where traffic is not an impingement on the quality of life in California.

F4

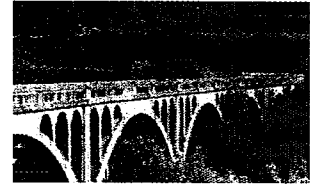
Specifically, the traffic impacts that this project imposes on the community have been ignored or passed off as irrelevant. An engineering study has been done that analyses 20 intersections on roads surrounding the project finding less than significant impacts on traffic emanating from these intersections. Thus, everything is wonderful and there is no problem in dumping 3,990 more average daily trips from this project on the local roads. This is nonsense because no real evaluation has been accomplished to evaluate traffic impacts caused now by the two school sites that are close to the project and located on project serving roads. There are major traffic problems now being created when these schools open and close each day. This project when built will only make these problems more intolerable.

F5



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Historically one of the dirty words in the planning endeavors of the Bonsall Community Sponsor Group (BCSG) has been “clustering”. The Group has never favored clustering. Our community plan has limited its use. Yet this project contains three clustered housing nodes. How come, and why? This clustered approach to house siting we feel is an affront to our community. Thirty years ago, one of the main topics of discussion of the BCSG was whether all building lots should either be limited to one or two acres. Now we are saddled with lots of 5,000 square feet or less. What a come down, and detriment to the community. Yet item 11, Land use and Planning, says no problem. Clustering historically has been justified by open space set asides that minimize impacts on total area. These set asides in the main are supposed to be guaranteed into “perpetuity”. What does perpetuity mean to a profit seeking developer forty years from now when the search is on for more land to develop? Of course, it will mean nothing.

F6

One of the most interesting of the numbered topics is number 4, Biological Resources. The preservation of scarce and endangered species depends greatly on the preservation of offsite alternate breeding grounds and habitable open space for the little gnatcatchers, least Bell’s vireos, western bluebirds, and so forth. A rhetorical question here is: How do all these displaced species enjoy being displaced by rampant house building? Do they adapt to their new digs? Are they happy? I would bet if surveyed they would vote for being left in place and not being bothered anymore.

F7

Further discussion of this projects impact on our community is counterproductive. There are many things that are wrong with it. It is not a good fit for Bonsall; it should not be approved, but it will be. Planning and sponsor groups are all too familiar with what the modern approval process is. Write a complex long detailed report. Fill it with its numerous detailed references sanctifying dubious conclusions for approval, and of course ignore as much as possible the local planning group in the process. That’s where we are at this juncture in time. The planning groups are merely Don Quixote’s out there in the boonies tilting at windmills for their own amusement.

F8

C. T. Davis, Vice-Chair,
Bonsall Community Sponsor Group

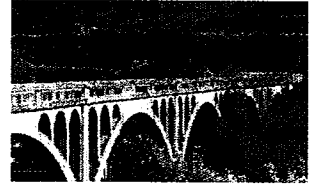


<http://www.bcsbg.org>



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Margarette Morgan Schoendienst, Chair
Bonsall Community Sponsor Group

Monday, October 28, 2019

RE: My General Response to Ocean Breeze is below, I think it fruitless to provide detailed comments.

The individuals that received the "Statement of Reasons for Exemption from Additional Environmental Review and 15183 Checklist" have no reason to give detailed comments either negative or positive. Those comments would not cause any items to be checked for consideration on the individual sections of the checklist

G1

Everyone should read " Overview of 15183 Checklist pages 5" and the "Summary of Findings page 6&7" as background and understanding of the entire Checklist

Basically, the reason not to comment is the methodology that was used in going through the checklist. Every issue was either covered by the latest San Diego General Plan update (GPU) and associate EIR or compared to those documents. For every issue that was addressed nothing was ever checked in the categories in the individual 19 sections i.e. Wildfire, Transportation and Traffic, Noise etc. etc.

G2

The checklist categories where 1) Significant Project Impact 2) Impact not identified by GPU EIR 3) Substantial New Information. But as stated nothing was checked on the entire 81-page checklist.

So why comment if all comments will be subject to the Methodology used and rationalized away by the evaluators.

Jeff Faulk
Member Bonsall Community Sponsor Group



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Bronwyn Brown
5510 Overland Avenue, Suite 310
San Diego, CA 92123

RE: Ocean Breeze Ranch Parcel Map: PD2016-TM-5615; PDS2016-MUP-16012; PDS2016-MUP-013; PDS2016-STP-16-032, PDS2015-ER-15-08-001

Transmitted via email: Bronwyn.Brown@sdcounty.ca.gov

The Bonsall Community Sponsor Group appreciates the opportunity to provide comment on the Ocean Breeze Ranch (OBR).

H1

I will address paragraphs used in documents statement first then our comments for each

County of San Diego General Plan Housing Element Although several Conservation and Open Space Policies have been referenced in this statement, the County must also consider its commitment to the General Plan Housing Element. As stated in the Policy Framework “the County is allocated a share of the region’s housing needs that is equivalent to 22,412 units. The County must, through appropriate zoning and development standards, accommodate these units through a variety of housing types and various income groups.” Just as the County is expected to consider the importance of the MRZ-2 minerals to their market region as a whole and not just on the unincorporated portion of San Diego County, the County must consider its commitment to providing its regional fair share of housing opportunities for all San Diego County residents, and not just those that currently live in the unincorporated portions of San Diego County that the County has land use jurisdiction over. The Ocean Breeze project would provide 396 residential units which would help the County achieve its share of the region’s housing needs.

H2

Within this statement are a few things referenced that set up a major discussion starting with the General Plan Housing Element in the Policy Framework “the county is allocated a share of the region’s housing needs that is equivalent to 22,412 units. When working on the General Plan and the Bonsall Community Plan our population was just over 11,000 residents and we agreed to accept up to 17,000 new residents. We have far exceeded that in approved projects and are now looking at an increase in that number that will total over 22,000 which is now at a 50% increase since 2011 we have more than our fair share.

H3

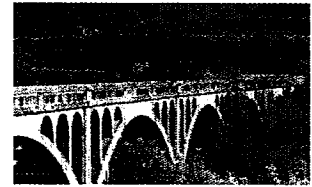
We can’t sustain this continual growth in population. Our road network was never designed to accept the traffic that comes with medium or large residential projects. I don’t think the Planning Commission, nor the County Board of Supervisor intended to approve doubling the size of our community. With the terrain and the impacts of the traffic we will exceed the air quality impacts and the counties Green House Gas Emissions Policy. West Lilac 2.2C Light Collector without a shoulder on the majority of the road length is the access points for this project between two schools.

H4



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Traffic is sitting idling for one hour or longer in the morning and afternoon around the schools, yet this document sees it as less than significant. The Board of Supervisor designated West Lilac, Camino del Rey and Olive Hill in our community as Scenic Roads which allows us to hope we will not have any 4 lane Major Roads running through the community changing the semi-rural tapestry we enjoy.

H5

While mentioning road requirements is there any provision for semi-rural communities to have a different set of road standards than the urban standard that we are finding during all new projects. Our community plan has a Black Sky's provision and yet lighting is proposed at every turn in the road. Why is the County trying to urbanize and have every community look alike?

H6

General Plan Goal M-4 Safe and Compatible Road Policies M-4.3 Rural Roads Compatible with Rural Character states In Semi-Rural and Rural Lands that are consistent with rural character while safety utilize rural road design features (e.g., no curb and gutter improvements) to maintain community We have to fight for this policy with every project that is submitted.

As everything listed in the Statement of Reasons for Exemption form Additional Environmental Review and 15183 Checklist Pursuant to CEQA Guidelines it is unless to make comments other than to say we do not agree with the findings. This project is under the B designator and this does apply on page 3 the project would incorporate forms indicative of traditional farmhouse and Craftsman style architecture.

Please review the County San Diego Bonsall Design Review Checklist page 2 – 11 for the following: Encourage architectural character that is sensitive to Bonsall's rural setting. Encourage simple one and two-story buildings in earth tones pitched roofs, accented with exposed timber beams, columns and details. Please review page 3-11 Elevations and Building Façade Materials and Roof Forms If you do not agree turn to page 9 – 11 Multi-Family Residential Development Standards line 60 Garage doors do not face a public street unless the lot has less than 100 feet of frontage or unless the lot is on a corner. Corner lots, the garage door opens to the side street.

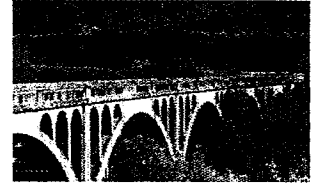
H7

General Plan Update Program EIR The sentence that states the GPU establishes a blueprint that meets community desires and balances the environmental protection goals with the need for housing, agriculture, infrastructure and economic vitality This appears to leave out infrastructure as that is a major issue in semi-rural communities.

H8

CEQA Guidelines 15183 Exemption Check list appears to run right over the GPU Goals and Policies regarding Agricultural Preservation as the project would place development in designated Farmland of Local 334.06 acres statewide 61.44 acres prime 24.09 acres and unique 574.97 acres candidate soils as defined by FMMP but it is significant but UNAVOIDABLE. Why develop this project and loose all of this land that can never be brought back its existing use and beauty.



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With this land gone to development and one more project going through the process now we will have lost over 1,500 acres to housing that will never be again used for agriculture but will be home to 550 residential units this is destroying our community. We have already given and now more houses and no more agriculture land.

This statement is to re-fresh your memory of the General Plan and its Policies about Agricultural Resources.

Proposed General Plan Goals and Policies The proposed General Plan Update contains goals and policies within the Land Use Element, Housing Element, and Conservation and Open Space Element that would help reduce the potential for the indirect conversion of agricultural resources to non-agricultural uses. Within the Land Use Element, Goal LU-6 is to create a built environment, in balance with the natural environment, scarce resources, natural hazards, and the unique local character of individual communities. Policy LU-6.4 supports this goal by requiring residential subdivisions to conserve open space and natural resources and protect agricultural operations including grazing. Goal LU-7 is to create a land use plan that retains and protects farming and agriculture as beneficial resources that contribute to the County's rural character. Policies in support of this goal include Policies LU-7.1 and LU-7.2, which would protect agricultural lands with lower density land use Designations and allow for reductions in lot sizes when large tracts of historically agricultural land are preserved in conservation easements for continued agricultural use. As we know this land was not in an easement but with the incredible farmland designations such as statewide, prime, local and unique that will be lost when will this need to destroy stop.

General Plan Update Policies The policies listed under Section 2.2.6.3, Issue 1: Direct Conversion of Agricultural Resources are applicable to this issue and incorporated here by reference. The following policies would reduce impacts associated with the indirect conversion of agricultural resources, but not to below a significant level. Policy COS-6.2: Protection of Agricultural Operations. Protect existing agricultural operations from encroachment of incompatible land uses by doing the following:

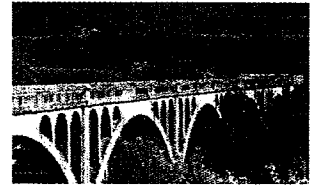
- Limiting the ability of new development to take actions to limit existing agricultural uses by informing and educating new projects as to the potential impacts from agricultural operations
- Encouraging new or expanded agricultural land uses to provide a buffer of non-intensive agriculture or other appropriate uses (e.g., landscape screening) between intensive uses and adjacent non-agricultural land uses
- Allowing for agricultural uses in agricultural areas and designing development and lots in a manner that facilitates continued agricultural use within the development.
- Requiring development to minimize potential conflicts with adjacent agricultural operations through the incorporation of adequate buffers, setbacks, and project design measures to protect surrounding agriculture
- Supporting local and State right-to-farm regulations
- Retain or facilitate large and contiguous agricultural operations by consolidation of development during the subdivision process.

H9



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As this land was used for agricultural/equine prior to the new owner and then left for a few years to be considered non- agricultural some of the less than significant designations are slanted away from A-70 productive agricultural lands that were and are no longer for this project.

In the GPU page 2-2-15 Rural and Semi-Rural Residential. When compared to other residential land use designations proposed in the General Plan Update such as village residential, the proposed rural and semirural land use designations denote areas where lower density residential development would occur. Therefore, the rural and semi-rural land use designations proposed under the General Plan Update would be considered generally compatible with agricultural resources. Rural and semi-rural land use designations would allow for the development of large lots with lower density restrictions. Generally, agricultural operations are viable in the County in areas with residential land use densities less than one dwelling unit per acre. With all of the projects developing in this sewer driven expansion we have lost to development of high density.

H10

Conservation / Open Space the Bonsall Community Plan identifies two kinds of environmental resources:

- Those which are relatively site-specific and have been mapped as Resource Conservation Areas; and
- Those which may be described as area-wide attributes of the environment, i.e., chaparral, groundwater, archaeology, air quality, and certain forms of energy.

It is recognized that there must be ultimate limits to the extent of urbanization in this region.

H11

In addition, rural lands provide a needed contrast to the urban landscape, each define and enhance the value of the other. Rural open space serves to differentiate and increase the quality of the San Diego region. Open space is an outstanding characteristic of the community of Bonsall and, along with the uses and pleasures it affords, comprises the “rural atmosphere” which Bonsall residents are committed to preserving. The San Luis Rey River Valley and Bonsall are unique in many respects and numerous opportunities remain to preserve not only the river and major streambeds, but also the outstanding geological features, ridgelines, agricultural lands, and historic and prehistoric sites of the area.

H12

Regards,

Margarette Morgan Schoendienst, Chair
Bonsall Community Sponsor Group





State of California – Natural Resources Agency
 DEPARTMENT OF FISH AND WILDLIFE
 South Coast Region
 3883 Ruffin Road
 San Diego, CA 92123
 (858) 467-4201
 www.wildlife.ca.gov

GAVIN NEWSOM, Governor
 CHARLTON H. BONHAM, Director



November 4, 2019

Ms. Bronwyn Brown
 County of San Diego Planning and Development Services
 5510 Overland Avenue, Ste. 310
 San Diego, California 92123

Subject: Section 15183 Findings and Draft Habitat Loss Permit for the Ocean Breeze Ranch Project, San Diego County, California

Dear Ms. Brown:

The California Department of Fish and Wildlife (Department) has reviewed the Findings Pursuant to Section 15183, draft Habitat Loss Permit (HLP), and other associated documents for the Ocean Breeze Ranch project (Project). The comments provided in this letter are based on information provided in the Section 15183 Findings, draft HLP, and associated documents, including the Biological Resources Technical Report (BTR) dated August 7, 2019; meetings, a site visit, and discussions with County staff and Project representatives; our knowledge of sensitive and declining vegetation communities in the County; and our participation in regional conservation planning efforts including the County's draft North County Multiple Species Conservation Plan (MSCP).

The Department is a Trustee Agency and a Responsible Agency pursuant to the California Environmental Quality Act (CEQA), Sections 15386 and 15381, respectively. The Department is responsible for the conservation, protection, and management of the State's biological resources, including rare, threatened, and endangered plant and animal species, pursuant to the California Endangered Species Act (CESA), and administers the Natural Community Conservation Planning (NCCP) program. The County has signed a Planning Agreement with the Department and the U.S. Fish and Wildlife Service (USFWS) for the development of the North County MSCP, an NCCP/HCP that is currently in preparation for unincorporated lands in north San Diego County.

The proposed Project is located at 5802 West Lilac Road, in Bonsall, California, an unincorporated community in northern San Diego County. The Project proposes a Tentative Map (PDS2016-TM-5615) and Major Use Permit (PDS2016-MUP-16-012) for the development of 396 residential units and related infrastructure, as well as a Major Use Permit (PDS2016-MUP-013) for the existing equestrian facility on site. The Project would impact 326.5 acres, including 19.4 acres of existing development associated with the equestrian facility, of the 1,402.5-acre property. The Project would also impact 2.2 acres off site, primarily for road improvements at the intersection of West Lilac Road and Camino del Rey.

Approximately 659 acres (47 percent) of the Project site is currently active agriculture or equestrian use. The dominant native habitat type present on site is Diegan coastal sage scrub (CSS), which covers approximately 509.2 acres (36 percent) of the site. Other dominant habitat types on site include coast live oak woodland (29.2 acres), southern mixed chaparral (31.8 acres), coastal sage-chaparral scrub (31.5 acres), non-native grassland (104.2 acres), and approximately 23.8 acres of various riparian and wetland habitats. These habitats support, or have the potential to support, a number of threatened, endangered, and/or otherwise sensitive

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Ms. Bronwyn Brown
 County of San Diego Planning and Development Services
 November 4, 2019
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species, including the western spadefoot toad (*Spea hammondi*), State Species of Special Concern, the federally threatened California gnatcatcher (*Polioptila californica californica*, gnatcatcher), and the federally endangered arroyo toad (*Anaxyrus californicus*), the state and federally endangered least Bell's vireo (*Vireo bellii pusillus*), and the state and federally endangered southwestern willow flycatcher (*Empidonax traillii extimus*). In addition, 1,176.9 acres on site are located within the draft Pre-Approved Mitigation Area (PAMA) of the draft North County MSCP. It should also be noted that the 2017 Lilac Fire burned the Project site extensively, including portions of the above-described habitat areas.

The Project would impact approximately 32.5 acres of the CSS, 0.4 acre of the coast live oak woodland, 37.6 acres of the non-native grassland, and 0.19 acre of the riparian habitats on site. The Project would also impact 256.5 acres (approximately 22 percent) of the PAMA on site, which is consistent with conservation goals identified within the draft North County MSCP. Impacts to CSS, coast live oak woodland, and riparian habitats will be mitigated at a 3:1 ratio, and impacts to non-native grassland will be mitigated at a 0.5:1 ratio. This mitigation will be accomplished through the conservation of 832.7 acres of biological open space on site.

The Department would like to acknowledge the extensive coordination efforts of the County and Project applicant during the North County MSCP interim-review process, which provided the opportunity to discuss Project design, identify potential impacts to biological resources, and develop appropriate avoidance, minimization, and mitigation measures. These discussions resulted in multiple iterations of project design and associated mitigation measures, including restoration plans. Through this coordination, this large-scale Project has been brought forward in such a manner that requires only limited additional comments and recommendations at this time. The Department would like to highlight remaining concerns for Project components that have been previously discussed but for which no resolution was determined, particularly the use of CEQA Section 15183 and the sale of conserved lands in excess of required mitigation.

The County has moved the Project forward for environmental review in accordance with CEQA Section 15183. Section 15183 allows for a project that is consistent with the development density established by existing zoning or general plan policies for which an EIR was certified to limit additional environmental review to significant effects which are peculiar to the project. The residential development portion of the proposed Project and associated elements (i.e., biological mitigation) appear to be consistent with the County's General Plan Update and associated Environmental Impact Report (GPU EIR). As such, the use of Section 15183 may be appropriate for this portion. However, the proposed Project also includes a Major Use Permit (MUP) for an existing, unpermitted equestrian facility on the property. The Department requests additional clarification on how the County determined that this unauthorized use is consistent with the GPU EIR, and can therefore be permitted via Section 15183.

The Biological Resource Technical Report for the proposed Project estimates approximately 309 acres of "excess" mitigation that will be conserved within the Project's biological open space. The Project proposes the future sale of this acreage to an outside entity or entities for use as mitigation for impacts to biological resources on other projects. The Department understands that there may be excess open space available to sell; however, we request additional clarification regarding calculation of excess mitigation. In particular, the Department would like to know how 1) the avoidance of steep slopes, as required by the County's Resource Protection Ordinance, and 2) impacts associated with the existing equestrian facility, have been factored into this calculation. Regardless of the excess acreage total, the Department would

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Ms. Bronwyn Brown
County of San Diego Planning and Development Services
November 4, 2019
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only support the sale of such land to a singular outside entity, or the creation of a formal mitigation bank. The sale of this remaining open space to multiple outside buyers, absent an approved mitigation bank, would go against the Department's mitigation banking policy and would not be supported.

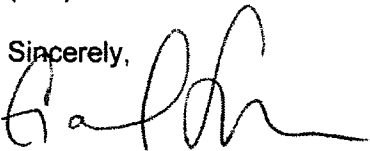
The Department would also like to reiterate to the Project applicant potential permitting issues for the take of federally listed species. As described above, the CSS on site has the potential to support gnatcatcher. Several pairs of gnatcatcher were observed on site via protocol surveys or through incidental observation in 2015, 2016, and 2017, and the Department considers the Project site a core area for regional conservation planning purposes. The Project would directly impact CSS that supported gnatcatchers prior to the Lilac Fire, and the Project applicant will seek incidental take coverage for this species as described in the BTR. The CEQA document includes a draft HLP and proposes this approach to address incidental take coverage for gnatcatchers if there is no federal nexus to initiate consultation under section 7 of the Endangered Species Act. In coordination with the Department, the Project was redesigned from the original proposal to limit impacts to the primary gnatcatcher core area in the southwestern portion of the site. The current Project design is not expected to result in permanent loss or abandonment of greater than 2 gnatcatcher pairs. Furthermore, the gnatcatcher core is expected to return and persist on site as the CSS on site reestablishes following the Lilac Fire. Unavoidable impacts to gnatcatcher will be mitigated for through on-site conservation and CSS restoration. The restoration efforts are expected to increase connectivity between the primary core area to the large block of CSS in the eastern portion of the site. As such, HLP findings could be made for the Project. However, due to limited forward progress made on North County MSCP planning efforts, the HLP process may not be available after January 31, 2020, when the Planning Agreement for the North County MSCP expires. The Planning Agreement may not be updated until such time that the County Board of Supervisors commits continued staff time to, and approves funding and additional resources for, the development of the North County MSCP. In the interim, without an active Planning Agreement, HLPs, as allowed via the USFWS 4(d) rule, will not be available. In the event that the proposed Project is not able to receive take coverage for federally listed species via Section 7 consultation and/or an HLP, the Project applicant may pursue take via the USFWS Section 10 process.

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Lastly, the Department appreciates the County and Project representatives' coordination to date in developing the Conceptual Resource Management Plan and Conceptual Restoration Plans. The Department will continue to work with the County and Project applicant to refine elements of these plans to ensure the necessary measures are included to ensure consistency with regional conservation planning efforts and incidental take coverage as necessary.

Thank you for the opportunity to comment on the subject draft HLP. If you have any questions, please contact Carol Williams of the Department at Carol.Williams@wildlife.ca.gov or (858) 637-5511.

Sincerely,



Gail K. Sevens
Environmental Program Manager
South Coast Region



LOFTIN | BEDELL
ATTORNEYS AT LAW

Via U.S. Regular Mail and Electronic Mail (Jenna.Roady@sdcounty.ca.gov)

October 8, 2019

Jenna Roady
Project Environmental Coordinator
County of San Diego PDS
5510 Overland Avenue, Suite 110
San Diego, CA 92123-1239

RE: Introduction to Comments To Draft Environmental Impact Report dated September 19, 2019 (the "DEIR") Ocean Breeze Ranch project: PDS2016-TM-5615; PDS2016-MUP-16-012; PDS2016-MUP-013; PDS2016-STP-16-032: and Environmental Log Number: PDS2015-ER-15-08-001 ("Ocean Breeze Ranch") on behalf of Rancho Monserate Mobilehome Park.

Dear Ms. Roady:

Under separate cover, the Comments on behalf of Rancho Monserate Mobilehome Park aka Rancho Monserate Country Club Homeowners Association, Inc. ("Rancho Monserate") to the above referenced draft Environmental Impact Report dated September 19, 2019 was sent to you earlier today ("Comments").

The purpose of this correspondence is to inform you that Rancho Monserate is participating in communications with the Applicant regarding the concerns expressed in the Comments. The issues related to the traffic and fire protection plans, among other health and issues, are complicated. We are, however, hopeful a compromise that addresses the health and safety concerns Rancho Monserate and the project configuration concerns of the Applicant can be reached followed by consensus from you and your colleagues. We understand that according to instructions from staff to the Applicant, there is one issue for which the Applicant has no control. The contested improvement is the location of the gate on Dulin Road.

J1

Sincerely,

LOFTIN|BEDELL P.C.

L. Sue Loftin, Esq.
Shareholder

cc: Bronwyn Brown (bronwyn.brown@sdcounty.ca.gov)

2540 Gateway Road • Carlsbad • California • 92009

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LOFTIN | BEDELL
ATTORNEYS AT LAW

Via U.S. Regular Mail and Electronic Mail (Jenna.Roady@sdcountry.ca.gov)

November 18, 2019

Jenna Roady
Project Environmental Coordinator
County of San Diego PDS
5510 Overland Avenue, Suite 110
San Diego, CA 92123-1239

RE: Intention to Adopt Findings and Statement of Reasons for Exemption from Additional Environmental Review, dated September 19, 2019, and related documents (collectively, the “**Environmental Documents**”) Ocean Breeze Ranch project: PDS2016-TM-5615; PDS2016-MUP-16-012; PDS2016-MUP-013; PDS2016-STP-16-032; and Environmental Log Number: PDS2015-ER-15-08-001 (“**Ocean Breeze Ranch**”) Supplement to November 4, 2019 Comment Letter

Dear Ms. Roady:

This firm and the undersigned represent Rancho Monserate Country Club Homeowners Association Inc. (“**Rancho Monserate**”), the owners association representing the interests of approximately 235 households at the Rancho Monserate Mobilehome Park and community which is bisected by Dulin Road.

Subsequent to our **Comment Letter** sent November 4, 2019, (“**Comment Letter**”) our firm spoke with representatives and legal counsel for the applicants concerning the Ocean Breeze Ranch project, and negotiated supplemental conditions to address the concerns identified in that Comment Letter (the “**Supplemental Conditions**”) attached hereto as Exhibit A and incorporated by this reference. In light of these clarifications and assurances, we provide this “**Supplement Letter**” for inclusion into the CEQA record of public comments to the Environmental Documents.

In light of the negotiated Supplemental Conditions, Rancho Monserate hereby supports the Environmental Documents and underlying project as modified by the Supplemental Conditions.

As we said in our Comment Letter:

Rancho Monserate is not opposed to the density... Their opposition is premised on the specific, particular impacts from the configuration of circulation within the parcels, and its impact on Rancho Monserate.”

In particular, our Comment Letter concerns focused in the following areas: (1) cumulative traffic impacts from the “Tier A” Active Recreational Center; (2) alternatives to ameliorate traffic impacts from the park, equestrian center, and PA3 to Rancho Monserate; (3) assumptions regarding trip counts from the

K1

K2

LOFTIN | BEDELL P.C.

Jenna Roady

Project Environmental Coordinator

County of San Diego PDS

November 18, 2019

Page 2 of 4

equestrian center; (4) fire protection plan evacuation concerns relating to the equestrian center; and (5) emergency and secondary access terms used inconsistently with regard to access through Rancho Monserate.

Based on negotiations with the Ocean Breeze Ranch, we believe that the Supplemental Conditions, if approved by the County, will support the findings requested in the Environmental Documents as to the issues identified in our Comment Letter. We note further that the comments concerning Rio Prado Park would arguably exceed the County's authority, as discussed below.

1) IN RESPONSE TO COMMENTS FROM RANCHO MONSERATE, THE APPLICANT HAS PROPOSED CONDITIONS RESTRICTING VEHICULAR TRAVEL FROM THE EQUESTRIAN CENTER, AND EQUESTRIAN-RELATED TRAFFIC FROM PA3, WHICH ADDRESS CONCERNS IN THE COMMENT LETTER REGARDING DESIGN ALTERNATIVES, ASSUMPTION REGARDING TRIP COUNTS FROM THE EQUESTRIAN CENTER, FIRE PROTECTION PLAN EVACUATION CONCERNS RELATING TO THE EQUESTRIAN CENTER, AND EMERGENCY AND SECONDARY ACCESS TERMS USED INCONSISTENTLY AS TO THE DULIN ROAD ACCESS.

In the Comment Letter, Rancho Monserate identified several concerns, specific to traffic flow through Rancho Monserate. The Applicant has proposed Supplemental Conditions to address these concerns, with restrictions on easterly traffic from generators within the project.

For example, Rancho Monserate speculates whether design alternatives would reduce traffic from the Equestrian Center and PA3 through Dulin Road. By condition, the Applicant has effectively provided the design alternative: with the requested Supplemental Conditions, the Applicant would restrict equestrian and animal-related traffic from PA3 eastward, and would restrict all traffic from the Equestrian Center, except in the event of emergencies identified by local police, fire, and life safety agencies. Concerns as to the Park, are discussed in Section 2 below.

Rancho Monserate also raised the concern that the Traffic Study presumes no new trips will be generated by the Equestrian Center toward Rancho Monserate, despite the new circulation and intensity of use. The Applicant, by condition, resolves this concern by confirming that the Equestrian Center will make no use of easterly travel on Dulin Road toward Rancho Monserate—assuring conformity with the assumptions in the Traffic Study.

Third, Rancho Monserate raised fire protection plan evacuation concerns relating to the equestrian center—namely that an evacuation eastward would impact further Rancho Monserate. However, both based on specific comment on the defensible space and expanded pasture that will provide a safe barrier to shelter in place, and the benefit of “habit” from the proposed condition directing all non-emergency equestrian traffic westbound toward Lilac Road, Rancho Monserate believes this concern has been addressed.

K3

LOFTIN | BEDELL P.C.

Jenna Rody

Project Environmental Coordinator

County of San Diego PDS

November 18, 2019

Page 3 of 4

Finally, Rancho Monserate has raised the concern that emergency and secondary access are used inconsistently in the Environmental Documents, as to the eastbound gates from PA3 and the Equestrian Center. The proposed Supplemental Conditions resolve this concern by establishing decisively, via real covenant and restriction, the access parameters of the emergency access gate for the Equestrian Center, and the access parameters of the easterly access gate for PA3.

2) THE COUNTY HAS ACKNOWLEDGED THE STATE OF PLANNING FOR RIO PRADO PARK IS SUFFICIENTLY INDETERMINATE, SO AS TO JUSTIFY EXCLUSION FROM THE CUMULATIVE IMPACTS ANALYSIS, AND FAIL TO SUPPORT A CONDITION THEREON.

Our letter identifies the concern about traffic from SLR Dulin/Rio Prado Park as a cumulative impact together with Ocean Breeze Ranch.

We must acknowledge that minor inaccuracies in projections, such as the omission of a particular project, from cumulative impacts analysis, will not render environmental review inadequate. *See, Schaeffer Land Trust v. San Jose City Council*, 215 Cal. App. 3d 612 (1989). All that is required, is a reasonable, good faith effort at full disclosure. *See, e.g. Al Larson Boat Shop Inc., v. Board of Harbor Comm'rs*, 18 Cal. App. 4th 729, 749 (1993) (citing 14 Cal. Code of Regs. Sec. 15151). Accordingly, the County is within its discretion to find the cumulative impacts analysis adequate.

We understand after further feedback from County staff, and the applicant, that Rio Prado Park's ultimate utilization is still in flux, notwithstanding recent town hall meetings on this subject tending to show heavy Tier A usage in all project alternatives.

Aside from these points however, it is important to acknowledge that the County must have a rough proportionality to impose a condition on a project—meaning the magnitude of a condition's burden, like a road dedication, must be roughly proportional between the nature and extent of the project impact that the condition is intended to address. *See, e.g. Dolan v. City of Tigard*, 512 U.S. 374, 387 (1991). Here, given the Rio Prado Park design is indeterminate by the County's own admission, and that Ocean Breeze Ranch did not come to Rio Prado Park (it is the inverse), it would impinge on the Ocean Breeze Ranch's constitutional rights to require dedication of a road to Rio Prado Park, and to arguably require a significant realignment of the current circulation design, absent a coherent project target. The fact that the County arguably cannot impose a circulation condition on Ocean Breeze Ranch relating to the Park, renders the omission of Rio Prado Park from the cumulative impacts analysis a "distinction without a difference."

Rio Prado Park mitigation measures would rest solely on the County in the identification of impacts in the Traffic Impact Report, and either avoidance of significant impacts through a less-intense project alternative, or negotiation with Ocean Breeze Ranch for circulation improvements at the County's cost. We appreciate the County and Ocean Breeze Ranch's comments on these points.

K4

LOFTIN | BEDELL P.C.
Jenna Roady
Project Environmental Coordinator
County of San Diego PDS
November 18, 2019
Page 4 of 4

CONCLUSION.

Rancho Monserate appreciates the timely, responsive communications from Ocean Breeze Ranch in response to its concerns, and the Supplemental Conditions proposed in response. Via the Supplemental Conditions and factual clarifications addressed in this letter, Rancho Monserate believes the concerns in the CEQA Comment Letter sent November 4, 2019 are addressed, and with approval of the Supplemental Conditions, there is substantial evidence in support of the County's approval of the Environmental Documents and the underlying project. Rancho Monserate respectfully requests that the County approve the Environmental Documents, subject to the Supplemental Conditions, and support the project as conditioned.

K5

Thank you for your attention to these supplemental comments. If you have any question concerning the above, please do not hesitate to contact our firm.

Sincerely,

LOFTIN|BEDELL P.C.



Alexander Maniscalco, Esq.

Encl: Exhibit A: Supplemental Conditions

cc: Bronwyn Brown (bronwyn.brown@sdcounty.ca.gov)
Inga Lintvedt (inga.lintvedt@sdcounty.ca.gov)
Cindy Eldred (cindy@eldredlaw.com)

EXHIBIT "A"

DRAFT CONDITIONS OF APPROVAL

OCEAN BREEZE RANCH

Additional Conditions of Approval relating to Usage of Dulin Road

A. Prior to the issuance of the first building permit, OBR shall record CC&R's containing the following restriction:

Residents of PA3 shall direct all daily, customary traffic associated with equestrian or large animal uses, into and out of PA 3 to the west. This shall include horse trailers, deliveries of equipment, services or supplies associated with such large animal uses. Customary traffic associated with such uses shall be prohibited from PA 3 to the eastern terminus of Dulin Road.

PA3 residents shall not be limited in the use of Dulin Road to the west or the east, for daily or customary access by homeowners and their guests.

Residents of PA 3 may use Dulin Road in the event of emergencies travelling either to the east or to the west, as circumstances may dictate.

B. Within 45 days of approval by the County of the OBR project and expiration of any appeals periods, OBR shall record a restrictive covenant over the Equestrian Parcel, containing the following restriction:

The Equestrian Facility shall direct all daily, customary traffic associated with equestrian or large animal uses, into and out of the Equestrian Facility to the west. This shall include employees, horse trucks or trailers, and deliveries of equipment, services or supplies associated with horses or other large animal uses.

The Equestrian Facility may only use Dulin Road travelling to the east in the event of emergencies, when circumstances dictate.

C. Prior to the approval of Improvement Plans, include drawing and design for Traffic Calming Crosswalk across Dulin Road within Rancho Monserate:

A raised, asphalt concrete crosswalk ("Crossing") shall be installed on Dulin Road at a location acceptable to the County of San Diego and the Rancho Monserate Homeowner's' Association. The Crossing width shall accommodate persons in wheelchairs, walkers and golf carts, with any required person or animal assistance. Each side traversing Dulin Road shall be marked with bright, high visibility striping acceptable to the County of San Diego Department of Public Works. In addition, flashing lights shall be installed at the Crossing, to be activated by pedestrian pushbuttons installed on both sides of the Crossing.

Handwritten signatures and initials:
WOM
RJD
CR
SMA

Attachment H
PUBLIC AND PRIVATE ROAD
DESIGN EXCEPTION REQUEST



County of San Diego

BRIAN ALBRIGHT
DIRECTOR

DEPARTMENT OF PUBLIC WORKS
5510 OVERLAND AVENUE, SUITE 410
SAN DIEGO, CA 92123-1237
(858) 694-2212
www.sdcounty.ca.gov/dpw/

November 15, 2019

Pete Fagrell
Ocean Breeze Ranch LLC
P.O. Box 1211
Bonsall, CA 92003

Dear Mr. Fagrell:

REQUEST FOR A DESIGN EXCEPTION TO PUBLIC ROAD STANDARDS - CLASS II BIKEWAY ON WEST LILAC ROAD FRONTING OCEAN BREEZE RANCH TM 5615, LOCATED IN THE BONSALE AND FALLBROOK COMMUNITY PLANNING GROUP AREAS IN THE UNINCORPORATED REGION OF SAN DIEGO COUNTY, ACCELA: PDS2015-TM-5615

County of San Diego (County) Department of Public Works (DPW) has reviewed your request, dated June 17, 2019, for a design exception to County Public Road Standards (Standards).

- Request is for a design exception from the County of San Diego Public Road Standards Table 2A, Note 8 and not provide additional right-of-way for a class II bike lane. Approval of this request will reduce the minimum paved half-width from twenty-five feet (25') to twenty feet (20') and allows a class II bike lane within the eight-foot (8') paved shoulder. The request also is to prohibit street parking along the project frontage on West Lilac Road.

DPW is able to support your request for exception to Public Standards for the reduction of roadway half-width. The County Traffic Section has reviewed and supported the exception request. With respect to the parking prohibition along West Lilac Road, the County Traffic Section does not oppose a prohibition. County staff has assessed the appropriateness of the requested exceptions and found them to be acceptable with the current classification of the public road, West Lilac Road. Staff has also determined that these requested exceptions will not adversely affect the safety of all road users. These requested exceptions are hereby approved.

Mr. Fagrell
November 15, 2019
Page 2

If you have any questions or need additional information related to this request, please contact Zoubir Ouadah, DPW County Traffic Engineer at (858) 694-3857, or at: Zoubir.Ouadah@sdcounty.ca.gov.

Sincerely,



DEREK R. GADE, P.E., Assistant Director
Department of Public Works

cc: PDS2015-TM-5615 File
Zoubir Ouadah - Department of Public Works
Ocean Breeze Ranch LLC - jconradarc@gmail.com

MARK WARDLAW
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
(858) 694-2962 • Fax (858) 694-2555
www.sdcounty.ca.gov/pds

KATHLEEN A. FLANNERY
ASSISTANT DIRECTOR

November 15, 2019

To: Derek Gade, Assistant Director
Department of Public Works

From: Jacob Armstrong, Chief of Land Development
Planning & Development Services

Reference: PDS2015-TM-5615 (Design Exception Request)

RECOMMENDER:


KENNETH J. BRAZELL,
PDS Land Development Project Manager

Date: 11-15-19


JACOB ARMSTONG,
Chief of Land Development

Date: 11-15-19

RECOMMENDATION:

It is recommended that the Director of Public Works support this request. Decision is based upon the County of San Diego (County) Department of Public Works (DPW) and Planning & Development Services (PDS) review of the applicant's request, dated June 17, 2019, for the following design exception to County Public Road Standard:

- Request is for a design exception from the County of San Diego Public Road Standards Table 2A, Note 8 and not provide additional right-of-way for a Class II bike lane. Approval of this request will reduce the minimum paved half-width from twenty-five feet (25') to twenty feet (20') and allows a class II bike lane within the eight-foot (8') paved shoulder. The request also is to prohibit street parking along the project frontage on West Lilac Road.

REQUEST FOR A DESIGN EXEPTION TO PUBLIC ROAD STANDARDS - CLASS II BIKEWAY ON WEST LILAC ROAD IN OCEAN BREEZE RANCH TM 5615, LOCATED IN THE BONSALL AND FALLBROOK COMMUNITY PLANNING GROUP AREAS IN THE UNINCORPORATED REGION OF SAN DIEGO COUNTY, ACCELA: PDS2016-TM-5615

BACKGROUND:

The project, Ocean Breeze, proposes a Tentative Map and Major Use Permit (MUP) to subdivide the 1,402.52-acre property into 396 units for residential development. The as-built equestrian facility also requires an MUP. The property is located at 5820 West Lilac Road, Bonsall in the Bonsall and Fallbrook Community Plan areas, within the unincorporated San Diego County. The site is subject to the Semi-Rural, Rural, and Village Regional Category and the Village Residential (VR-4.3), Semi-Rural Residential (SR-4), Semi-Rural Residential (SR-10), Rural Lands (RL-20), and Rural Lands (RL-40) Land Use Designation. The Zoning Use Regulation for the site is Variable Family Residential (RV), Limited Agriculture (A70), and Open Space (S80).

PROJECT MANAGEMENT TEAM REVIEW:

It is recommended that the Assistant Director of Department of Public Works (DPW) support this request. Decision is based upon the following:

1. The required bike lane and parking widths require an easement width that exceeds the existing road easement and forces the applicant to acquire additional right-of-way within sensitive biology in the surrounding areas.
2. A denial would require acquisition of additional rights-of-way, construction of retaining walls, encroachments into sensitive biological creating adverse impacts, and prohibitive costs.
3. The additional frontage provides insufficient benefit to justify the acquisition of additional rights-of-way and associated impacts.
4. The County of San Diego, Traffic Engineer has reviewed and supported the request.

OBR DER 2.2
Modified bike lane,
W Lilac frontage

DEPARTMENT OF PUBLIC WORKS

Request for a
Design Exception to a Road Standard
and/or Modification to Project Conditions

Project Number: PDS2016-TM-5615 Date of Request: 6/17/19

Project Location: 5820 West Lilac Road; Bonsall, CA

Thos. Bros. Map/Grid: _____ APN: 124-150-28-00 and others

Requestor Name: Ocean Breeze Ranch LLC atn Pete Fagrell Telephone: (760) 533-7261

Address: P.O. Box 1211 Bonsall, CA 92003

Requested Design Exception (attach engineering sketches showing existing layout, details and notes):
Request is for approval of a modified 5 foot wide bike lane with no parking, along project's frontage with
West Lilac Road. Frontage occurs approximately between Stations 50+00 and 93+03, as well as east of
Sullivan Middle School. Please see attached for additional explanation and supporting documentation.

Reason for requested Design Exception (provide attachment if additional space is required): _____
Please see attached for additional explanation and supporting documentation.

List alternatives that could mitigate the requested Design Exception (attach engineering sketches showing proposed layouts, details and notes): Please see attached for additional explanation and supporting documentation.

Describe the hardship(s) to the property owner(s) and/or neighbor(s) if the request is not approved (see note 3. on reverse): Please see attached for additional explanation and supporting documentation.

Provide Design and Cost Estimate for meeting the Condition (see note 3. on reverse): _____
Please see attached for additional explanation and supporting documentation.

See reverse for directions and important information.

Ocean Breeze Ranch DER 2.2
Modified bike lane, West Lilac Road frontage
6/17/19

Requested Design Exception:

Section 7.3 of the County's Road Standards requires construction of a bike lane for any road illustrated on the County's map of Mobility Element roads. West Lilac Road appears on that map as a County Mobility Element roadway.

The project is requesting approval to provide a modified 5 foot wide bike lane along with a parking restriction, along the project's entire frontage with West Lilac Road. Project frontage on West Lilac occurs from Station 50+00 to 93+03, and again for the portion of Lilac Road east of Sullivan Middle School (no stationing has been established for this segment.)

Reason for Requested Design Exception:

West Lilac Road does not contain any other segments of parking shoulder with bike lane, in either direction, anywhere near the project. Properties fronting on West Lilac in this general area consist of large-acreage single family houses, with small agricultural operations mixed in. There are no other potential major projects in this area, and therefore there is no foreseeable future stage, trend or event which will result in extensive widening of West Lilac Road in the immediate vicinity. Improving West Lilac Road to full County standards, including a parking shoulder plus bike lane along the project's frontage, will result in greater impacts to sensitive biology, as well as an unnecessary overburden on the project for a requirement which will not yield a significant community benefit throughout the overall area. It is wasteful, and creates other impacts which worsen the project's effects on the environment.

The burden to the project financially, or the additional biological impacts, do not seem warranted considering that no other stretch of West Lilac contain any form of parking plus bike lanes, in either direction.

List alternatives that could mitigate the design exception:

- A) Construct full width bike lane and parking shoulder, resulting in substantial additional grading and biological impacts, or substantial retaining walls to reduce bio/grading impacts
- B) Omit bike lane along Project's entire frontage with W. Lilac Rd.
- C) Omit bike lane along steepest portion of frontage
- D) Prohibit parking and provide 5 foot wide bike lane along project frontage with W Lilac.

Describe hardships to applicant if Design Exception is not granted:

If the bike lane requirement were not waived, additional grading impacts along the entire northern edge of W. Lilac would be needed, which would result in further impacts to coastal sage along the northern road interface. Furthermore, from the eastern connection of Road A and until West Lilac separates from the property, existing topography slopes downhill from the road. Further widening the road along this segment would either require substantial additional retaining walls estimated at 12-15 feet tall, or grading further down into the valley below, resulting in considerable biological impacts.

OBR DER 2.2
Modified bike lane along W Lilac Rd
6/17/19
Page 2

Design Cost for Meeting the Condition:

Stations 84+50 to 93+03 = 853 lin feet

The estimated cost for providing the bike lane, assuming increased retaining walls are included so as to prevent additional bio impacts from increased grading footprint:

- | | |
|------------------------------|---|
| 1. Additional grading | 2,000 Cu yds |
| 2. Increased retaining walls | 5,118 SF (addit 2.5' exposed + 3.5' buried, 853 lin ft) |
| 3. Subgrade balancing | 4,265 sq ft (see calc for paved area) |
| 4. Paving (4" AC/ 8" base) | 4,265 sq ft (853 LF X 5 ft) |
| 5. Guard rail | 500 Lin feet (not needed full distance) |
| 6. Striping | 853 Lin feet (need along full distance) |

Line item cost estimate:

Grading	\$ 6.00/CY	X	2,000 CY	= \$ 12,000.00
Walls	\$ 36.00/SF	X	5,118 SF	= \$184,248.00
Subgrade	\$ 0.20/SF	X	4,265 SF	= \$ 853.00
Paving	\$ 3.10/SF	X	4,265 SF	= \$ 13,221.50
Guard Rail	\$ 45.75/LF	X	853 LF	= \$ 39,024.75
Striping	\$ 1.00 /LF	X	853 LF	= \$ 853.00
TOTAL:				= \$ 250,200.25

Stations 50+00to 84+50 = 3,450 lin feet

The estimated cost for providing the bike lane adjacent to roadway where adjacent terrain is moderate relative to roadway:

- | | |
|----------------------------|---|
| 1. Additional grading | 1,000 Cu yds |
| 2. Bio Mitigation | 0.40 Ac (5 ft X 3,450 LF= 17,250 SF = 0.396 Ac) |
| 3. Subgrade balancing | 17,250 sq ft (see calc for paved area) |
| 4. Paving (4" AC/ 8" base) | 17,250, sq ft (3,450 LF X 5 ft) |
| 5. Striping | 3,450 Lin feet (need along full distance) |

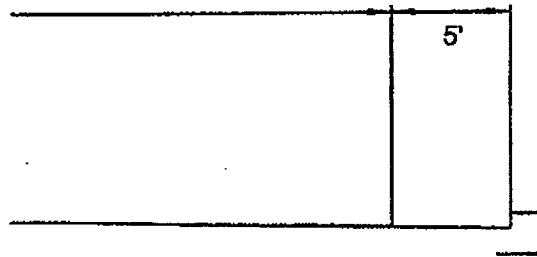
Line item cost estimate:

Grading	\$ 6.00/CY	X	1,000 CY	= \$ 6,000.00
Subgrade	\$ 0.20/SF	X	17,250 SF	= \$ 3,450.00
Paving	\$ 3.10/SF	X	17,250 SF	= \$ 53,475.00
Striping	\$ 1.00 /LF	X	3,450 LF	= \$ 3,450.00
TOTAL:				= \$ 66,375.00

GRAND TOTAL: \$250,200.25 + 66,375.00 = \$ 316,575.25

ROUNDED: \$ 317,000

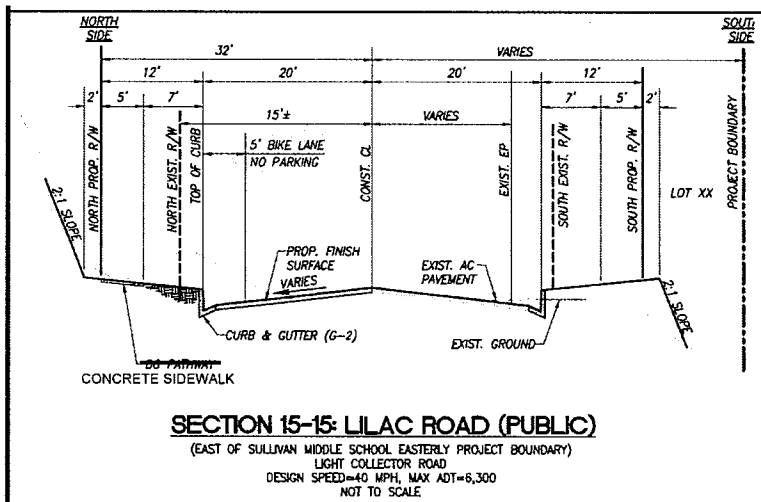
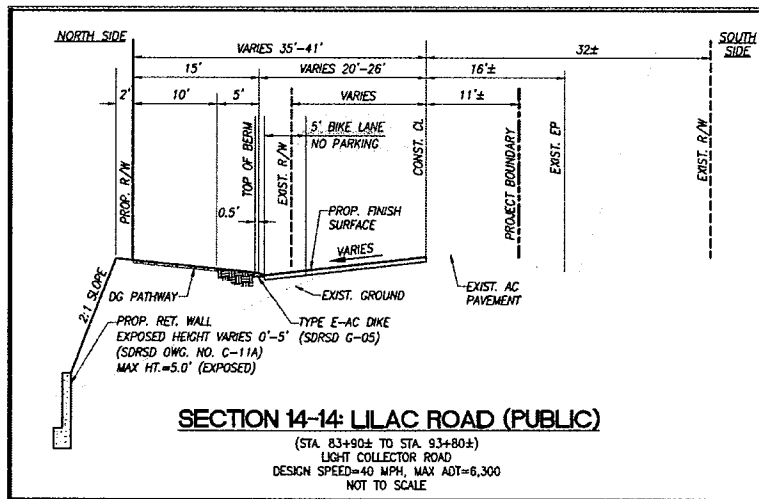
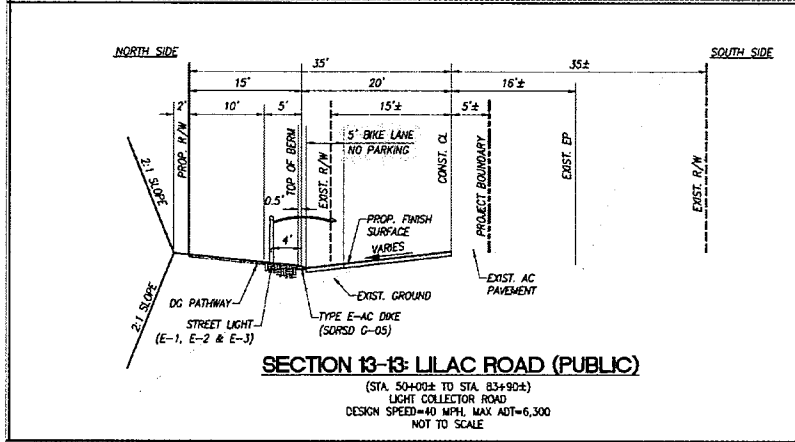
OBR DER 2.2
Modified bike lane along W Lilac Rd
6/17/19
Page 3



Bike lane with parking restrictions

Source: County of San Diego Public Road Standards, March 2012, pg 66

OBR DER 2.2
 Modified bike lane along W Lilac Rd
 6/17/19
 Page 4





County of San Diego

MARK WARDLAW
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
(858) 505-6445 General • (858) 694-2705 Codes • (858) 565-5920 Building Services
www.SDCPDS.org

KATHLEEN A. FLANNERY
ASSISTANT DIRECTOR

October 21, 2019

Ocean Breeze Ranch LLC
ATTN: Peter Fagrell
P.O. Box 1211
Bonsall, CA 92003

Dear Mr. Fagrell:

REQUEST FOR A DESIGN EXCEPTION TO PRIVATE ROAD STANDARDS – DULIN ROAD AND INTERIM SECONDARY ACCESS ROAD WITHIN OCEAN BREEZE RANCH TM 5615, LOCATED IN THE BONSALE AND FALLBROOK COMMUNITY PLANNING GROUP AREAS IN THE UNINCORPORATED REGION OF SAN DIEGO COUNTY, ACCELA: PDS2016-TM-5615

The Department of Planning and Development Services (PDS) has reviewed the following requests for exceptions to the San Diego County (County) Private Road Standards dated June 17, 2019. The design exception requests the following modifications:

- **Dulin Road (Planning Area 3):** Request is to modify Private Road Standard Section 87.402 (a)(2) by decreasing the private road easement width from forty feet (40') to twenty-eight feet (28').
- **Interim Secondary Access Road (Fire Access Roads for Ocean Breeze Equestrian Center):** Request is to use alternative soil cement structural section design for fire access routes within private equestrian facility in lieu of asphalt concrete pavement.

County staff has assessed the appropriateness of the requested exceptions and found them to be acceptable. Staff has also determined that these requested exceptions will not adversely affect the safety of all road users. PDS is able to support your request for modification of the above mentioned conditions, pursuant to recommendation of the alternative soil cement structural section design for private easement road that meets H20 loading, as specified in the technical memorandum prepared by GeoSoils, Inc. dated November 21, 2018. All other improvements and standards required for County Tract No. 5614 shall be met as conditioned.

REQUEST FOR A DESIGN EXCEPTION TO PRIVATE ROAD STANDARDS – DULIN ROAD AND INTERIM SECONDARY ACCESS ROAD WITHIN OCEAN BREEZE RANCH TM 5615, LOCATED IN THE BONSALL AND FALLBROOK COMMUNITY PLANNING GROUP AREAS IN THE UNINCORPORATED REGION OF SAN DIEGO COUNTY, ACCELA: PDS2016-TM-5615

Page 2

If you have any questions or need additional information related to this request, please contact Ken Brazell at (858) 694-2728, or at the following e-mail address: Kenneth.Brazell@sdcounty.ca.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read 'J. Armstrong', is positioned below the word 'Sincerely,'.

Jacob Armstrong, Chief
Land Development Division
Department of Planning & Development Services

KJB: SM: EE

cc: PDS2015-TM-5615

REQUEST FOR A DESIGN EXCEPTION TO PRIVATE ROAD STANDARDS – DULIN ROAD AND INTERIM SECONDARY ACCESS ROAD WITHIN OCEAN BREEZE RANCH TM 5615, LOCATED IN THE BONSALL AND FALLBROOK COMMUNITY PLANNING GROUP AREAS IN THE UNINCORPORATED REGION OF SAN DIEGO COUNTY, ACCELA: PDS2016-TM-5615

Page 3

NATURE OF REQUEST:

The Department of Planning & Development Services (PDS) received a Request for Design Exception, dated June 17, 2019, to San Diego County (County) Standards for Private Roads . Request is to modify Private Road Standard Section 87.402 (a)(2) by decreasing the private road easement width from forty feet (40') to twenty-eight feet (28'). The applicant also requests to use alternative soil cement structural section design for fire access routes within private equestrian facility in lieu of asphalt concrete pavement.

BACKGROUND:

The project, Ocean Breeze, proposes a Tentative Map and Major Use Permit (MUP) to subdivide the 1,402.52-acre property into 396 units for residential development. The as-built equestrian facility also requires a Major Use Permit. The property is located at 5820 West Lilac Road, Bonsall in the Bonsall and Fallbrook Community Plan areas, within the unincorporated San Diego County. The site is subject to the Semi-Rural, Rural, and Village Regional Category and the Village Residential (VR-4.3), Semi-Rural Residential (SR-4), Semi-Rural Residential (SR-10), Rural Lands (RL-20), and Rural Lands (RL-40) Land Use Designation. The Zoning Use Regulation for the site is Variable Family Residential (RV), Limited Agriculture (A70), and Open Space (S80).

Applicant's request is based on the following:

1. The fire access road will be passing through significant cultural resources and the local Native American tribes will allow the access if the following objectives are met in pursuance to the fire access road (Dublin Road):
 - a. The access road does not expand beyond the necessary amount of road width needed for fire access.
 - b. There are no excavations to be performed from the site.
2. The proposed narrower easement width and reduced speed will adhere closely to the existing dirt road.
3. The access road will be privately owned and maintained and will not be accessible to the public.
4. The alternative soil cement structural section design will maintain the rural characteristics of the area and can support the weight of the fire trucks if needed.

DEPARTMENT OF PUBLIC WORKS

OBR DER 1.1
Dulin Private rd
easement width

Request for a
Design Exception to a Road Standard
and/or Modification to Project Conditions

Project Number: PDS2016-TM-5615 Date of Request: 6/17/19

Project Location: 5820 West Lilac Road; Bonsall, CA

Thos. Bros. Map/Grid: _____ APN: 124-150-28-00 and others

Requestor Name: Ocean Breeze Ranch LLC attn Pete Fagrell Telephone: (760) 533-7261

Address: P.O. Box 1211 Bonsall, CA 92003

Requested Design Exception (attach engineering sketches showing existing layout, details and notes):
Request is for approval of private road easement width of 28 feet on private road "Dulin Road" between
Stations 158+40 and 165+70, which is less than County standard 40 foot width requirement for private
roads. Please see attached for additional explanation and supporting documentation.

Reason for requested Design Exception (provide attachment if additional space is required): _____
Please see attached for additional explanation and supporting documentation.

List alternatives that could mitigate the requested Design Exception (attach engineering sketches showing
proposed layouts, details and notes): Please see attached for additional explanation and supporting documentation.

Describe the hardship(s) to the property owner(s) and/or neighbor(s) if the request is not approved (see note
3. on reverse): Please see attached for additional explanation and supporting documentation.

Provide Design and Cost Estimate for meeting the Condition (see note 3. on reverse): _____
Please see attached for additional explanation and supporting documentation.

See reverse for directions and important information.

**Ocean Breeze Ranch DER 1.1
Dulin Road - private road easement width
6/17/19**

Requested Design Exception:

The County's Standards for Private Roads, Section 87.402 (a)(2) requires a road easement of 40 feet in width, unless a) the road serves less than 100 ADT or b) the Director deems that meeting the standard is not feasible.

The project is requesting approval of a Design Exception for a segment of the private road named Dulin Road. Dulin Road serves as primary access for 14 estate lots, in an area of the project known as Planning Area 3. From Station 158+40 to Station 165+70, the proposed roadway will have a 28-foot wide private road easement, rather than the standard 40 foot wide easement. This represents a segment of 730 lineal feet of roadway easement.

The road serves 14 estate sized lots, for which a total of 168 ADT is projected (14 lots X 12 ADT/estate lot.) Therefore this exception is not eligible for consideration as a result of servicing fewer than 100 ADT. However, we believe other design alternatives are not feasible and we request concurrence from the Director.

Reason for Requested Design Exception:

The affected portion of Dulin Road occurs between stations 158+40 and 165+70. In this area, Dulin Road passes through a portion of the project site where documented cultural resources exist. A series of thorough and lengthy consultations have taken place between the County, the local Native American tribes, and the applicant. During the consultation process, concerns have been raised by the tribes that impacts not be expanded beyond the existing dirt road any more than absolutely necessary, and that no excavation be performed. In regards to the road passing through cultural significant resources, the tribes have indicated they can consent to the construction of the road provided the applicant and County revise the road design to accomplish these two primary objectives of the tribes.

In this area, a narrower easement width and reduced speed are proposed, in order to allow a roadway to be constructed while adhering as closely as possible to the existing dirt road. The resulting new roadway has curvature which is tighter, and changes in grade which are greater than typical, in order to remain within the footprint of the existing dirt road disturbance.

This road will be privately owned by the community's HOA, and is not accessible to the public. Gated entrances are proposed at the far western and far eastern points of termination for the private Dulin Road.

List alternatives that could mitigate the design exception:

- A) construct road with standard easement width;
- B) select different road alignment.

Alternative A would result in greater width of an easement. However, the Native American tribes have indicated they will not agree to any activities or uses outside the proposed graded road area. Therefore a standard 40 foot wide easement would result in the outer 12 feet being unusable for any purposes associated with a road. Therefore, it is effectively the same as proposing a 28.0 wide easement.

Alternative B would require aligning the road either to the north or to the south of the current proposed location. To the south, there are also extensive cultural resources, as well as sensitive biology, and terrain which is steeper than the road's current proposed location. Such an alignment would include the same tribal concerns, would result in greater impacts to biology and steep slopes, and due to steep terrain, would result in a larger footprint. For all these reasons,

OBR - DER 1.1
Dulin Road private road easement width
6/17/19

Page 2

this alternative is less feasible than the proposed location. To the north, cultural resources also exist, and the road design would need to have a larger footprint in order to respond to steep topography. Therefore, impacts to cultural resources would be more significant than the proposed design, and it also would therefore be less feasible.

Describe hardships to applicant if Design Exception is not granted:

In order for the project to be feasible for approval and construction, it is necessary to obtain approval from and enjoy the support of numerous groups of regulators and stakeholders. In addition to the County, this includes the local fire district, County, State and federal regulators who are tasked with preserving biological resources, as well as Native American tribes in the general area who have cultural heritage in our region. Dulin Road is necessary to address emergency egress and evacuation for the project's future residents, in the event of a large-scale fire event.

If the Design Exception is not granted and the standard width private road easement were to be required, the project may not receive the consent of the local Native American tribes, which could result in a failure to obtain project approvals, or legal challenges by local tribal organizations.

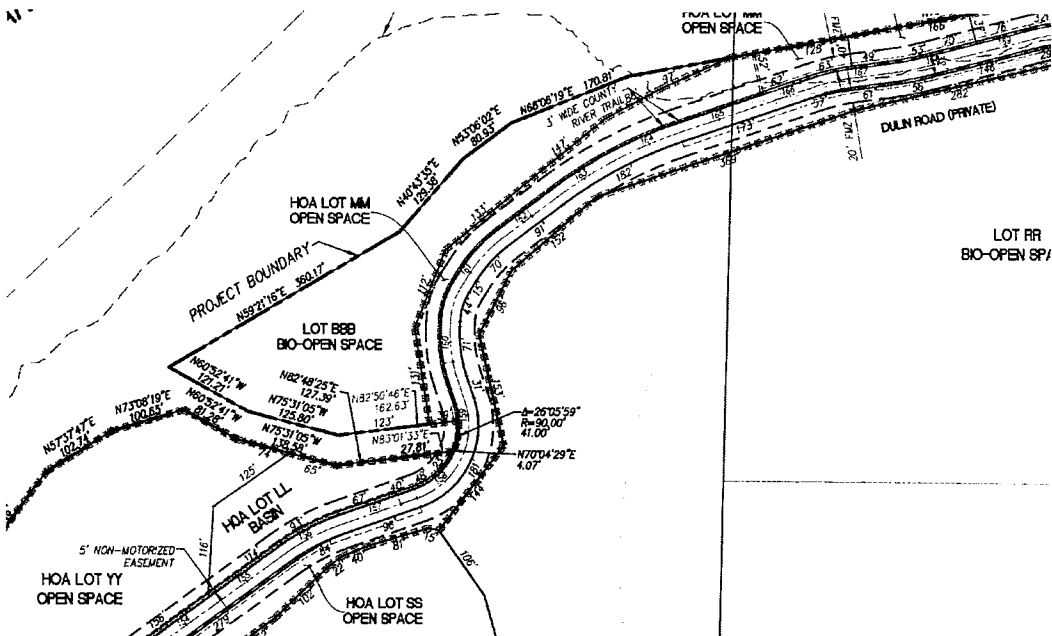
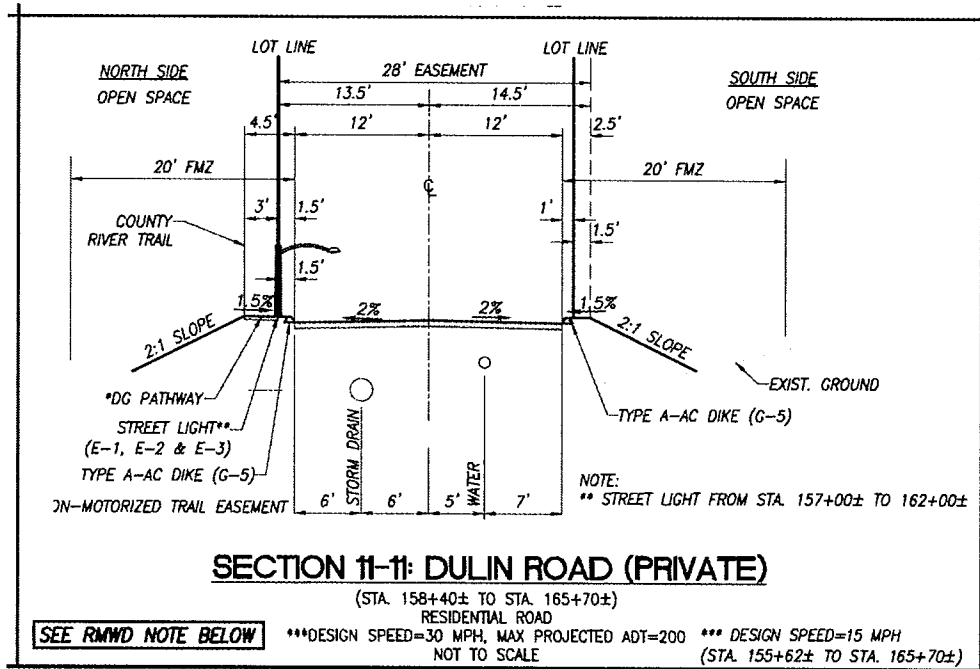
Design Cost for Meeting the Condition:

The estimated cost for the 730 lineal foot segment of Dulin Road is as follows:

\$ 87.09 per lineal foot	
X 730 lin ft	
\$ 63,575	Rounded to \$63,400

OBR - DER 1.1
 Dulin Road private road easement width
 6/17/19

Page 3



DEPARTMENT OF PUBLIC WORKS

OBR DER 1.2
Soil Cement
Fire Roads

Request for a
Design Exception to a Road Standard
and/or Modification to Project Conditions

Project Number: PDS2016-TM-5615 Date of Request: 6/17/19

Project Location: 5820 West Lilac Road; Bonsall, CA

Thos. Bros. Map/Grid: _____ APN: 124-150-28-00 and others

Requestor Name: Ocean Breeze Ranch LLC attn Pete Fagrell Telephone: (760) 533-7261

Address: P.O. Box 1211 Bonsall, CA 92003

Requested Design Exception (attach engineering sketches showing existing layout, details and notes):
Request is for approval of use of soil cement for fire access routes within private equestrian facility. Soils
cement consists of mixture of native decomposed granite and minimum percentage of cement, mixed and
compacted as per recommendations of soils engineering firm Geosoils. Thickness shall be minimum 12",
or as necessary to accomplish necessary R-value to support weight of 75,000 fire apparatus.

Reason for requested Design Exception (provide attachment if additional space is required):
The dirt roads which are the subject of this request are private, internal driveways exclusively for use by
the owner, employees and invited guests of the private equestrian facility. The owner desires to retain the
rural character of the existing dirt roads within the property. Requiring conventional paved asphalt
roads will eliminate an important aesthetic visual characteristic of this predominantly rural area.

List alternatives that could mitigate the requested Design Exception (attach engineering sketches showing
proposed layouts, details and notes): Memo by Geosoils attached, documenting soils cement ability to support
fire truck weight.

Describe the hardship(s) to the property owner(s) and/or neighbor(s) if the request is not approved (see note
3. on reverse): Requiring conventional paved asphalt roads will eliminate an important aesthetic visual
characteristic of this predominantly rural area.

Provide Design and Cost Estimate for meeting the Condition (see note 3. on reverse):
Total estimated cost \$1,035,000 to provide roads per County private road standards. Detail estimate is
attached.

See reverse for directions and important information.

**Ocean Breeze Ranch DER 1.2
Equestrian Facility Fire Roads - Alternate Roadway surface/material
6/17/19**

Design Cost for Meeting the Condition:

The estimated cost for the roads within the Equestrian Facility to be improved as fire access roads:

375,800 sq ft road surface area

\$ 0.20 / SF balance road subgrade
\$ 1.25 /SF 6" base
\$ 1.30 /SF 3" AC pavement
\$ 2.75 /SF total

X 375,800 sq ft
\$ 1,033,450 Rounded to \$ 1,035,000



Geotechnical • Geologic • Coastal • Environmental

5741 Palmer Way • Carlsbad, California 92010 • (760) 438-3155 • FAX (760) 931-0915 • www.geosoilsinc.com

TECHNICAL M E M O R A N D U M

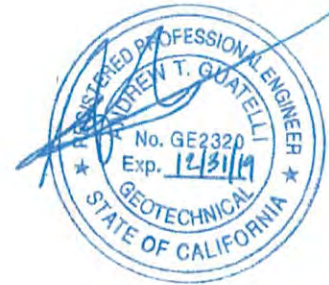
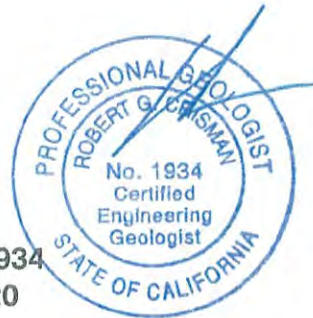
Date: November 21, 2018

W.O. 6960-A5-SC

To: Ocean Breeze Ranch
5820 West Lilac Road
Bonsall, California 92003

Attn: Mr. Pete Fagrell

From: Robert G. Crisman, CEG 1934
Andrew T. Guatelli, GE 2320



Subject: Review of Pavement Design and Construction Options for Farm Roads, Ocean Breeze Ranch Equestrian Center, Bonsall, California

- References:**
1. "Geotechnical Evaluation for Ocean Breeze Ranch, Bonsall, San Diego County, California," W.O. 6960-A-SC, Dated October 6, 2016, by GeoSoils, Inc.
 2. "Gravel Roads, Construction & Maintenance Guide," Dated August, 2015, by U.S. Department of Transportation, Federal Highway Administration.
 3. "AASHTO Guide for Design of Pavement Structures, 1993, by American Association of State Highway and Transportation Officials.

In accordance with your request, GeoSoils, Inc. (GSI), has evaluated soil subgrade and pavement design/construction options for rural, farm roads at the subject site. The scope of services has included a review of the referenced documents, laboratory testing, engineering analysis, and preparation of this memorandum. Unless specifically superceded herein, the conclusions and recommendations presented in Reference No. 1 remain valid and applicable.

Based on our review of Reference No. 1, subgrade soils occurring within the equestrian center area are Holocene-age alluvial sediments, typically consisting of light brown sands, and silty sands. Infiltration testing completed in preparation of Reference No. 1 also indicates that these soils are very well drained, and a regional groundwater table appears to occur at depths ranging from approximately 11½ to 18½ feet below existing grades. As such, groundwater is not anticipated to affect pavement performance. Existing roadways within the equestrian area appears to generally consist of graded native soils (i.e., graded sands and silty sands). Where adequate surface drainage has been provided, these roadways appear to have performed adequately to date.

In preparation of Reference No. 1, R-value testing was performed on a representative sample of sandy alluvial soil, in general accordance with the latest revisions to the Department of Transportation, State of California, Material & Research Test Method No. 301. Based on this test, an R-value of 74 (strong subgrade) was evaluated. The pavement section presented in reference No.1 is considered adequate for the support of an AASHTO "H-20" load (i.e., fire trucks, service trucks, etc.).

To preserve the "character" of the property, it is desired to use the native, sandy soils for the pavement "section." Several options exist to provide adequate emergency vehicle support. The following recommended treatment satisfies the need for an "all weather" roadway, that also meets the anticipated loading conditions of the fire department.

Soil Cement Treatment:

Treat the upper 6 to 12 inches of the existing roadways with soil cement. A minimum 6 percent soil cement by weight is recommended. Soil cement should be prepared and applied in accordance with manufacturers recommendations and a qualified paving contractor.

The conclusions presented herein are professional opinions. These opinions have been derived in accordance with current standards of practice, and no warranty is express or implied. Standards of practice are subject to change with time. GSI assumes no responsibility or liability for work or testing performed by others, or their inaction, or work performed when GSI is not requested to be onsite, to evaluate if our recommendations have been properly implemented. Use of this report constitutes an agreement and consent by the user to all the limitations outlined above, notwithstanding any other agreements that may be in place. In addition, this document may be subject to review by the controlling authorities.

Distribution: Addressee (email)

Attachment I
SERVICE AVAILABILITY FORMS



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - WATER
ZONING DIVISION

Please type or use pen

Frank N Vessels Family Trust; Attn William Thead, Trustee			ORG _____	W
Owner's Name	Phone		ACCT _____	
5256 So. Mission Road, Suite 204			ACT _____	
Owner's Mailing Address	Street		TASK _____	
Bonsall	CA	92003	DATE <u>9/30/14</u> AMT \$ <u>30⁰⁰</u>	
City	State	Zip	DISTRICT CASHIER'S USE ONLY	

SECTION 1. PROJECT DESCRIPTION **TO BE COMPLETED BY APPLICANT**

- A. Major Subdivision (TM) Specific Plan or Specific Plan Amendment
 Minor Subdivision (TPM) Certificate of Compliance: _____
 Boundary Adjustment
 Rezone (Reclassification) from _____ to _____ zone.
 Major Use Permit (MUP), purpose: _____
 Time Extension...Case No. _____
 Expired Map...Case No. _____
 Other _____
- B. Residential Total number of dwelling units 400
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____
- C. Total Project acreage 1400 Total number of lots 400
- D. Is the project proposing the use of groundwater? Yes No
 Is the project proposing the use of reclaimed water? Yes No

Assessor's Parcel Number(s)
(Add extra if necessary)

See exhibit	
attached	

Thomas Guide Page _____ Grid _____
 5820 W Lilac Road
 Project address _____ Street _____
 Bonsall _____ 92003
 Community Planning Area/Subregion _____ Zip _____

Owner/Applicant agrees to pay all necessary construction costs, dedicate all district required easements to extend service to the project and COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: William Thead, Trustee Date: 9/5/14
 Address: 5256 So. Mission Road, Suite 204; Bonsall, CA 92003 Phone: (760) 414-3220

(On completion of above, present to the district that provides water protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY **TO BE COMPLETED BY DISTRICT**

- District Name: Rainbow Municipal Water District Service area: Bonsall
- A. Project is in the district.
 Project is not in the district but is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the district and is not within its Sphere of Influence boundary.
 The project is not located entirely within the district and a potential boundary issue exists with the _____ District.
- B. Facilities to serve the project ARE ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached _____ (Number of sheets) _____
 Project will not be served for the following reason(s): _____
- C. District conditions are attached. Number of sheets attached: 1
 District has specific water reclamation conditions which are attached. Number of sheets attached: _____
 District will submit conditions at a later date.
- D. How far will the pipeline(s) have to be extended to serve the project? TBD

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized Signature: Sherry Reburno Print Name Sherry Reburno
 Print Title Acting District Engineer Phone (760) 728-1178 Date 9/16/14

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF SERVICE OR FACILITIES BY THE DISTRICT
 On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Planning & Development Services – Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123



September 30, 2014

Planning & Development Services
5510 Overland Ave. Suite 110
San Diego, CA 92123

Subject: Conditions for APN 126-060-78, 124-150-28, 127-191-20, 127-230-59, 127-271-02, 125-131-49, 127-271-01, 124-150-35, 124-131-48, 125-131-54, 125-080-21 and 124-150-34, Vessels DPLU 399W and 399S

To Whom It May Concern:

C. Rainbow Municipal Water District (District) conditions regarding the parcel referenced above are as follows:

1. Facilities must be extended to serve all parcels of the development and all work must conform to the current District standards and specifications
2. District must be at a Drought Level 2 or lower in order to supply water meters or development must prove an offset of water per District Drought Ordinance
3. Development may be required to upsize sewer lines to accommodate flows and pay additional fees to fund sewer upsizing projects impacted by the development
4. If the District does not have adequate capacity to treat sewer per the contract with the San Luis Rey Treatment Plant, development must pay to increase the treatment capacity



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SCHOOL
ZONING DIVISION

Please type or use pen
(Two forms are needed if project is to be served by separate school districts)

Frank N Vessels Family Trust Attn William Thead, Trustee

Owner's Name _____ Phone _____
5256 So. Mission Road, Suite 204 (760) 414-3220

Owner's Mailing Address _____ Street _____
Bonsall CA 92003

City _____ State _____ Zip _____

ORG _____ ACCT _____ ACT _____ TASK _____ DATE _____

ELEMENTARY _____ HIGH SCHOOL _____ UNIFIED _____

Sc

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

A. LEGISLATIVE ACT
 Rezones changing Use Regulations or Development Regulations
 General Plan Amendment
 Specific Plan
 Specific Plan Amendment

B. DEVELOPMENT PROJECT
 Rezones changing Special Area or Neighborhood Regulations
 Major Subdivision (TM)
 Minor Subdivision (TPM)
 Boundary Adjustment
 Major Use Permit (MUP), purpose: _____
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other _____

C. Residential Total number of dwelling units 400
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____

D. Total Project acreage 1400 Total number lots 400

Applicant's Signature: William Thead, Trustee Date: 9/5/14
Address: 5256 So. Mission Road, Suite 204 Phone: (760) 414-3220

Assessor's Parcel Number(s)
(Add extra if necessary)

See exhibit	
attached	

Thomas Guide Page _____ Grid _____
5820 W Lilac Rd
Project address _____ Street _____
Bonsall 92003
Community Planning Area/Subregion _____ Zip _____

(On completion of above, present to the district that provides school protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

District Name: Bonsall Unified

If not in a unified district, which elementary or high school district must also fill out a form?

Indicate the location and distance of proposed schools of attendance.

Elementary: Bonsall Elementary School miles: _____
Junior/Middle: Sullivan Middle School miles: _____
High school: Bonsall High School miles: _____

This project will result in the overcrowding of the elementary junior/school high school. (Check)
 Fees will be levied or land will be dedicated in accordance with Education Code Section 17620 prior to the issuance of building permits.
 Project is located entirely within the district and is eligible for service. MITIGATION OF IMPACTS OF DEVELOPMENT TO DISTRICT REQUIRED
 The project is not located entirely within the district and a potential boundary issue may exist with the _____ school district.

Authorized Signature: Tom Krzmarzick Print Name: TOM KRZMARZICK
Print Title: ASSISTANT SUPERINTENDENT Phone: 760-631-5200 X1000

On completion of Section 2 by the district, applicant is to submit this form with application to:
Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123



County of San Diego

MARK WARDLAW
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
(858) 694-2962 • Fax (858) 694-2555
www.sdcounty.ca.gov/pds

KATHLEEN A. FLANNERY
ASSISTANT DIRECTOR

November 13, 2019

David Jones
31505 Old River Road
Bonsall, Ca 92003

Dear Mr. Jones,

Thank you for the opportunity for County of San Diego(County) staff to meet with you and Bob Nicholson from Eric Hall & Associates regarding traffic concerns near the Bonsall Elementary School (School). The County appreciates the opportunity to work with the Bonsall Unified School District (District) as it develops an operations plan in order to improve vehicular access to and from School for the staff and student's parents.

Access Management is the proactive management of vehicular access points to parcels adjacent to roadways and promotes safe and efficient use of the transportation network. With consideration to Access Management and after multiple field observations, County staff considers that the driveway immediately north of the Old River Road/Camino del Rey intersection to be problematic and leads to severe queues and operational impacts for the morning and afternoon student pick-up and drop-off times.

It should be noted that the newly constructed signal at Camino del Rey/Calle de las Brisas intersection was intended to allow for an easterly access to the School site through the Golf Green Estates (now S.L. Rey Residences) development. In addition, the existing driveway near the Old River Road/Camino del Rey intersection was not intended to provide for permanent school access.

County staff also observed that the westerly access driveways on Old River Road provide abundant storage for vehicle queues and are underutilized during morning and afternoon pick-up and drop-off times.

Therefore, the County encourages the District to work with County Department of Public Works to restrict driveway access to the School near the Old River Road/Camino del Rey intersection in conjunction with opening the currently gated easterly access through the Calle de las Brisas signalized intersection and to better utilize the westerly School access along Old River Road. This circulation pattern should help reduce congestion along the roads adjacent to the School site.

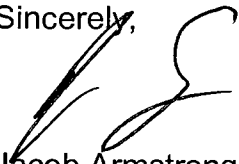
David Jones
November 13, 2019
Page 2

It is strongly encouraged to have a robust communication plan ahead of time to facilitate the change of circulation for morning and afternoon student pick-up and drop-off times.

The District may also consider exploring the opportunity to increase the length of the right-turn pocket at Calle de las Brisas to allow for more storage for vehicles accessing the campus and minimize impeding vehicles from travelling east on Camino del Rey.

If you have any questions or if there's anything else we can do to assist, please contact Damon Davis at damon.davis@sdcounty.ca.gov or at (858) 495-5459. Again, we look forward to being of assistance as you develop the District-wide operations plan.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Armstrong', written over a horizontal line.

Jacob Armstrong, Chief
Land Development Division
Planning & Development Services



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SEWER
 ZONING DIVISION

Please type or use pen

Frank N Vessels Family Trust; Attn William Thead, Trustee

Owner's Name: Frank N Vessels Family Trust; Attn William Thead, Trustee
 Phone: _____

5256 So. Mission Road, Suite 204

Owner's Mailing Address: _____ Street: _____
 Bonsall CA 92003

City: _____ State: _____ Zip: _____

ORG: _____
 ACCT: _____
 ACT: _____
 TASK: _____
 DATE: 9/30/14 AMT \$ 75⁰⁰

S

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

A. Major Subdivision (TM) Certificate of Compliance: _____
 Minor Subdivision (TPM) Boundary Adjustment
 Specific Plan or Specific Plan Amendment
 Rezone (Reclassification) from _____ to _____ zone
 Major Use Permit (MUP), purpose: _____
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other _____

B. Residential Total number of dwelling units 400
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____

C. Total Project acreage 1400 Total lots 400 Smallest proposed lot 6000

D. Is the project proposing its own wastewater treatment plant? Yes No
 Is the project proposing the use of reclaimed water? Yes No

Assessor's Parcel Number(s)
 (Add extra if necessary)

See exhibit	
attached	

Thomas Guide Page _____ Grid _____
 5820 W Lilac Road
 Project address _____ Street _____
 Bonsall _____ 92003
 Community Planning Area/Subregion _____ Zip _____

Owner/Applicant agrees to pay all necessary construction costs and dedicate all district required easements to extend service to the project.
OWNER/APPLICANT MUST COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: William Thead, Trustee Date: 9/5/14
 Address: 5256 So. Mission Road, Suite 204; Bonsall, CA 92003 Phone: (760) 414-3220

(On completion of above, present to the district that provides sewer protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

District name Rainbow Municipal Water District Service area Bonsall

A. Project is in the District.
 Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the District and is not within its Sphere of Influence boundary.
 Project is not located entirely within the District and a potential boundary issue exists with the _____ District.

B. Facilities to serve the project ARE ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached. Number of sheets attached: _____
 Project will not be served for the following reason(s): _____

C. District conditions are attached. Number of sheets attached: 1
 District has specific water reclamation conditions which are attached. Number of sheets attached: _____
 District will submit conditions at a later date.

D. How far will the pipeline(s) have to be extended to serve the project? TBD

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized Signature: [Signature] Sherry Rehrens, Acting District Eng. (760) 728-1178 9/16/14
 Print Name and Title Phone Date

THIS DOCUMENT IS NOT A COMMITMENT OF FACILITIES OR SERVICE BY THE DISTRICT On completion of Section 2 by the district, applicant is to submit this form with application to: Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123

SDC PDS RCVD 09-26-16
 TM5615,
 MUP16-012, MUP16-013



September 30, 2014

Planning & Development Services
5510 Overland Ave. Suite 110
San Diego, CA 92123

Subject: Conditions for APN 126-060-78, 124-150-28, 127-191-20, 127-230-59, 127-271-02, 125-131-49, 127-271-01, 124-150-35, 124-131-48, 125-131-54, 125-080-21 and 124-150-34, Vessels DPLU 399W and 399S

To Whom It May Concern:

C. Rainbow Municipal Water District (District) conditions regarding the parcel referenced above are as follows:

1. Facilities must be extended to serve all parcels of the development and all work must conform to the current District standards and specifications
2. District must be at a Drought Level 2 or lower in order to supply water meters or development must prove an offset of water per District Drought Ordinance
3. Development may be required to upsize sewer lines to accommodate flows and pay additional fees to fund sewer upsizing projects impacted by the development
4. If the District does not have adequate capacity to treat sewer per the contract with the San Luis Rey Treatment Plant, development must pay to increase the treatment capacity



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - FIRE
 ZONING DIVISION

Please type or use pen

Frank N Vessels Family Trust Attn William Thead

Owner's Name Phone
 5256 So. Mission Road, Suite 204 (760) 414-3220

Owner's Mailing Address Street
 Bonsall CA 92003

City State Zip

ORG _____
 ACCT _____
 ACT _____
 TASK _____
 DATE _____ AMT \$ _____

F

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

A. Major Subdivision (TM) Specific Plan or Specific Plan Amendment
 Minor Subdivision (TPM) Certificate of Compliance: _____
 Boundary Adjustment
 Rezone (Reclassification) from _____ to _____ zone.
 Major Use Permit (MUP), purpose: _____
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other _____

B. Residential Total number of dwelling units 400
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____

C. Total Project acreage 1400 Total lots 400 Smallest proposed lot 6000

Assessor's Parcel Number(s)
 (Add extra if necessary)

See exhibit	
attached	

Thomas Guide. Page _____ Grid _____
 5820 W Lilac Rd
 Project address Street
 Bonsall 92003
 Community Planning Area/Subregion Zip

OWNER/APPLICANT AGREES TO COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.
 Applicant's Signature: [Signature], TRUSTEE Date: 9/5/14
 Address: 5256 So. Mission Road, Suite 204; Bonsall, CA 92003 Phone: (760) 414-3220
 (On completion of above, present to the district that provides fire protection to complete Section 2 and 3 below.)

SECTION 2: FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

District Name: North County Fire Protection District

Indicate the location and distance of the primary fire station that will serve the proposed project:
5906 Olive Hill Rd Fullbrook CIA Approx 6 miles

A. Project is in the District and eligible for service.
 Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the District and not within its Sphere of Influence boundary.
 Project is not located entirely within the District and a potential boundary issue exists with the _____ District.

B. Based on the capacity and capability of the District's existing and planned facilities, fire protection facilities are currently adequate or will be adequate to serve the proposed project. The expected emergency travel time to the proposed project is 0-9 minutes minutes.
 Fire protection facilities are not expected to be adequate to serve the proposed development within the next five years.

C. District conditions are attached. Number of sheets attached: _____
 District will submit conditions at a later date. A FPP will be required

SECTION 3. FUELBREAK REQUIREMENTS

Note: The fuelbreak requirements prescribed by the fire district for the proposed project do not authorize any clearing prior to project approval by Planning & Development Services.

Within the proposed project _____ feet of clearing will be required around all structures.
 The proposed project is located in a hazardous wildland fire area, and additional fuelbreak requirements may apply. Environmental mitigation requirements should be coordinated with the fire district to ensure that these requirements will not pose fire hazards.

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Dotty Koch Dotty Koch FPS 7607232040 9-18-14
 Authorized Signature Print Name and Title Phone Date

On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Planning & Development Services - Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123

Attachment J
OWNERSHIP DISCLOSURE



County of San Diego, Planning & Development Services
APPLICANT'S DISCLOSURE OF OWNERSHIP INTERESTS ON APPLICATION FOR ZONING PERMITS/ APPROVALS
ZONING DIVISION

Record ID(s) PDS2016 - TM - 5615

Assessor's Parcel Number(s) SEE ATTACHED APN LIST

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. **NOTE:** Attach additional pages if necessary.

A. List the names of all persons having any ownership interest in the property involved.

OCEAN BREEZE RANCH LLC 100%

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

OBK TRUST 100%

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

TRUSTEE MICHAEL MCGRATH

NOTE: Section 1127 of The Zoning Ordinance defines Person as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

Elizabeth Emrick MANAGER
Signature of Applicant
ELIZABETH EMRICK
Print Name
SEPTEMBER 12, 2016
Date

--- OFFICIAL USE ONLY ---
SDC PDS RCVD 09-26-16
TM5615,
MUP16-012, MUP16-013

APN List

124-150-28-00

124-150-34-00

124-150-35-00

125-080-21-00

125-131-48-00

125-131-49-00

125-131-54-00

126-060-78-00

127-191-20-00

127-230-59-00

127-271-01-00

127-271-02-00