



The County of San Diego

Planning Commission Hearing Report

Date:	October 18, 2024	Case/File No.:	1140 N 1 st Street Tentative Map Condominium Conversion; PDS2024-TM-5654 PDS2024-ER-24-14-008
Place:	County Conference Center 5520 Overland Avenue San Diego, CA 92123	Project:	Tentative Map for Condominium Conversion Purposes
Time:	9:00 a.m.	Location:	1140-1142 N 1 st Street, Lakeside, CA 92021
Agenda Item:	#1	General Plan:	Village Residential (VR-15)
Appeal Status:	Appealable to the Board of Supervisors	Zoning:	Variable Family Residential (RV)
Applicant/Owner:	BC First LLC, c/o Alex Lisnevsky	Community:	Lakeside Community Plan Area
Environmental:	CEQA § 15301(k) Division of existing multi-family residences into common ownership where no physical changes occur	APNs:	484-092-21-00

A. OVERVIEW

The purpose of this report is to provide the Planning Commission with the information necessary to consider the proposed Tentative Map (TM) and environmental findings prepared in accordance with the California Environmental Quality Act (CEQA).

Based on staff's analysis, it is the position of Planning & Development Services (PDS) that the required findings can be made, and staff recommends approval of the TM, with the conditions included in the attached Resolution (Attachment B).

The 1140 N 1st Street Condominium Conversion (Project) includes a request for a TM for condominium conversion purposes of 40 multi-family units that have been approved and is currently under construction. The residential development has an approved Density Bonus application pursuant to Government Code Section 65915 et seq. and Section 6350 through 6399 of the Zoning Ordinance. Of the 40 units, 36 will be market rate and four will be affordable at the "very low-income" level. The residential development includes two three-story, 16,819 square-foot buildings with attached garages. Each unit ranges from two to three-bedrooms and range in size from 771 square feet to 1,102 square feet. The project is located on approximately 1.84 net-acres on one parcel of land within the Lakeside Community Planning Area.

The sections contained in this report describe the following: development proposal, analysis and discussion, community planning group and public input, CEQA compliance, and the Planning & Development Services (PDS) recommendation. PDS analyzed the Project for consistency with the General Plan, Zoning Ordinance, and other applicable regulations, policies and ordinances, and found the Project to be consistent with the inclusion of conditions in the TM Resolution (Attachment B). The Planning Commission is asked to consider the Project and either approve the Project as submitted, approve the Project with modifications, or deny the Project.

B. REQUESTED ACTIONS

This is a request for the Planning Commission to evaluate the proposed project, which is a Tentative Map (TM) for a condominium conversion, and determine if the required findings can be made and, if so, take the following actions:

1. Adopt the Environmental findings included in Attachment E, which include a finding that the proposed project is exempt from environmental review under a Categorical Exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines §15301(k).
2. Adopt the Resolution of Approval of Tentative Map PDS2024-TM-5654, which includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with State law and County of San Diego Regulations (Attachment B).

C. PROJECT BACKGROUND

On June 4, 2021, a Density Bonus Application was approved, allowing three units, or 10% of the base units, to be designated as affordable for very low-income households. The application (see Attachment D) was updated on September 27, 2024, to increase the number of affordable units to four, or 13% of the base units, for very low-income households. The project utilizes the Density Bonus Program in accordance with Government Code Section 65915 et seq. and Sections 6350 through 6399 of the Zoning Ordinance. As part of this program, which incentivizes the provision of affordable housing, the project was granted approval to increase the building height from two to three stories, resulting in a total building height of 38 feet.

On May 5, 2022, a Major Grading Permit (PDS2020-LDGRMJ-30268) and on May 12, 2023, an Improvement Plan (PDS2021-LDPIIP-60101) was approved for the site. Grading included 4,200 cubic yards (cy) of excavation, 4,900 cy of fill and 700 cy of import. The grading created building pads suitable for the construction of future residential buildings, a new private driveway and parking area, 3 ½ foot tall retaining walls, a drainage basin, curb, gutter, walkways and associated underground utilities. The approved improvement plan included road widening, resurfacing of the curb and gutter and sidewalk improvements to N. First Street. As part of the Major Grading Permit and Improvement Plan approval the grading and improvements of the project were found to be exempt from environmental review pursuant to CEQA Guidelines Section 15304 (Attachment D).

On May 9, 2023, Building Permits (PDS2023-COMPRI-000008 and PDS2023-COMPRI-000009) were approved for 40 units and approximately 79 parking spaces.

D. REGIONAL SETTING AND PROJECT LOCATION

The Project site is located within the Lakeside Community Plan area, approximately 320-feet north of Broadway and 2,400-feet south of Interstate-8 (1-8) (Figures 1 and 2). The Project site is surrounded by residential development. Properties immediately adjacent to the Project site are a mix of multi-family units that are similarly sized. The 1.84-acre Project site is comprised of one legal lot with two, three-story apartment buildings that include 40 apartment units.. Access is currently under construction and is a driveway which merges into a parking area for the residential development. This driveway connects to N 1st Street, a County-maintained road (Figure 2).

The General Plan Regional Category for the site is Village, and the General Plan Land Use Designation is Village Residential (VR-15) (Table D-1). Please refer to Attachment A – Planning Documentation, for maps of surrounding land uses and zoning designations.

Table D-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Village Residential (VR-4.3) Village Residential (VR-15) Village Residential (VR-24) General Commercial	RU, C34, C36, C37, C38,	N/A	Residential
East	Village Residential (VR-15) Village Residential (VR-24) General Commercial	RV, C34, C36	Persimmon Avenue	Residential
South	Village Residential (VR-15)	RV	Sumner Avenue	Residential, Commercial
West	Village Residential (VR-15) General Commercial	RV, C37	Denver Lane	Residential



Figure 1: Vicinity Map

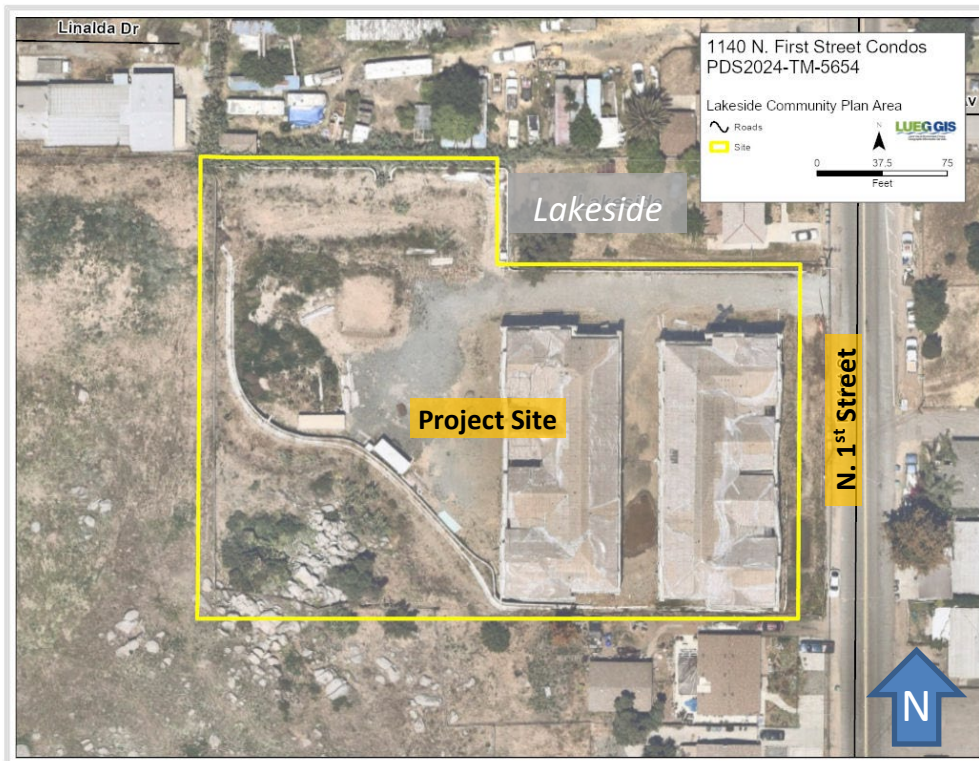


Figure 2: Vicinity Map (Closer Extent)

E. DEVELOPMENT PROPOSAL

1. Project Description

The applicant requests a TM for condominium conversion of 40 residential units (Project). The Project site is located on N 1st Street in the Lakeside Community Planning Area. The residential development has approved building permits and is currently under construction. The Project includes converting 40 apartment units into condominiums, which then could be sold individually. The site is approved for 79 total parking spaces. Access is provided by a driveway. Grading and improvements were part of the original building permit process for the residential development. No grading or improvements are required as part of the TM condominium conversion. The site is served by the San Miguel Consolidated Fire Protection District. The site has imported water from the Helix Water District and sewer service is provided by the San Diego County Sanitation District.

Please refer to Attachment A – Planning Documentation, to view the Tentative Map.

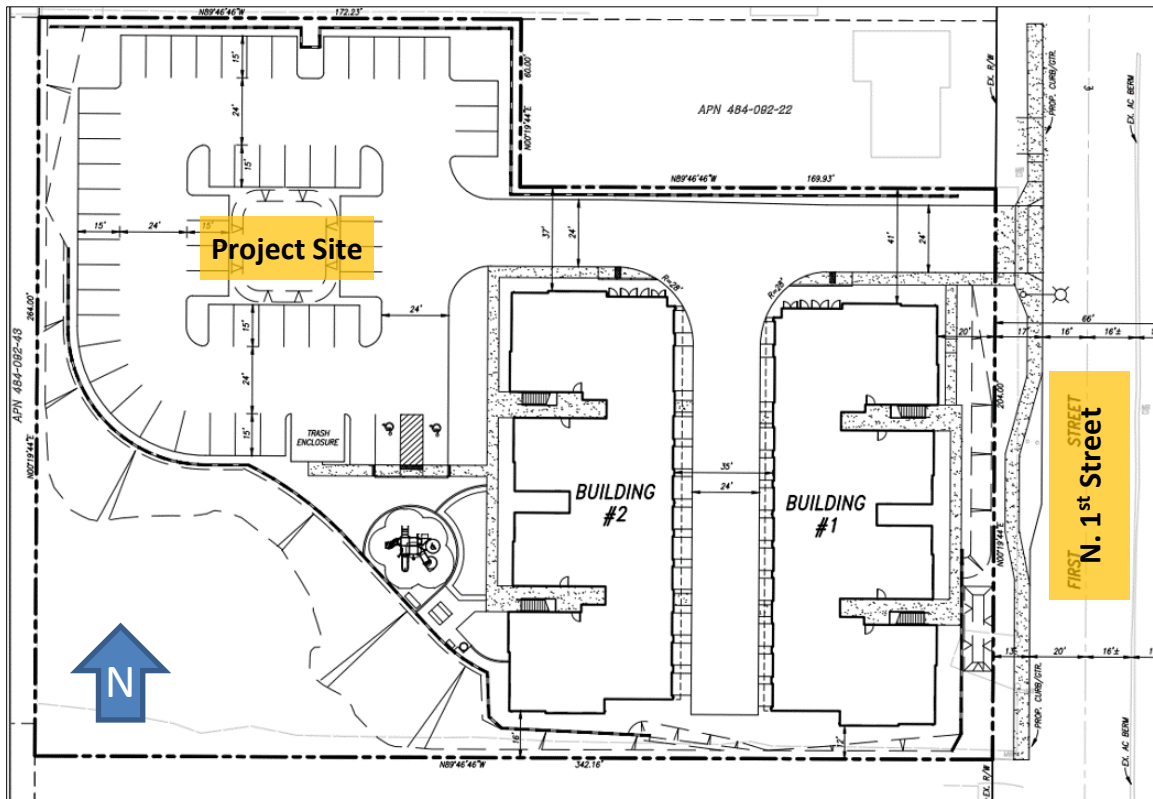


Figure 3: Existing Project layout



Figure 4: Photo Rendering of Project

F. ANALYSIS AND DISCUSSION

The Project has been reviewed for conformance with all relevant ordinances and guidelines, including the San Diego County General Plan, the Lakeside Community Plan, the County Subdivision Ordinance, the County Zoning Ordinance, and CEQA Guidelines. A discussion of the Project's consistency with applicable codes, policies, and ordinances, is described on the following pages.

1. Key Requirements for Requested Actions

- a. Is the proposed project consistent with the vision, goals, and policies of the General Plan?
- b. Does the project comply with the policies set forth under the Lakeside Community Plan?
- c. Is the proposed project consistent with the County's Zoning Ordinance?
- d. Is the proposed project consistent with the Subdivision Ordinance?
- e. Is the project consistent with other applicable County regulations?
- f. Does the project comply with California Environmental Quality Act (CEQA)?

2. Analysis

Density, Community Compatibility

The site is subject to the General Plan Regional Category Village, Land Use Designation Village Residential 15 (VR-15), 15 dwelling units per acre. The number of base units permitted is 28 units. The 40-unit residential apartment complex utilized the Density Bonus Program pursuant to Government Code Section 65915 et seq. and Section 6350 through 6399 of the Zoning Ordinance. The Density Bonus Calculation permits a maximum of 40 units to be constructed pursuant to the Density Bonus Program. The project is required to set aside four units or 13% of the base units as affordable to very low-income households. With the Density Bonus allowance, the project reserved 13% of the base units for very low-income households; therefore, the residential development is eligible for a 42.5% density bonus which is a maximum of 40 residential units (See Attachment D for the approved Density Bonus Application).

The purpose of the TM is to create a condominium lot to allow for the conversion of the 40 apartment units into condominium units. As part of the approved residential development, the Density Bonus Program approved one incentive to increase the number of stories of the building from two to three stories and for a building height of 38 feet. The project proposes no physical changes and would be consistent with existing community character as it is located in an area characterized by similar residential uses. Additionally, no new units are proposed as part of the TM.

3. General Plan Consistency

The site is subject to the Village General Plan Regional Category and General Commercial Land Use Designations. The Project is consistent with the following relevant General Plan goals, policies, and actions as described in Table F-1.

Table F-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
<p>LU-1.9 Achievement of Planned Densities. Recognizing that the General Plan was created with the concept that subdivisions will be able to achieve densities shown on the Land Use Map, planned densities are intended to be achieved through the subdivision process except in cases where regulations or site-specific characteristics render such densities infeasible.</p>	<p>The site is subject to the Village Residential General Plan Land Use Designation which authorizes a maximum density of 15 du/ac. The approved 40-unit apartment complex utilized the Density Bonus Program pursuant to Government Code Section 65915 et seq. and Section 6350 through 6399 of the Zoning Ordinance. As discussed in Section F.2. of this staff report, a maximum of 40 units is allowed to be constructed pursuant to the Density Bonus Program.</p>
<p>LU-3.1 Diversity of Residential Designations and Building Types. Maintain a mixture of residential land use designations and development regulations that accommodate various building types and styles.</p>	<p>The proposed condominium units would increase the variety of owner-occupied housing in the area.</p>
<p>LU-6.9 – Development Conformance with Topography. Require development to conform to the natural topography to limit grading; incorporate and not significantly alter the dominant physical characteristics of a site; and to utilize natural drainage and topography in conveying stormwater to the maximum extent practicable.</p>	<p>No new construction will occur. A Standard Storm Water Quality Management Plan was submitted and reviewed. The project will not alter the physical characteristics or topography of the site and it complies with current storm water management requirements.</p>

General Plan Policy	Explanation of Project Conformance
<p>H-3.3 – Density Bonus as a Tool to Develop Affordable Housing. Provide a local density bonus program to encourage the development of housing affordable to lower-income households and special needs households.</p>	<p>The approved 40-unit apartment complex utilized the Density Bonus Program pursuant to Government Code Section 65915 et seq. and Section 6350 through 6399 of the Zoning Ordinance. As discussed in Section F.2. of this staff report a maximum of 40 units is allowed to be constructed pursuant to the Density Bonus Program. The project set aside four units or approximately 13% of the base units as affordable to very low-income households.</p>
<p>H-3.4 – Housing for Moderate-Income Families in Villages. Facilitate the production of housing for moderate-income families in Villages by permitting developments that offer affordable housing to incorporate other compatible housing types within areas zoned for single-family residential development.</p>	<p>The approved 40-unit apartment complex is located within the Village area of Lakeside Community Planning area. The proposed condominium units would increase the variety of owner-occupied housing in the area.</p>
<p>H-3.5 – Incentives for Developments with Lower-Income Housing. Provide zoning and other incentives to support developments that incorporate housing for lower-income households or households with special needs.</p>	<p>Based on the approved apartment complex reserving 13% of the base units for very low-income households, it qualified for two incentives and one incentive was requested which was approved for increasing the stories permitted from two to three and to allow for a building height of up to 38-feet high.</p>
<p>M-2.2 – Access to Mobility Element Designated Roads. Minimize direct access points to Mobility Element roads from driveways and other non-through roads to maintain the capacity and improve traffic operations.</p>	<p>The project utilizes one access point via a driveway to N 1st Street. No additional access points are proposed.</p>
<p>COS-4.2 – Drought-Efficient Landscaping. Require efficient irrigation systems and in new development encourage the use of native plant species and non-invasive drought tolerant/low water use plants in landscaping.</p>	<p>As part of the approved Major Grading Permit for the original project for the apartment complex a Landscaping Plan was submitted and approved. The project is in compliance with the County’s Landscaping Ordinance. Approximately 82 trees and 1,002 shrubs are included along with the appropriate irrigation. As no new additional construction will occur regarding the condominium conversion, no new landscaping is required.</p>

General Plan Policy	Explanation of Project Conformance
<p>Goal S-2 – Emergency Response. Effective emergency response to disasters that minimizes the loss of life and damage to property, while also reducing disruption in the delivery of vital public and private services during and following a disaster.</p>	<p>The proposed Project has been reviewed by the San Miguel Consolidated Fire Protection District and has been approved for the processing of the TM as the site has adequate service availability.</p>
<p>Policy LU-6.5 – Sustainable Stormwater Management. Ensure that development minimizes the use of impervious surfaces and incorporates other Low Impact Development (LID) techniques as well as a combination of site design, source control, and stormwater best management practices (BMP), where applicable and consistent with the County’s LID Handbook.</p>	<p>The Project has incorporated required stormwater management features in accordance with the County’s Low Impact Development (LID) Handbook. Additionally, the Project includes structural BMPs such as a biofiltration basin to address treatment of stormwater for the Project.</p>
<p>Policy LU-13.1 – Commitment of Water Supply. Require new development to identify adequate water resources, in accordance with State law, to support the development prior to approval.</p>	<p>The Project obtains water service from the Helix Water District for the operations of the Project, who has agreed to provide service to the Project. The Project will not rely on groundwater or deplete groundwater resources in the area.</p>
<p>S-3.4 Service Availability. Plan for development where fire and emergency services are available or planned</p>	<p>Project Facility Availability Forms have been provided for school, fire, water and sewer services and are included in Attachment F.</p>

4. **Community Plan Consistency**

The Proposed Project is consistent with the following relevant Lakeside Community Plan goals, policies, and actions as described in Table F-2.

Table F-2: Community Plan Conformance

Lakeside Community Plan Policy	Explanation of Project Conformance
Land Use 1: Encourage a mixture of housing styles and types to create a more varied and interesting environment and to provide larger units of usable open space for the enjoyment of the residents.	The scope of the project has been reviewed and approved by the Lakeside CPG. The project is a condominium conversion of 40-apartment units. The approved residential units provide a varied housing type for the Lakeside community. No new buildings will be constructed, and no buildings will be removed so the proposed project will retain the site's consistency with the existing visual character.
Land Use 3: Confine higher density residential development to the areas that: a) Have all necessary public facilities; b) Are within the existing sewer districts; and c) Are adjacent to major roads and commercial areas	The project site has all the necessary public utilities and will obtain water service from the Helix Water District and sewer services from the San Diego County Sanitation District and is in close proximity to Broadway a major road and commercial area.
Land Use 6: Require all multiple-family dwellings and all mobilehome parks to submit landscape plans that provide adequate overall landscaping and screen parking spaces from public view.	As part of the approved Major Grading Permit for the original project for the apartment complex a Landscaping Plan was submitted and approved. The project is in compliance with the County's Landscaping Ordinance. The project has designed the parking towards the western side of the property that is behind the two residential buildings which screens the parking from public view.

5. Zoning Ordinance Consistency

The Project complies with all applicable zoning requirements of the Residential Variable (RV) zone with the incorporation of conditions of approval (Table F-3).

Table F-3: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	RV	Yes
Animal Regulation:	Q	NA
Density:	-	Yes
Lot Size:	6,000 square feet	Yes
Building Type:	K	Yes
Height:	G	Yes (with incentive approved for 38 feet tall per Density Bonus Program)
Lot Coverage:	-	NA
Setback:	J	Yes
Open Space:	-	Yes
Special Area Regulations:	C	Yes

Table F-4: Zoning Ordinance Development Regulations Compliance Analysis

Development Standard	Proposed/Provided	Complies?
Section 4200 of the Zoning Ordinance describes the requirements for minimum lot size. On this property it is 0.50 acres.	The proposed project is a one-lot condominium subdivision and is 1.84 acres, which is above the 6,000 square foot minimum.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4300 of the Zoning Ordinance requires the Project to comply with the “K” building type requirements.	The Project meets the building type requirements, and all the buildings are existing.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4600 of the Zoning Ordinance requires that the Project meet the “G” height requirement of 35 feet.	As part of the original approval pursuant to Section 6365 of the Zoning Ordinance the Density Bonus Program approved one incentive to increase the amount of stories of the building from two to three stories and for a building height of 38 feet.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4800 of the Zoning Ordinance requires that the Project meet the “J” setback requirements.	The proposed Tentative Map will not result in additional units or construction that would require any changes to the property in accordance with the “J” Setback Designator of the property.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 5750 through Section 5790 of the Zoning Ordinance describes the requirements for a Special Area Regulations “C” Designator, which include the Airport Land use Compatibility Plan Area Regulations. A “C” Designator Special Area Regulation for the property “The purpose of these provisions is to regulate land uses within portions of the unincorporated territory of the County of San Diego located in Airport Influence Areas (AIAs) surrounding airports for which the San Diego County Regional Airport Authority (Authority) has	The project site is located within the Gillespie Airport Land Use Compatibility Plan area. As part of the approved Building Permit, an Overflight Agreement was conditioned to be recorded with the County’s Records Office. The proposed Tentative Map will not result in additional construction that would require a change to the previously approved apartment complex for the property in accordance with the “C” Designator of the property.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Development Standard	Proposed/Provided	Complies?
adopted Airport Land Use Compatibility Plans (ALUCP or ALUCPs).		

6. Subdivision Ordinance and Subdivision Map Act Consistency

The project has been reviewed for compliance with the County of San Diego Subdivision Ordinance (Subdivision Ordinance) and the Subdivision Map Act.

Section 81.105 of the Subdivision Ordinance requires a TM for conversion of five or more units to condominiums. If the project is to be an air space condominium, a one-lot subdivision is required. The Project is an existing 1.84 gross acre one-lot parcel. The project site has an approved building permit for 40 residential units and two office units that is currently under construction. State law regarding condominium conversion requires the owner to notify current residents at several points in the conversion process. Additionally, the Subdivision Ordinance requires each unit to have potable water supply and fire sprinklers. The TM resolution includes a condition requiring installation of applicable improvements as well as the notifications if occupancy occurs prior to Final Map issuance.

The project is consistent with the requirements for the conversion of residential property into a condominium project outlined in Section 66427.1 of the Subdivision Map Act. The project includes application materials and conditions of approval necessary to ensure that the project is implemented in a manner consistent with the Subdivision Map Act.

- a. If occupancy occurs prior to Final Map issuance, written notification of intention to convert at least 60 days would be required.
- b. Each tenant has received 10 days written notification that an application for a public report will be, or has been, submitted to the Department of Real Estate, and that such report will be available upon request.
- c. Each of the tenants of the proposed condominium conversion project have been, or will be, given written notification within 10 days of approval of a final map for the proposed conversion.
- d. Each of the tenants of the proposed condominium conversion project have been, or will be, given 180 days written notice of intention to convert prior to termination of tenancy due to the conversion or proposed conversion.
- e. If occupancy occurs prior to Final Map issuance each of the tenants of the proposed condominium conversion project will be given notice of an exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant.

7. California Environmental Quality Act (CEQA) Compliance

The project has been reviewed in compliance with the California Environmental Quality Act (CEQA). The project is exempt from the requirement to prepare environmental documents under CEQA. The project falls under a Categorical Exemption in the California Environmental Quality Act (CEQA) Guidelines §15301(k). This Categorical Exemption is for projects that consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing structures involving no

expansion of existing use. The conversion of the two approved apartment buildings to condominiums onto one condominium lot qualifies for this Categorical Exemption.

CEQA Guidelines §15300.2 states that Categorical Exemptions cannot be applied in situations when a project may have possible significant effects because of location, cumulative impact, unusual circumstances, damage to scenic resources of a scenic highway, inclusion on a hazardous waste site, or adverse change to a historical resource. The proposed project does not involve any of these, so the Categorical Exemption can be applied.

A Notice of Exemption is on file with Planning & Development Services as Environmental Review Number PDS2024-ER-24-14-008.

8. Applicable County Regulations

Table F-5: Applicable Regulations

County Regulation Policy	Explanation of Project Conformance
a. Resource Protection Ordinance (RPO)	The Project has been found to comply with the RPO because it will not impact any wetlands, floodplains/floodways, steep slopes, sensitive habitat lands, or cultural resources.
b. County Consolidated Fire Code	The Project has been reviewed and approved by the San Miguel Consolidated Fire Protection District. The project will implement on-site improvements to the internal access road system in accordance with San Miguel Consolidated Fire Protection District requirements. Therefore, the project complies with the County Fire Code.
c. Noise Ordinance	No construction nor additional units are proposed. Therefore, the project will not generate significant noise levels which exceed the allowable limits of the County Noise Element or Noise Ordinance.
d. Light Pollution Code	The Project would continue to implement outdoor lighting and glare controls which will ensure compliance and the Light Pollution Code.
e. Watershed Protection Ordinance (WPO)	A Stormwater Quality Management Plan (SWQMP) was prepared for the Proposed Project in compliance with the WPO.
f. Multiple Species Conservation Program (MSCP)	The project is consistent with the MSCP and Biological Mitigation Ordinance as demonstrated in the MSCP Findings dated August 30, 2024 and included in Attachment D.

G. COMMUNITY PLANNING GROUP (CPG)

On June 2, 2021, the Lakeside Community Planning Group (CPG) approved the road widening improvements (PDS2021-LD9IIP-60101) that were conditioned as part of this residential development by a vote of 10-3-0-2 (Ayes-10, Noes-3, Abstain-0, Vacant/Absent-2). Since the residential development is by-right, the CPG was not required to make a recommendation.

On August 30, 2024, the Lakeside CPG submitted a letter to the County stating the scope of the project had not changed other than conversion from apartments to condominiums, therefore the CPG does not need to rehear this item. Staff has coordinated with the Lakeside CPG prior to the hearing to continue providing updates regarding the project.

The Lakeside CPG Meeting Minutes and letter can be found in Attachment F – Public Documentation.

H. PUBLIC INPUT

At the time of application submittal and in accordance with Board Policy I-49, public notices were sent to property owners within a minimum radius of 1,000 feet of the project site. No comments or concerns were received. Over 296 public notices have been sent out to a radius of 1,000 feet of the project site in advance of the Planning Commission Hearing.

I. STAFF RECOMMENDATIONS

Staff recommends that the Planning Commission take the following actions:

1. Adopt the Environmental findings included in Attachment F, which include a finding that the proposed project is exempt from environmental review under a Categorical Exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines §15301(k).
2. Adopt the Resolution of Approval of Tentative Map PDS2024-TM-5654, which includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with State law and County of San Diego Regulations (Attachment B).

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AUTHORIZED REPRESENTATIVE:



VINCE NICOLETTI, INTERIM DIRECTOR

ATTACHMENTS:

Attachment A – Planning Documentation

Attachment B – Form of Decision Approving PDS2024-TM-5654

Attachment C – Approved Major Grading Plan and Improvement Plan, PDS2020-LDGRMJ-30268,
PDS2021-LDPIIP-60101

Attachment D – Approved Density Bonus Application

Attachment E – Environmental Documentation

Attachment F – Environmental Findings

Attachment G – Public Documentation

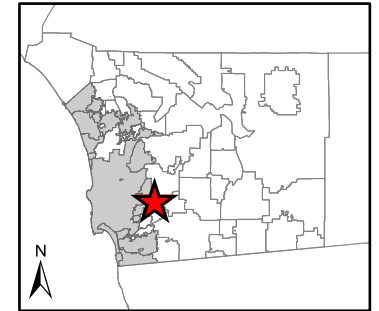
Attachment H – Service Availability Forms

Attachment I – Ownership Disclosure

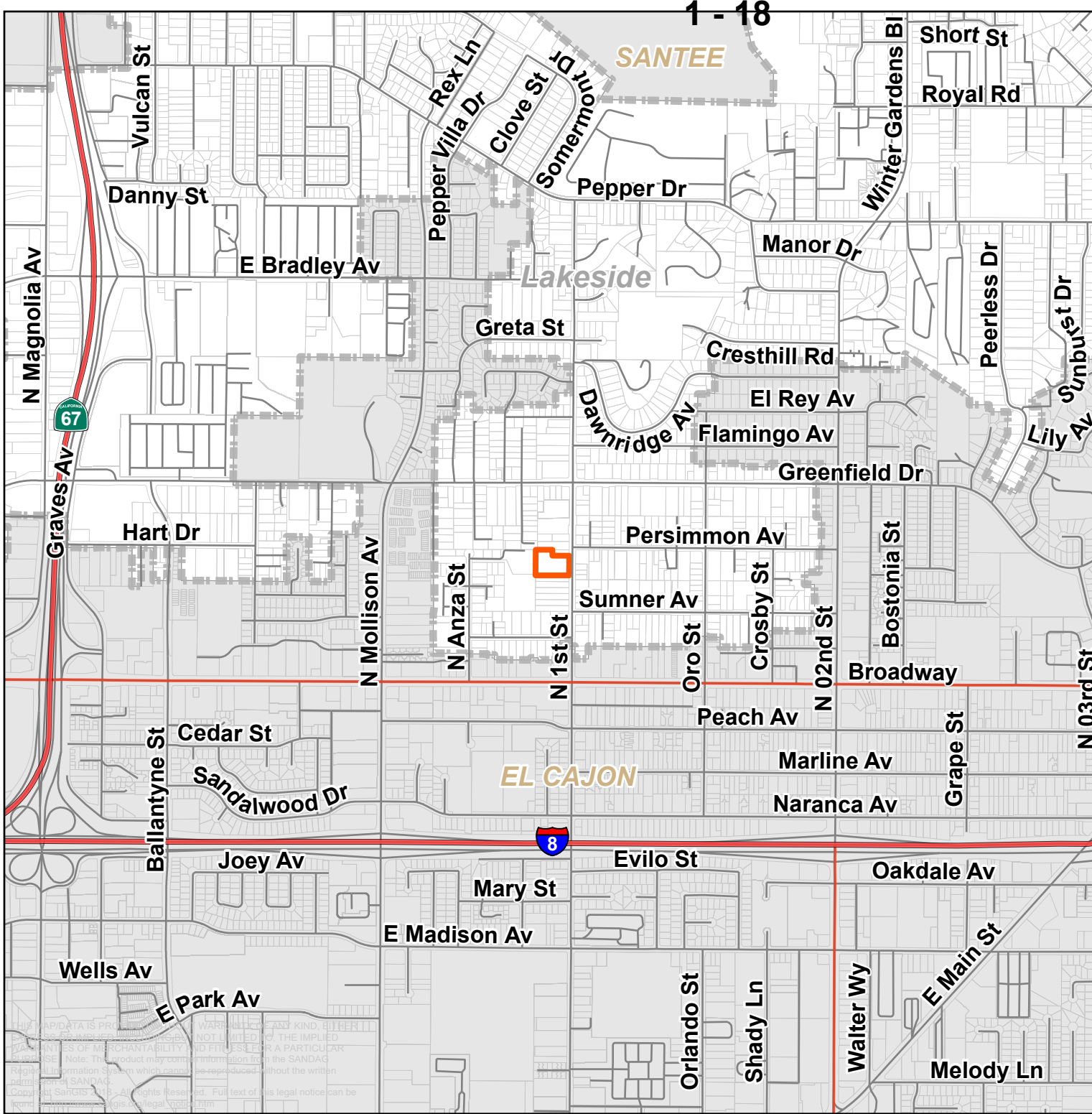
Attachment A – Planning Documentation

1140 N. First Street
 Condos
 PDS2024-TM-5654
 Vicinity Map

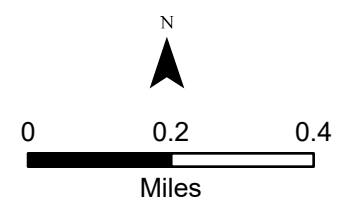
Lakeside
 Community Plan Area



1:3,500,000



-  Roads
-  Site
-  Parcels

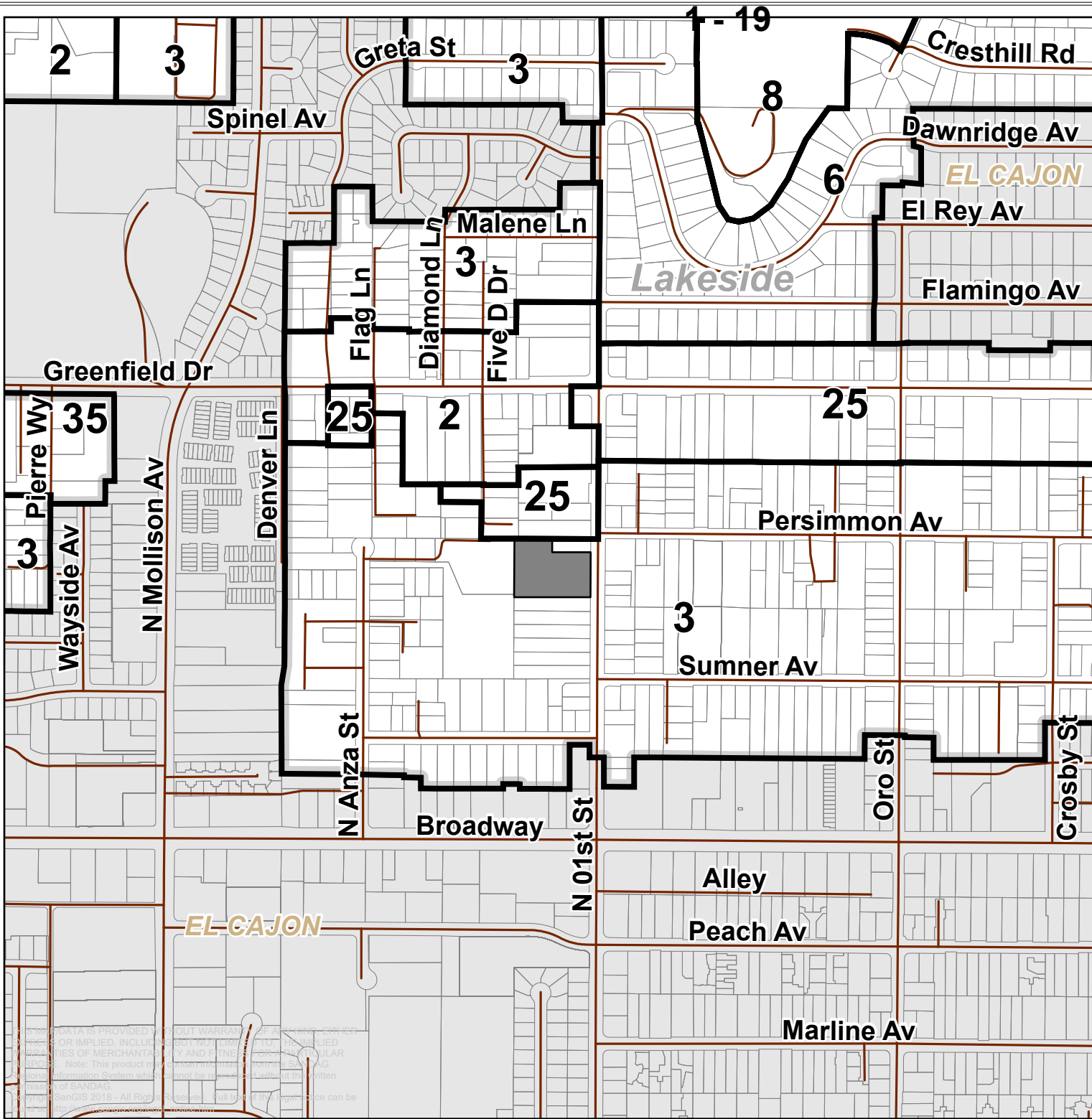


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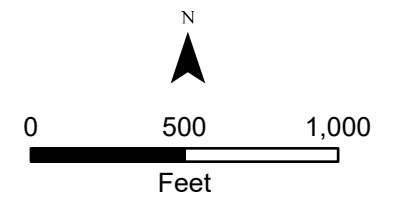
1140 N. First Street
 Condos
 PDS2024-TM-5654
 General Plan

Lakeside
 Community Plan Area

- (2) Village Residential (VR-24)
- (3) Village Residential (VR-15)
- (6) Village Residential (VR-4.3)
- (8) Village Residential (VR-2)
- (25) General Commercial
- (35) Medium Impact Industrial



	Roads
	Site
	Parcels
	Planning



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1140 N. First Street
 Condos
 PDS2024-TM-5654
 Zoning

Lakeside
 Community Plan Area

C34 - General Commercial/
 Residential

C36 - General Commercial

C37 - Heavy Commercial

C38 - Service Commercial

M54 - General Impact Industrial

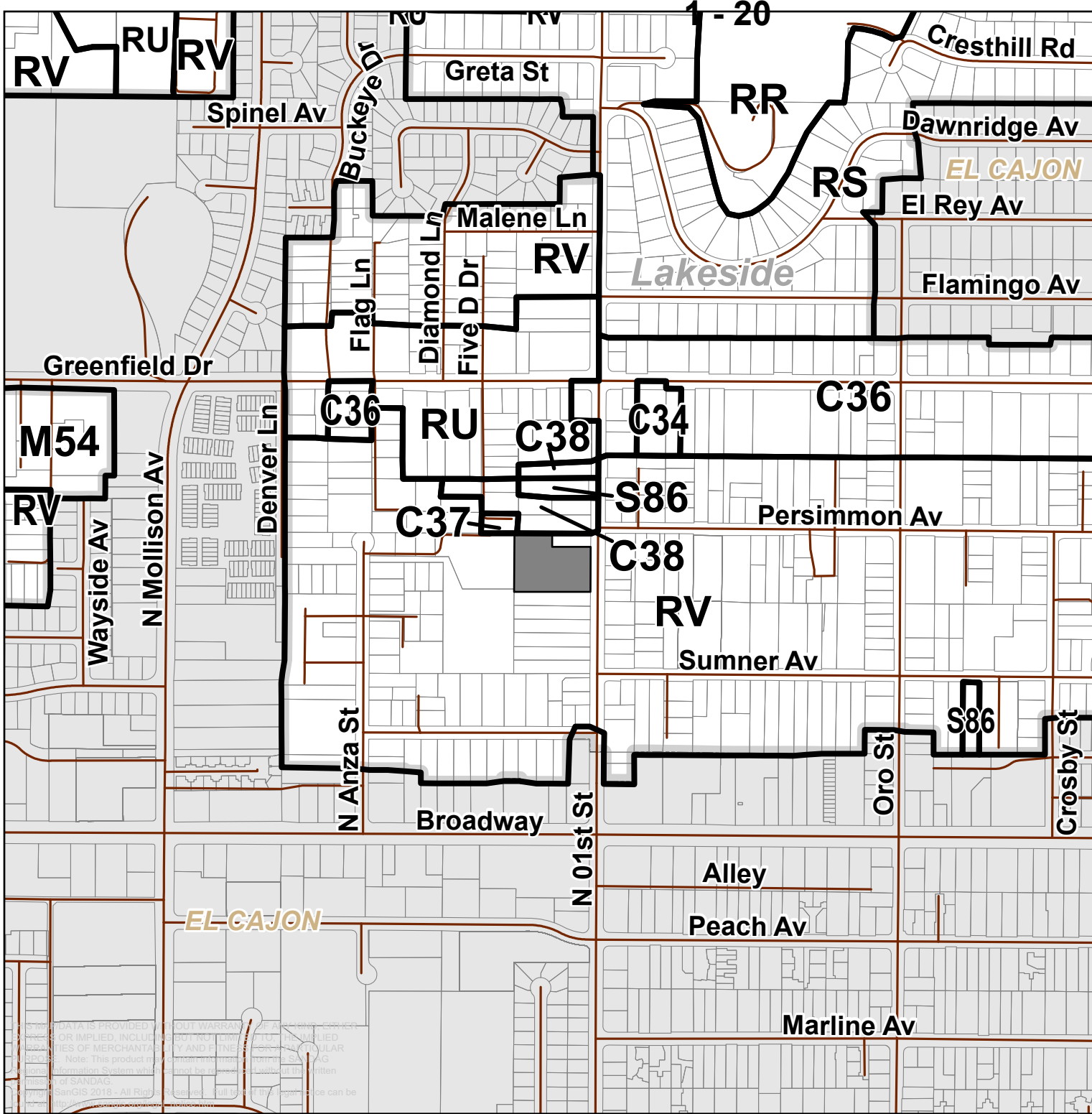
RR - Rural Residential

RS - Single Family Residential

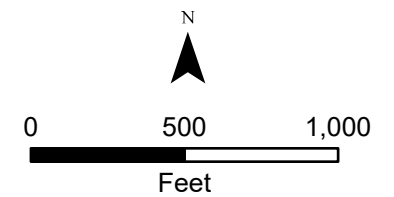
RU - Urban Residential

RV - Variable Family Residential

S86 - Parking



	Roads
	Site
	Parcels
	Zoning



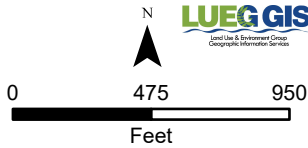
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1140 N. First Street Condos
PDS2024-TM-5654

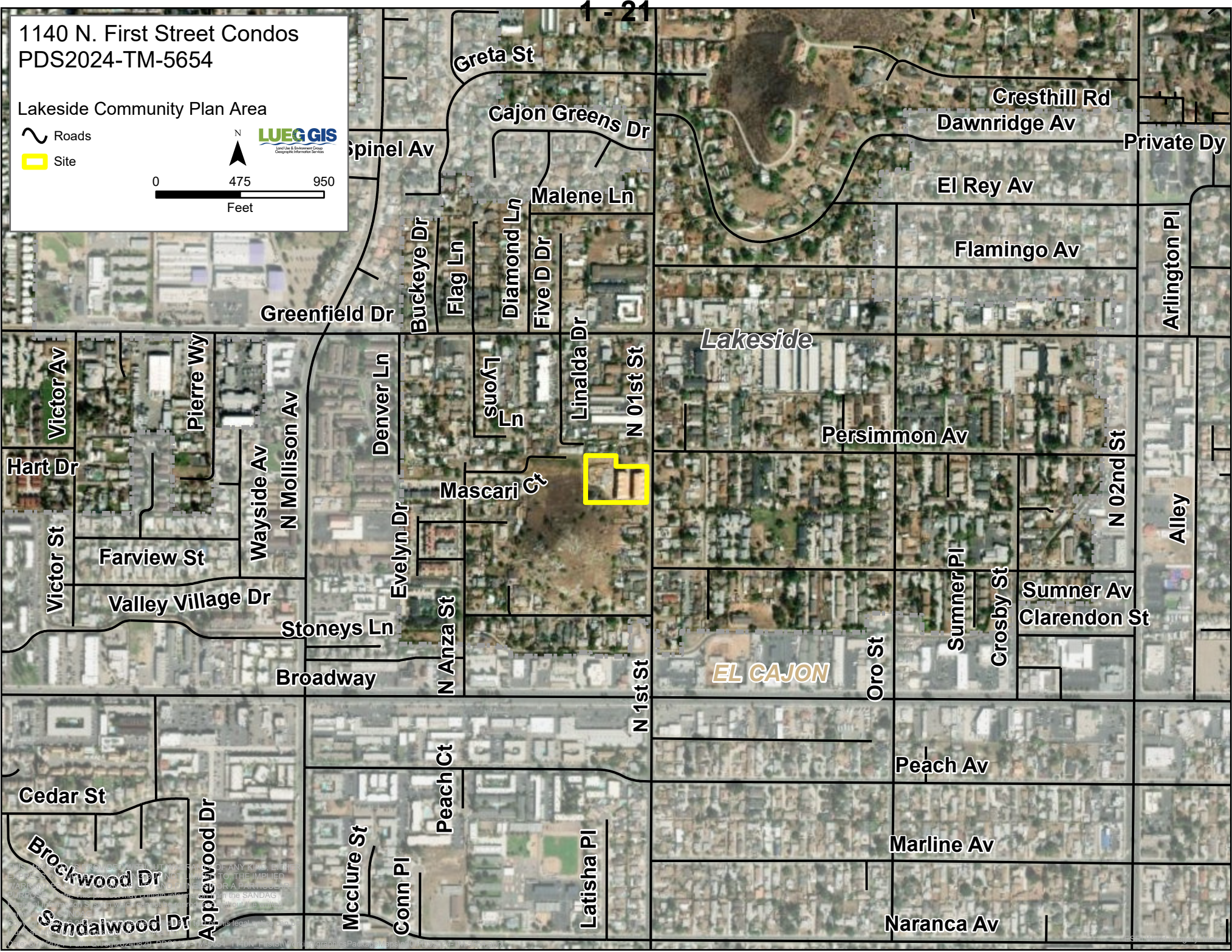
Lakeside Community Plan Area

Roads

Site



1 - 21

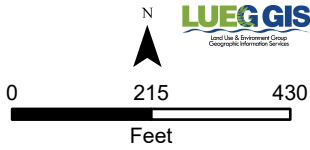


1140 N. First Street Condos
PDS2024-TM-5654

Lakeside Community Plan Area

Roads

Site



LUFGIS
Land Use & Environment Group
Geographic Information Services

1 - 22

Diamond Ln

Five D Dr

Denver Ln

Lyons Ln

Linalda Dr

Lakeside

Jeannine Ln

Persimmon Av

Persimmon Wy

Mascari Ct

Madeline Dr

Mazzola St

Evelyn Dr

Lampshire Dr

Sumner Av

Sumner Ct

Stoneys Ln

Alley

N Ariza St

N 01st St

EL CAJON

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Source: Aerial Imagery

Linalda Dr

1 - 23

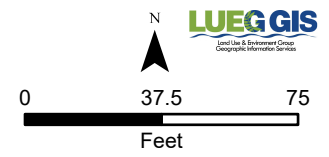
1140 N. First Street Condos
PDS2024-TM-5654

Lakeside Community Plan Area

 Roads

 Site

 LUEGGIS
Land Use & Environment Group
Geographic Information Services



Lakeside

N 01st St

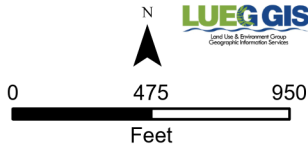


1140 N. First Street Condos
PDS2024-TM-5654

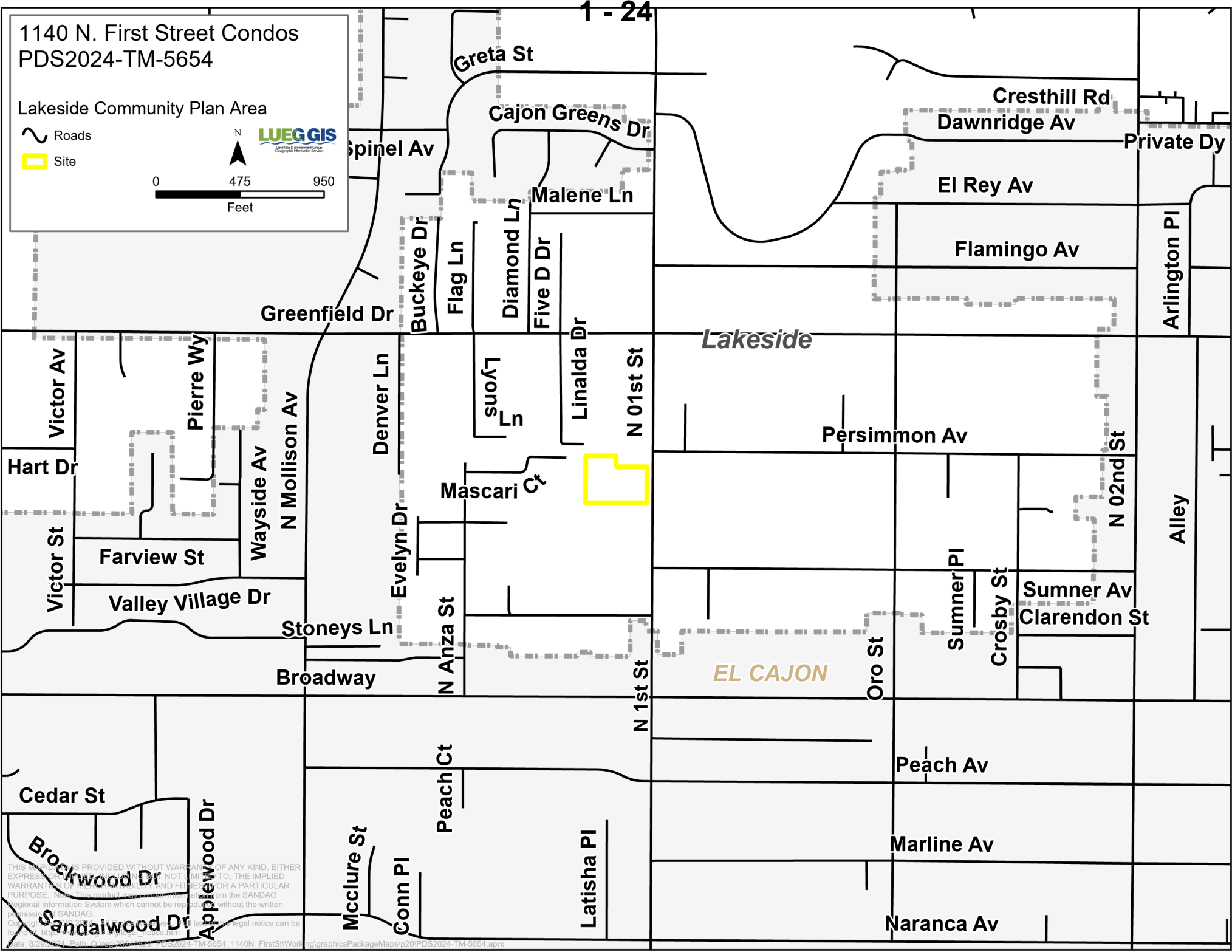
Lakeside Community Plan Area

Roads

Site



1 - 24



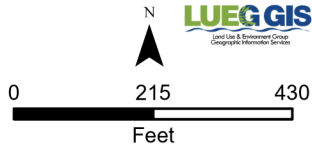
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1140 N. First Street Condos
PDS2024-TM-5654

Lakeside Community Plan Area

Roads

Site



1 - 25

Diamond Ln

Five D Dr

Denver Ln

Lyons Ln

Linalda Dr

Lakeside

Jeannine Ln

Persimmon Av

Persimmon Wy

Mascari Ct



Madeline Dr

Mazzola St

Evelyn Dr

Lampshire Dr

Sumner Av

Sumner Ct

Stoney's Ln Alley

N Ariza St

N 01st St

EL CAJON

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Linalda Dr

1 - 26

1140 N. First Street Condos
PDS2024-TM-5654

Lakeside Community Plan Area

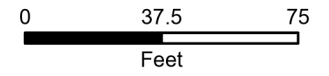
 Roads

 Site

N



LUEGGIS
Land Use & Planning Group
Geographic Information Services



Lakeside

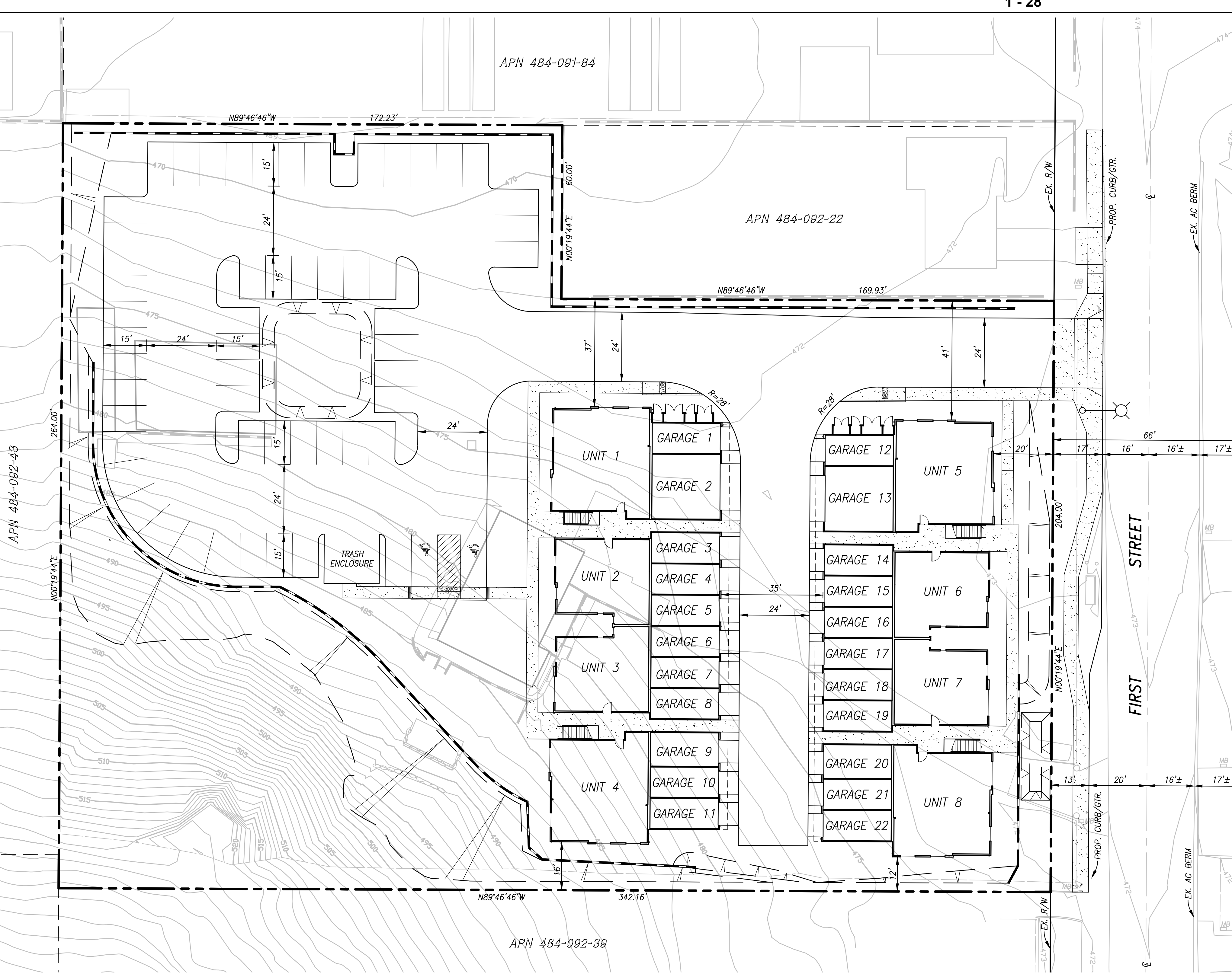
N 01st St



COUNTY OF SAN DIEGO TRACT

1140 FIRST STREET TENTATIVE MAP

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 OF THE STATE OF CALIFORNIA CIVIL CODES. THE MAXIMUM NUMBER OF DWELLING UNITS IS 40.



LEGEND

- SUBDIVISION BOUNDARY
- EXISTING RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING CENTERLINE
- EXISTING AC BERM
- EXISTING RETAINING WALL
- EXISTING ROCKS
- EXISTING CONTOUR
- EXISTING STRUCTURE
- PROPOSED CURB
- PROPOSED SLOPE (2:1 U.O.N.)
- PROPOSED PCC SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED STREET LIGHT

UNIT NO.	NO. OF BEDROOMS	UNIT NO.	NO. OF BEDROOMS
1	3	21	3
2	2	22	2
3	2	23	2
4	3	24	3
5	3	25	3
6	2	26	2
7	2	27	2
8	3	28	3
9	3	29	2
10	2	30	2
11	2	31	2
12	3	32	2
13	2	33	2
14	2	34	2
15	2	35	2
16	2	36	2
17	2	37	3
18	2	38	2
19	2	39	2
20	2	40	3

TOTAL NUMBER OF 2-BEDROOM UNITS: 28
 TOTAL NUMBER OF 3-BEDROOM UNITS: 12
 TOTAL NUMBER OF UNITS: 40

ASSESSOR'S PARCEL NUMBER: 484-092-21

LEGAL DESCRIPTION: A PORTION OF LOT 9 IN BLOCK 3, TRACT 'S' OF THE RANCHO EL CAJON SUBDIVISION, ALONG WITH A PORTION OF FIRST STREET, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

GROSS/NET ACREAGE: 1.840 ACRES

TOTAL NUMBER OF LOTS PROPOSED: 1

MINIMUM LOT SIZE: 1.84 ACRES

EXISTING/PROPOSED ZONING

USE REGULATIONS	RV
ANIMAL REGULATIONS	Q
DENSITY	-
LOT SIZE	6,000sf
BLDG. TYPE	K
MAX. FLOOR AREA	-
FLOOR AREA RATIO	-
HEIGHT	G
COVERAGE	-
SETBACK	J
OPEN SPACE	-
SPECIAL AREA REGULATIONS	C

GENERAL PLAN REGIONAL CATEGORY: VILLAGE

GENERAL PLAN LAND USE DESIGNATION: VILLAGE RESIDENTIAL VR-15

COMMUNITY PLAN: LAKESIDE

SPECIAL ASSESSMENT ACT STATEMENT: NO PROCEEDINGS PROPOSED.

PARK LAND DEDICATION STATEMENT: PARK FEES IN LIEU OF PARK LAND DEDICATION ARE PROPOSED.

STREET LIGHTS: STREET LIGHTS TO BE INSTALLED IN ACCORDANCE WITH COUNTY STANDARDS.

SOLAR ACCESS STATEMENT: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING UNIT ALLOWED BY THIS SUBDIVISION.

TOPOGRAPHY: TOPOGRAPHY PROVIDED BY LUNDSTROM ENGINEERING & SURVEYING, INC., DATED JULY, 2016.

SEWER DISTRICT: SAN DIEGO COUNTY SANITATION DISTRICT

WATER DISTRICT: HELIX WATER DISTRICT

FIRE DISTRICT: SAN MIGUEL FIRE PROTECTION DISTRICT

SCHOOL DISTRICTS: CAJON VALLEY UNION ELEMENTARY DISTRICT
 GROSSMONT UNION HIGH SCHOOL DISTRICT

STREET LIGHT DISTRICT: COUNTY SERVICE AREA

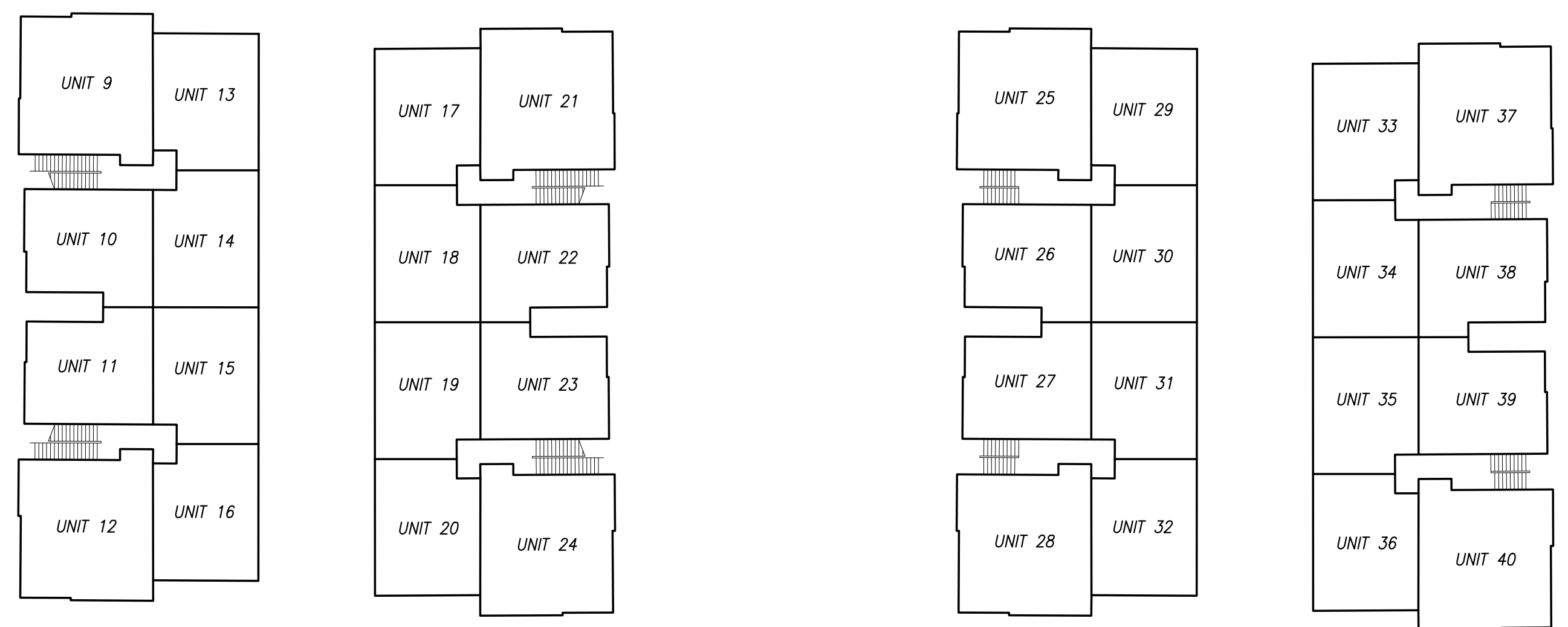
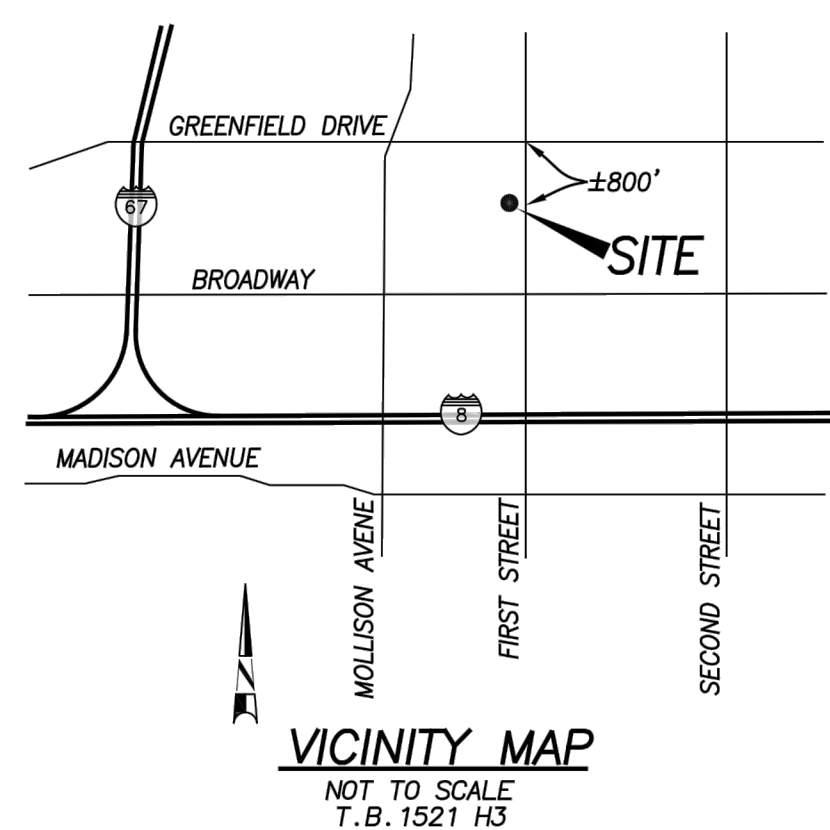
GAS & ELECTRIC: SAN DIEGO GAS & ELECTRIC

EXISTING EASEMENTS

AN EASEMENT TO SDG&E FOR ELECTRICAL TRANSMISSION AND DISTRIBUTION FACILITIES PER DOC. REC. AUGUST 4, 1941 IN BOOK 1214, PAGE 304, O.R. THE ROUTE OF SAID EASEMENT CANNOT BE DETERMINED FROM SAID INSTRUMENT AND IS THEREFORE NOT PLOTTED HERON.

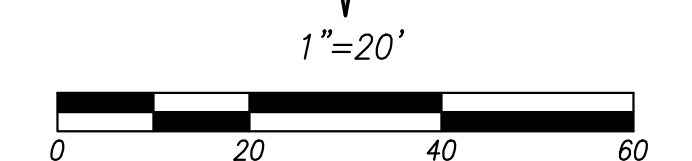
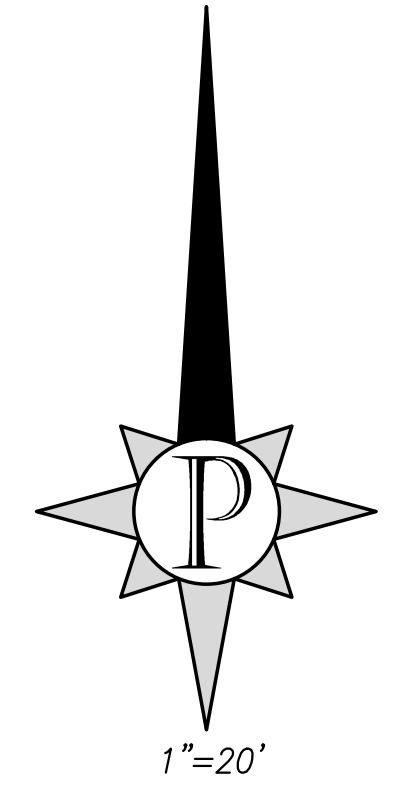
CONSTRUCTION NOTES

- ALL EXISTING STRUCTURES, WALLS AND PAVING ON-SITE TO BE REMOVED.



SECOND FLOOR
1" = 30'

THIRD FLOOR
1" = 30'

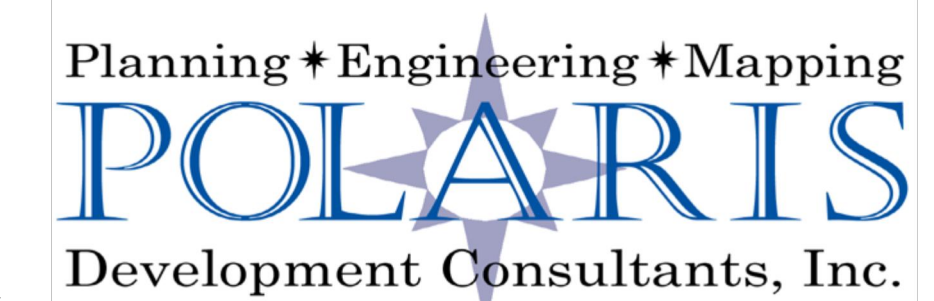


OWNER/SUBDIVIDER

GREENBUILD PROPERTIES, LLC
 3268 GOVERNOR DRIVE, SUITE 200
 SAN DIEGO, CA 92122
 PHONE: (619) 993-7799

ENGINEER OF WORK

POLARIS DEVELOPMENT CONSULTANTS, INC.
 2514 JAMACHA ROAD, SUITE 502-31
 EL CAJON, CA 92019
 PHONE: (619) 248-2932



ALEX LISNEVSKY

DATE

JOEL A. WAYMIRE, R.C.E. 56258

DATE

JULY 12, 2024

2514 Jamacha Road, Suite 502-31 • El Cajon, CA 92019 • 619-248-2932

**Attachment B – Form of Decision Approving
PDS2024-TM-5654**

Hearing Date: October 18, 2024

RESOLUTION OF SAN DIEGO COUNTY)
CONDITIONALLY APPROVING)
TENTATIVE MAP NO. PDS2024-TM-5654)

WHEREAS, Tentative Map No. PDS2024-TM-5654 proposing the division of property located at N. First Street and generally described as:

PARCEL A, PORTION OF LOT 9, BLOCK 3 OF THE SUBDIVIION OF THE "S" TRACT OF RANCHO EL CAJON (APN: 484-092-21-00)

was filed with the County of San Diego pursuant to the Subdivision Map Act and San Diego County Subdivision Ordinance on August 28, 2024; and

WHEREAS, on October 18, 2024, the Planning Commission of the County of San Diego pursuant to [Section 81.306 of the San Diego County Subdivision Ordinance](#) held a duly advertised public hearing on said Tentative Map and received for its consideration, documentation, written and oral testimony, recommendations from all affected public agencies, and heard from all interested parties present at said hearing; and

WHEREAS, the Board of Supervisors of the County of San Diego has determined that the conditions hereinafter enumerated are necessary to ensure that the subdivision and the improvement thereof will comply with the Subdivision Map Act and conform to all ordinances, plans, rules, standards, and improvement and design requirements of San Diego County.

IT IS RESOLVED, DETERMINED, AND ORDERED, that based on the findings, said Tentative Map is hereby approved subject to the following conditions:

MAP EXPIRATION: The approval of this Tentative Map Expires Thirty-Six (36) Months after the date of the approval of this Resolution at 4:00 P.M. Unless, prior to that date, an application for a Time Extension has been filed as provided by [Section 81.313 of the County Subdivision Ordinance](#).

APPROVAL OF MAP: THE FOLLOWING SPECIFIC CONDITIONS SHALL BE COMPLIED WITH BEFORE A FINAL MAP IS APPROVED BY THE BOARD OF SUPERVISORS AND FILED WITH THE COUNTY RECORDER OF SAN DIEGO COUNTY (AND, WHERE SPECIFICALLY, INDICATED, SHALL ALSO BE COMPLIED WITH PRIOR TO APPROVAL OF ANY PLANS, AND ISSUANCE OF ANY GRADING OR OTHER PERMITS AS SPECIFIED):

STANDARD CONDITIONS: The "Standard Conditions (1-29) for Tentative Subdivision Maps Standard Conditions (1-29) for Tentative Subdivision Maps" approved by the Board of Supervisors on June 16, 2000, and filed with the Clerk, as Document No. 740858(a) (Attached Herein as Exhibit A), shall be made conditions of this Tentative

Map approval. Only the following exceptions to the Standard Conditions set forth in this Resolution or shown on the Tentative Map will be authorized. **The following Standard Subdivision Conditions are hereby waived:**

- (1) Standard Condition 10.a: Said condition states that all fixtures shall use a low-pressure sodium (LPS) vapor light source. This waiver/modification allows the use of LED light fixtures per County of San Diego Street Lighting Specifications revised September 2021.
- (2) Standard Condition 22: Said conditions apply to a septic sewer system. The project proposes to use a public sewer system.
- (3) Standard Condition 27.1: Said condition states that the Final Map may be filed as units or groups of units. The Final Map for this project is required to include the entire area shown on the Tentative Map and shall not be filed as units or groups of units.
- (4) Standard Condition 24: Said condition applies to projects outside the boundaries of a fire protection agency. This project is within the Alpine Fire Protection Districts service area.

30. PLN#1–DENSITY BONUS/AFFORDABLE HOUSING AGREEMENT

INTENT: In order to comply with Section 7430 of the San Diego County Zoning Ordinance, the applicant shall enter into a contract with the Department of Housing and Community Development, to the satisfaction of the Director of Planning and Development Services, agreeing to the specific terms and conditions of the Density Bonus/Affordable Housing Program and to periodic inspections of the housing by County employees. **DESCRIPTION OF REQUIREMENT:** The applicant shall execute an agreement and shall bear a note on the Final Map indicating the method of compliance with the requirements of the Density Bonus/Affordable Housing Program and noting an affordable housing agreement governs the use of the property. The agreement is binding on all future owners, developers, and/or successors-in-interest. The approval and recordation shall take place at the same time as the final or parcel map. Following Board approval of the agreement and execution of the agreement by all parties, the County shall record the completed agreement on the parcels created by the final or parcel map at the County Recorder's Office. **DOCUMENTATION:** The applicant shall provide evidence to Planning & Development Services, Zoning Counter, which shows recorded agreement on the parcels created by the final map by the County Recorder's Office. **TIMING:** Prior to the approval of the final map. **MONITORING:** The [PDS, PPD] shall verify that the Tentative Map has the required recorded agreement by the County Recorder's Office.

31. GEN#1 - COST RECOVERY

INTENT: In order to comply with [Section 362 of Article XX of the San Diego County Administrative Code](#), Schedule B.5 existing deficit accounts associated with

processing this map shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficits associated with processing this map. **DOCUMENTATION:** The applicant shall provide evidence to [PDS, Zoning Counter], which shows that all fees and trust account deficits have been paid. No map can be issued if there are deficit accounts. **TIMING:** Prior to the approval of any map and prior to the approval of any plan and issuance of any permit, all fees and trust account deficits shall be paid. **MONITORING:** The PDS Zoning Counter shall review the evidence to verify compliance with this condition.

APPROVAL OF MAP: The conditions shall be complied with before a Final Map is approved by the Board of Supervisors and filed with the County Recorder of San Diego County (and, where specifically, indicated, shall also be complied with prior to approval of any plans, and issuance of any grading or other permits as specified):

32. ROADS#1–RELINQUISH ACCESS

INTENT: In order to promote orderly development and to comply with the Mobility Element of the General Plan and County Subdivision Ordinance Section 81.401(g), access shall be relinquished. **DESCRIPTION OF REQUIREMENT:**

- a. Relinquish access rights in and to **North First Street** (SC 1869) along the project frontage except for one (1) forty foot (40') wide commercial driveway opening along the project frontage. The access relinquishment shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required.

DOCUMENTATION: The applicant shall prepare the Final Map and present it to [PDS, LDR] for review. **TIMING:** With the approval of the Final Map, the access shall be relinquished. **MONITORING:** The [PDS, LDR] shall prepare and process the relinquishment of access with the Parcel Map.

33. ROADS#2–PRIVATE ROAD CERTIFICATION

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance, County Code Section 81.404, and the requirements of the San Miguel Fire Protection District, the improved quality for all private access roads shall be certified. **DESCRIPTION OF REQUIREMENT:** The private access roads shall be certified to ensure that it is a minimum improved width of twenty-four feet (24') with asphalt concrete pavement over approved base and is to the satisfaction of the San Miguel Fire Protection District. The private road shall be improved to meet design standards of San Diego County Standard Conditions for Tentative Subdivision Maps Condition 11.b, to the satisfaction of the Director of DPW. **DOCUMENTATION:** The applicant shall have a Registered Civil Engineer provide a signed statement that the private road meets the standards of this condition. The engineer shall further certify that the road meets all San Diego County Standard Conditions for Tentative Subdivision Maps Condition 11 (approved June 16, 2000). **TIMING:** Prior to the recordation of the Final Map, the road shall be certified by a

register Civil Engineer with the State of California. **MONITORING:** The [PDS, LDR] shall review the certification for consistency with the condition and County Standards.

34. ROADS#4–STREET NAME

INTENT: In order to provide a name for the private road easement, naming of the roads is necessary for the health and safety of present and future residents. **DESCRIPTION OF REQUIREMENT:** The private easement road serving this project shall be named. A street name sign, with a County approved street name, shall be installed and located at the intersection of **North First Street** and the private driveway per San Diego County Design Standards DS-13. **DOCUMENTATION:** The applicant shall contact the Street Address Section of PDS (858-694-3806) to discuss the road naming requirements for the development. The applicant shall pay all applicable processing fees for the naming of the street. The applicant shall install street signs pursuant to this condition, and provide evidence to the [PDS, LDR] that they are installed. **TIMING:** Prior to recordation and preparation of the Final Map, the street shall be named. **MONITORING:** The [PDS, BD] shall provide a name to the applicant. Upon issuance of the street name, the street section shall provide [PDS, LDR] the street name information. The [PDS, LDR] Map Processing, shall ensure that the appropriate street name has been added to the Final Map. The [DPW, PDCI] shall verify the installation of the required street signs before final grading release.

35. ROADS#5–PUBLIC ROAD IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance, County Code Section 81.404 and the Community Trails Master Plan, **North First Street** shall be improved. **DESCRIPTION OF REQUIREMENT:**

1. Improve or agree to improve and provide security for the construction of roadway improvements on **North First Street** (SC 1869) adjoining the subject property. All roadway improvements shall be completed to County standards to the satisfaction of the Directors of the Departments of Planning & Development Services (PDS) and Public Works (DPW). These improvements shall include the following:

- a. Installation of Portland cement concrete (P.C.C.) curb, gutter, sidewalk, and install asphalt concrete (A.C.) pavement over approved base with a thirty-foot (30') corner rounding(s) at the intersection of the private driveway and **North First Street**. Face of curb shall be a minimum of twenty feet (20') from the centerline of **North First Street** to the maximum extent practical along the project frontage. The existing curb line will be maintained in portions of the frontage where above ground utilities will remain in place. Traffic striping for the transition and A.C. taper to match the existing pavement to both sides of the project frontage shall be provided to the satisfaction of the Director of DPW.

- b. Provide ADA compliant transitions at the limits of the newly installed P.C.C. sidewalk on both sides of the project frontage to match existing ground surface to the satisfaction of the Director of Public Works.
- c. Install a standard streetlight at or near the intersection of the private driveway serving the project and **North First Street** to the satisfaction of the Director of Public Works.
- d. Provide a standard G-26 or G-14A driveway for the project's ingress/egress.
- e. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing.

All plans and improvements shall be completed pursuant to the County of San Diego Public Road Standards, the Land Development Improvement Plan Checking Manual and the Community Trails Master Plan. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities.

DOCUMENTATION: The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve North First Street.
- b. Provide Secured Agreement and post security in accordance with Subdivision Ordinance Sec. 81.408.
- c. Upon approval of the plans, pay all applicable inspection fees/deposits with [DPW, PDC].
- d. If the applicant is a representative, then one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.
- e. Obtain approval for the design and construction of all driveways, turnarounds, and private easement road improvements to the satisfaction of the San Miguel Fire Protection District and the [PDS, LDR].

TIMING: Prior to the recordation of the Final Map, the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement

agreements. The securities and improvement agreements shall be approved by the Director of PDS.

36. STRMWTR#1–STORMWATER MAINTENANCE DOCUMENTATION

INTENT: In order to promote orderly development and to comply with the County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. Seq., the maintenance agreements shall be completed. **DESCRIPTION OF REQUIREMENT:** To the satisfaction of the Director of PDS, complete the following: Process a Stormwater Facilities Maintenance Agreement (SWMA) to assure maintenance of the Category 2 Structural BMPs and provide security to back up the maintenance pursuant to the County Maintenance Plan Guidelines to the satisfaction of the Director of DPW and/or PDS. The SWMA shall be signed and notarized by the applicant and recorded by the County. **DOCUMENTATION:** The applicant shall process the agreement forms with [PDS, LDR] and pay the deposit and applicable review fees. **TIMING:** Prior to the recordation of the Final Map execution of the agreements and securities shall be completed. **MONITORING:** The [PDS, LDR] shall review the agreements/mechanisms for consistency with the condition and County Standards.

37. UTILITIES#1–COMMITMENT TO SERVE SEWER

INTENT: In order to promote orderly development by providing public sewer to the parcels, and to comply with the County Subdivision Ordinance Sec. 81.707 and 81.708, a sewer commitment shall be obtained. **DESCRIPTION OF REQUIREMENT:** A commitment to serve each parcel must be obtained/purchased from the San Diego County Sanitation District. In addition to the capacity commitment fees, the appropriate district fees shall be paid at the time of issuance of the waste-water discharge permit. No sewer permit shall be issued until all conditions in this Final Decision have been satisfied, the Parcel Map, grading plan, and improvement plan have been approved by PDS, and all fees and deposits paid and improvement security posted. **DOCUMENTATION:** The applicant shall provide the commitment letter or completed and signed PDS-400S form and pay all required fees, to the satisfaction of the San Diego County Sanitation District and the Director of PDS. **TIMING:** Prior to recordation of the Final Map, the sewer commitment letter shall be provided. **MONITORING:** The [PDS, LDR] shall review all documents provided to prove the sewer commitment has been completed, to ensure compliance with this condition.

38. UTILITIES#2–WATER COMMITMENT

INTENT: In order to ensure that the proposed subdivision has the required water services, and to comply with County Subdivision Ordinance Sec. 81.404 and 81.405, a water commitment shall be obtained. **DESCRIPTION OF REQUIREMENT:** Obtain a commitment to provide water service for each parcel from the Helix Water District. **DOCUMENTATION:** The applicant shall complete and obtain a PDS-400W form signed from the agency referenced above and comply with any conditions of said commitment. The applicant shall provide the

commitment to the [PDS, LDR] for review and approval. **TIMING:** Prior to the recordation of the Final Map, the applicant shall comply with this condition. **MONITORING:** The [PDS, LDR] shall review the commitment letter for compliance with this condition.

39. UTILITIES#3–UTILITY CONCURRENCE LETTERS

INTENT: In order to provide adequate notice to the serving utility companies that an easement is going to possibly affect their utilities; letters of concurrence shall be provided. **DESCRIPTION OF REQUIREMENT:** Where private easement roads are not being dedicated, or where each of the proposed parcels is not on a public street, letters shall be obtained from each serving utility company. The letters shall state that the arrangements are satisfactory to the utility for which the parcels being created serve. **DOCUMENTATION:** The applicant shall obtain the letters and submit them to the [PDS, LDR] for review and approval. **TIMING:** Prior to the approval of the improvement plans and approval of the Final Map, the letters shall be submitted. **MONITORING:** The [PDS, LDR] shall review the signed letters.

40. ROADS#6–SIGHT DISTANCE

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.E of the County of San Diego Public Road Standards, an unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:**

- a. A registered civil engineer or a licensed land surveyor provides a certified signed statement that: “There is 400 feet of unobstructed intersectional sight distance in both direction from the proposed driveway along North First Street in accordance with the methodology described in Table 5 of the March 2012 County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of 400 feet as described in Table 5 based on a speed of 40 mph, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code.”
- b. If the lines of sight fall within the existing public road right-of-way, the engineer or surveyor shall further certify that: “Said lines of sight fall within the existing right-of-way and a clear space easement is not required.”
- c. The engineer or surveyor shall further certify that: “The sight distance of adjacent driveways and street openings will not be adversely affected by this project.”

DOCUMENTATION: The applicant shall have a Registered Civil Engineer, or a Licensed Land Surveyor provide a signed statement that physically, there is minimum unobstructed sight distance as detailed above, and submit them to the

[PDS, LDR] for review. **TIMING:** Prior to the recordation of the Final Map and prior to the approval of any plan, the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight distance certifications.

ONGOING: *(The following conditions shall apply during the term of this permit).*

41. STRMWTR#2–SELF-VERIFICATION OPERATION AND MAINTENANCE LETTER

INTENT: In order to promote orderly development and to comply with the County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq., an operation and maintenance verification form for each Structural BMPs shall be completed. **DESCRIPTION OF REQUIREMENT:** Every year the property owner shall receive from the County a BMP Verification Form to be completed for each privately owned Structural BMP. **DOCUMENTATION:** Every year the property owner shall file with the County the completed Structural BMP Verification Form stating the maintenance performed during the reporting period for each privately owned Structural BMP with [DPW, WPP]. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [DPW, WPP] is responsible for compliance of this permit.

42. PLN#2–CONDO CONVERSION NOTICES [PDS, FEE]

INTENT: In order to comply with State Public Noticing requirements for Condominium (Condo) Conversions, the residents shall be given proper notice of the proposed condo conversion. **DESCRIPTION OF REQUIREMENT:** Each of the tenants of the proposed condominium shall be given the following notices:

- a. 180 days written notice of intention to convert before termination of tenancy due to the conversion or proposed conversion,
- b. Notice of an exclusive right to contract for the purchase of their respective units upon the same terms and conditions that such units will be initially offered to the general public or terms more favorable to the tenant. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report pursuant to Section 11018.2 of the Business and Professions Code, unless the tenant gives written notice of his/her intention not to exercise the right; and
- c. A 10 days written notification that an application for a public report will be or has been submitted to the Department of Real Estate and that such report will be available on request.

DOCUMENTATION: The applicant shall submit to the [PDS, PCC] a signed statement that states that the required notices were given, or will be given to each resident at the time indicated above. Provide copies of the notices and the statement to the [PDS, PCC] for review and approval. **TIMING:** Prior to the recordation of the Map the applicant shall comply with this condition.

MONITORING: The [PDS, PCC] shall review the statement and, photos, and any additional evidence for compliance with this condition.

43. PLN#3—CONDO CONVERSION NOTICES [PDS, FEE]

INTENT: In order to comply with State Public Noticing requirements for Condominium (Condo) Conversions, the residents shall be given proper notice of the proposed condo conversion. **DESCRIPTION OF REQUIREMENT:** Each of the tenants of the proposed condominium shall be given the following notices:

a. 180 days written notice of intention to convert before termination of tenancy due to the conversion or proposed conversion,

b. Notice of an exclusive right to contract for the purchase of their respective units upon the same terms and conditions that such units will be initially offered to the general public or terms more favorable to the tenant. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report pursuant to Section 11018.2 of the Business and Professions Code, unless the tenant gives written notice of his/her intention not to exercise the right; and

c. A 10 days written notification that an application for a public report will be or has been submitted to the Department of Real Estate and that such report will be available on request.

DOCUMENTATION: The applicant shall submit to the [PDS, PCC] a signed statement that states that the required notices were given, or will be given to each resident at the time indicated above. Provide copies of the notices and the statement to the [PDS, PCC] for review and approval. **TIMING:** Prior to the approval of the map, the applicant shall comply with this condition. **MONITORING:** The [PDS, PCC] shall review the statement and, photos, and any additional evidence for compliance with this condition

44. PLN#4—CONDO COMPLIANCE INSPECTION [PDS, FEE]

INTENT: In order to ensure that the proposed condominium conversion complies with current building, plumbing, electrical, mechanical, and fire codes pursuant to the County Subdivision Ordinance Section 81.105.b.2, a compliance inspection shall be completed. **DESCRIPTION OF REQUIREMENT:** A building and site compliance survey shall be performed to determine that the buildings and site comply with the following criteria:

a. That all structures on the site are in conformance with the provisions of the Building, Plumbing, Electrical, Mechanical and Fire Codes as they were modified and in effect in San Diego County at the time the structures were constructed. In addition; pursuant to [County Subdivision Ordinance SEC 81.110.b.2](#), the project must install and meet the provisions of said Codes that are currently in effect, as it pertains to the following items: Interior fire sprinklers, smoke detectors, railings, guardrails, and handrails.

- c. Provide an individual gas and/or electric metering system for each unit.

DOCUMENTATION: The applicant shall apply for a compliance survey with the [PDS, BD], and pay all applicable inspection fees. Upon approval of the compliance survey, the applicant shall submit the approved inspections record to the [PDS, PCC] for review and approval. **TIMING:** Prior to the approval of the map, the applicant shall comply with this condition. **MONITORING:** The [PDS, BI] shall perform the compliance inspection to ensure that the project's buildings and site comply with this condition. The [PDS, PCC] shall review the building inspection records and any additional evidence for compliance with this condition.

45. PLN#5-CONDO CONVERSION GENERAL [PDS, FEE]

INTENT: In order to ensure that the proposed condominium conversion complies with the required Zoning for the Parcel as it relates to the residential density of 5.3 dwelling units per acre, the following notice shall be placed on the Final Map. **DESCRIPTION OF REQUIREMENT:** A certification by the engineer of record shall be placed on the Final Map indicating that a maximum of 17 residential units will be constructed. **DOCUMENTATION:** The applicant shall prepare the Final Map with the above referenced statement. **TIMING:** Prior to the approval of the Final Map, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPD] shall verify that the Tentative Map has the required density statement pursuant to this condition.

46. PLN#5-COMMON AREA MAINTENANCE AGREEMENT [PDS, FEE]

INTENT: To ensure that the common areas are maintained, the applicant shall assume responsibility of the common areas. **DESCRIPTION OF REQUIREMENT:** A maintenance agreement shall be executed that indicates the following:

- a. The permittee and all persons, firms or corporations, owning the property subject to this Tentative Map at the time of the recording and/or owning a condominium interest after the conversion of the 40-unit apartments, their heirs, administrators, executors, successors, and assigns shall operate, maintain and repair all common open space, drainage facilities, private streets and improvements shown on the map primarily for the benefit of the residents of the subject development and shall continue to operate, maintain and repair said open space, drainage facilities, private streets and improvements until such time as the operation and maintenance of said open space, facilities, streets and improvements are assured by some public agency, district, corporation or legal entity approved by the Board of Supervisors.
- b. The maintenance and operation of said open space, drainage facilities, private streets and improvements shall be assured by the granting of an undivided interest in said open space, drainage facilities, private streets and

improvements to purchasers of each condominium interest in said development and inclusion in the deeds conveying said individual units of provisions, such as covenants running with the land, requiring the owners, their heirs, administrators, successors and assigns to participate in the cost of such maintenance and operation, and the creation of legal entity with the right to assess all owners, in the costs of maintenance and operation of said facilities and improvements, or be assured by some other device creating a legal entity capable of maintaining and operating said open space, drainage facilities, private streets and improvements and providing for the participation by the owners of all condominium interests in cost of maintenance and operation of the enforcement of such participation.

DOCUMENTATION: The applicant shall sign the maintenance agreement to the satisfaction of the Director of DPW. **TIMING:** Prior to approval of the map the agreement shall be executed and indicated on the map. **MONITORING:** The [PDS] shall review the executed agreement and the map for compliance with this condition.

ONGOING: *(The following conditions shall apply during the term of this permit).*

47. STRMWTR#2–SELF-VERIFICATION OPERATION AND MAINTENANCE LETTER

INTENT: In order to promote orderly development and to comply with the County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq., an operation and maintenance verification form for each Structural BMPs shall be completed. **DESCRIPTION OF REQUIREMENT:** Every year the property owner shall receive from the County a BMP Verification Form to be completed for each privately owned Structural BMP. **DOCUMENTATION:** Every year the property owner shall file with the County the completed Structural BMP Verification Form stating the maintenance performed during the reporting period for each privately owned Structural BMP with [DPW, WPP]. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [DPW, WPP] is responsible for compliance of this permit.

IT IS FURTHER RESOLVED, THEREFORE, that the Board of Supervisors of the County of San Diego hereby makes the following findings as supported by the minutes, maps, exhibits, and documentation of said Tentative Map all of which are herein incorporated by reference:

1. The Tentative Map is consistent with all elements of the San Diego County General Plan and with the General Commercial Land Use Designation within the Lakeside Community Plan because it proposes a subdivision of land and future development will be subject to comply with the provisions of the State Subdivision Map Act and the Subdivision Ordinance of the San Diego County Code;

2. The Tentative Map is consistent with the Zoning Ordinance because it proposes a one lot subdivision with 40 existing residential units for a condominium conversion upon approval of TM-5654;
3. The design and improvements of the proposed subdivision are consistent with all elements of the San Diego County General Plan and with the Lakeside Community Plan, and comply with the provisions of the State Subdivision Act and the Subdivision Ordinance of the San Diego County Code;
4. The site is physically suitable for the subdivision and has an approved Grading Plan that demonstrated compliance with drainage and stormwater requirements, and is located near existing infrastructure and development;
5. The site is physically suitable for the proposed subdivision because all public facilities are available to serve the subdivision. The project has received service availability forms for water, sewer, schools and fire. Also, the project has a private driveway which provides access to 1140 N. First Street.
6. The design of the subdivision and the type of improvements will not cause public health problems because adequate water supply and sewage disposal services have been found to be available or can be provided concurrent with need;
7. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat based upon CEQA Section 15301(k). The findings of the Notice Exemption on file with Planning & Development Services (PDS2024-ER-24-14-008), dated October 18, 2024;
8. The design of the subdivision or the type of improvements do not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision, as defined under Section 66474 of the Government Code, State of California; and

The division and development of the property in the manner set forth on the approved Tentative Map will not unreasonably interfere with the free and complete exercise of the public entity or public utility right-of-way or easement;

9. The discharge of sewage waste from the subdivision into the San Diego County Sanitation sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the Water Code, as specified by Government Code Section 66474.6;
10. Because adequate facilities and services have been assured and adequate environmental review and documentation have been prepared, the regional housing opportunities afforded by the subdivision outweigh the impacts upon the

public service needs of County residents and fiscal and environmental resources;
and

11. Determinations and findings pursuant to the California Environmental Quality Act, the Resource Protection Ordinance, and the Watershed Protection, Stormwater Management, and Discharge Control Ordinance have been made by the Planning Commission.

MAP PROCESSING REQUIREMENTS: The final map shall comply with the following processing requirements pursuant to the [Sections 81.501 through 81.517 of the Subdivision Ordinance](#) and the [Subdivision Final Map Processing Manual](#).

- The Final map shall show an accurate and detailed vicinity map.
- The Basis of Bearings for the Final Map shall comply with [Section 81.507 of the Subdivision Ordinance](#).
- Prior to the approval of the Final Map by the Department of Public Works, the subdivider shall provide the Department of Public Works with a copy of the deed by which the subject property was acquired and a Final Map report from a qualified title insurance company.
- The following notes shall appear on the Final Map:
 - All parcels within this subdivision have a minimum of 100 square feet of solar access for each future dwelling unit allowed by this subdivision required by [Section 81.401\(m\) of the Subdivision Ordinance](#).
 - At the time of recordation of the Final Map, the name of the person authorizing the map and whose name appears on the SURVEYOR'S CERTIFICATE as the person who requested the map, shall be the name of the owner of the subject property.
 - The public and private easement roads serving this project shall be named. The responsible party shall contact the Street Address Section of Planning & Development Services (858-694-3797) to discuss the road naming requirements for the development. Naming of the roads is necessary for the health and safety of present and future residents.

ORDINANCE COMPLIANCE NOTIFICATIONS: The project is subject to, but not limited to, the following County of San Diego, State of California, and U.S. Federal Government, Ordinances, Permits, and Requirements:

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations, the activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board

(RWQCB) and [the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance No. 10410](#) and all other applicable ordinances and standards for the life of this permit. The project site shall comply with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas one acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013 and amended in November 2015. *Project design shall comply with the new Municipal Permit regulations.* The County has provided a Low Impact Development (LID) Handbook as a source for LID information to be utilized by County staff and outside consultants for implementing LID in our region. The LID Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

https://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf

STORMWATER COMPLIANCE NOTICE: Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410 (N.S.), dated February 26, 2016, and the BMP Design Manual. These requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

DRAINAGE COMPLIANCE NOTICE: The project shall comply with the County of San Diego Flood Damage Prevention Ordinance No. 10091, adopted December 8, 2010.

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill, pursuant to Section 87.201 of the County Grading Ordinance.

CONSTRUCTION PERMIT REQUIRED: A Construction Permit (and possibly an Encroachment Permit) are required for any and all work within the County right-of-way. Contact PDS Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate County requirements. In addition, before trimming, removing, or planting

trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

EXCAVATION MORATORIUM NOTICE: Department of Public Works policy prohibits trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three (3) years following project surface application. Therefore, you will need to notify all adjacent property owners who may be affected by this policy and are considering development of applicable properties. The owners of this project will be required to sign a statement that they are aware of the County of San Diego, Department of Public Works, Pavement Cut Policy and that they have contacted all adjacent property owners and solicited their participation in the extension of utilities.

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to the [County Lighting Ordinance 59.101](#) et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the [County Noise Ordinance 36.401](#) et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. No loudspeakers, sound amplification systems, and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

ON MOTION of Commissioner _____, seconded by Commissioner _____, this Resolution is passed and approved by the Commissioner of the County of San Diego, State of California, at a regular meeting held on this ____ day of _____, in Planning & Development Service County Operations Center Hearing Room, 5520 Overland Avenue, San Diego, California, by the following vote:

AYES:

NOES:

ABSENT:

**Attachment C – Approved Major Grading Plan
and Improvement Plan, PDS2020-LDGRMJ-30268,
PDS2021-LDPIIP-60101**

GENERAL GRADING NOTES:

- 1. APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
2. FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
3. IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
4. A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
5. ALL SLOPES OVER THREE FEET IN HEIGHT WILL BE PLANTED IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS.
6. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
PHONE NUMBER
SAN DIEGO GAS & ELECTRIC 800-227-2600
AT & T 800-288-2020
CATV (AGENCY NAME) 888-892-2253
COUNTY SANITATION DISTRICT 619-660-2007
HELIX WATER DISTRICT 619-896-3860
7. A SOILS REPORT MAY BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
8. APPROVAL OF THESE PLANS BY THE DIRECTOR OF PUBLIC WORKS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNERS PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED.
9. THE DIRECTOR OF PUBLIC WORKS APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOIL IS MADE OR IMPLIED (SECTIONS 87.403 & 87.410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES.
10. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF THE TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 AM AND 6:00 PM EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
11. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT TO FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
12. NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITEE RESPONSIBLE FOR THE CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
13. SLOPE RATIOS:
CUT - 1 1/2:1 FOR MINOR SLOPES (SLOPES <15'), 2:1 FOR MAJOR SLOPES.
FILL - 2:1
EXCAVATION: 4,200 C.Y. FILL: 4,900 C.Y. WASTE/IMPORT 700 C.Y.
14. SPECIAL CONDITION: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
15. PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT THE APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.
16. THE APPLICANT IS RESPONSIBLE FOR THE ROAD MAINTENANCE (SWEEPING AS NECESSARY) AND REPAIRS OF ANY DAMAGE CAUSED BY THEM TO THE ON-SITE AND OFF-SITE COUNTY MAINTAINED OR PRIVATE ROADS THAT SERVE THE PROPERTY EITHER DURING CONSTRUCTION OR SUBSEQUENT OPERATIONS. THE APPLICANT WILL REPAIR THOSE PORTIONS OF THE ROUTE THAT WOULD BE DAMAGED BY THE HEAVY LOADS THAT LOADED TRUCKS PLAN ON THE ROUTE IDENTIFIED.
17. FINAL APPROVAL OF THIS GRADING PLAN IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGE TO THESE PLANS.
18. THE ENGINEER-OF-WORK SHALL COMPLY WITH ALL PROJECT APPLICABLE LAWS THAT INCLUDE, BUT ARE NOT LIMITED TO, HEALTH SAFETY, AND ENVIRONMENTAL LAWS, ORDINANCES, AND REGULATIONS RELATING TO THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND U.S. FEDERAL GOVERNMENT. THE PROJECT IS SUBJECT TO ENFORCEMENT UNDER PERMITS FROM THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) AND THE COUNTY OF SAN DIEGO WATERSHED PROTECTION, STORMWATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE NO. 10410, COUNTY OF SAN DIEGO HYDRAULIC DESIGN MANUAL, AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS FOR THE LIFE OF THIS PERMIT. THE PROJECT SITE SHALL BE IN COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS REFERENCED ABOVE AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS. THIS INCLUDES COMPLIANCE WITH THE APPROVED STORM WATER QUALITY MANAGEMENT PLAN (SWQMP), ALL REQUIREMENTS FOR LOW IMPACT DEVELOPMENT (LID), HYDROMODIFICATION, DETENTION FACILITIES, MATERIALS, AND WASTES CONTROL, EROSION CONTROL, AND SEDIMENT CONTROL ON THE PROJECT SITE.
19. THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR THE PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE OF COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND CLEAN WATER ACT. GRADING AND/OR FURTHER DEVELOPMENT ARE PROHIBITED WITHIN THE AREAS DESIGNATED 'LIMITS OF JURISDICTIONAL HABITAT' UNTIL FEDERAL PERMITS AND STATE PERMITS (IF ANY) HAVE BEEN ACQUIRED.

NOTE: ALL GRADING DETAILS WILL BE IN ACCORDANCE WITH THE SAN DIEGO COUNTY STANDARD DRAWINGS DS-8, DS-10, DS-11, D-75.
NOTE: THE PROJECT SHALL COMPLY WITH GRADING ORDINANCE SECTION 87.420, 87.421 AND 87.422.

NOTE: GEOTECHNICAL ENGINEER OF RECORD SHALL ASSIST THE CONTRACTOR WITH THE SELECTION OF FILL/BACKFILL MATERIAL, OBSERVE PLACEMENT OF FILL AND EXCAVATIONS, OBSERVE PLACEMENT OF FOOTINGS FOR RETAINING STRUCTURES ALONG WITH ANY OTHER REQUIREMENTS REQUESTED BY THE COUNTY OFFICIAL AND/OR CIVIL ENGINEER OF RECORD. ALL IMPORT MATERIAL AND MATERIAL TO BE USED FOR IMPROVEMENTS SHALL BE TESTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND PROCEDURES.

LEGAL DESCRIPTION: THE NORTH 264.00 FEET OF LOT 9 IN BLOCK 3 OF SUBDIVISION OF THE "S" TRACT OF RANCHO EL CAJON, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 292, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 14, 1883.
ALSO THE WEST 12.00 FEET OF FIRST STREET ADJOINING THE ABOVE DESCRIBED PROPERTY ON THE EAST AS VACATED AND CLOSED TO PUBLIC USE JUNE 11, 1923, BY ORDER OF THE BOARD OF SUPERVISORS OF SAID SAN DIEGO COUNTY, A CERTIFIED COPY OF SAID VACATION HAVING BEEN RECORDED ON MARCH 3, 1924, IN BOOK 751, PAGE 356 OF DEEDS.
EXCEPTING THEREFROM THE NORTH 60.00 FEET OF THE EAST 158.00 FEET THEREOF.
ALSO EXCEPTING THEREFROM THE WEST 12.00 FEET OF FIRST STREET ADJOINING THE NORTH 60.00 FEET OF SAID LOT 9 ON THE EAST.

ADDRESS: 1140 NORTH FIRST STREET, EL CAJON, CA 92021

APN: 484-092-21

SHEET INDEX table with columns SHEET, TITLE SHEET, and descriptions like NOTES AND DETAILS SHEET, GRADING PLAN, EROSION CONTROL & POST CONSTRUCTION BMP PLAN, etc.

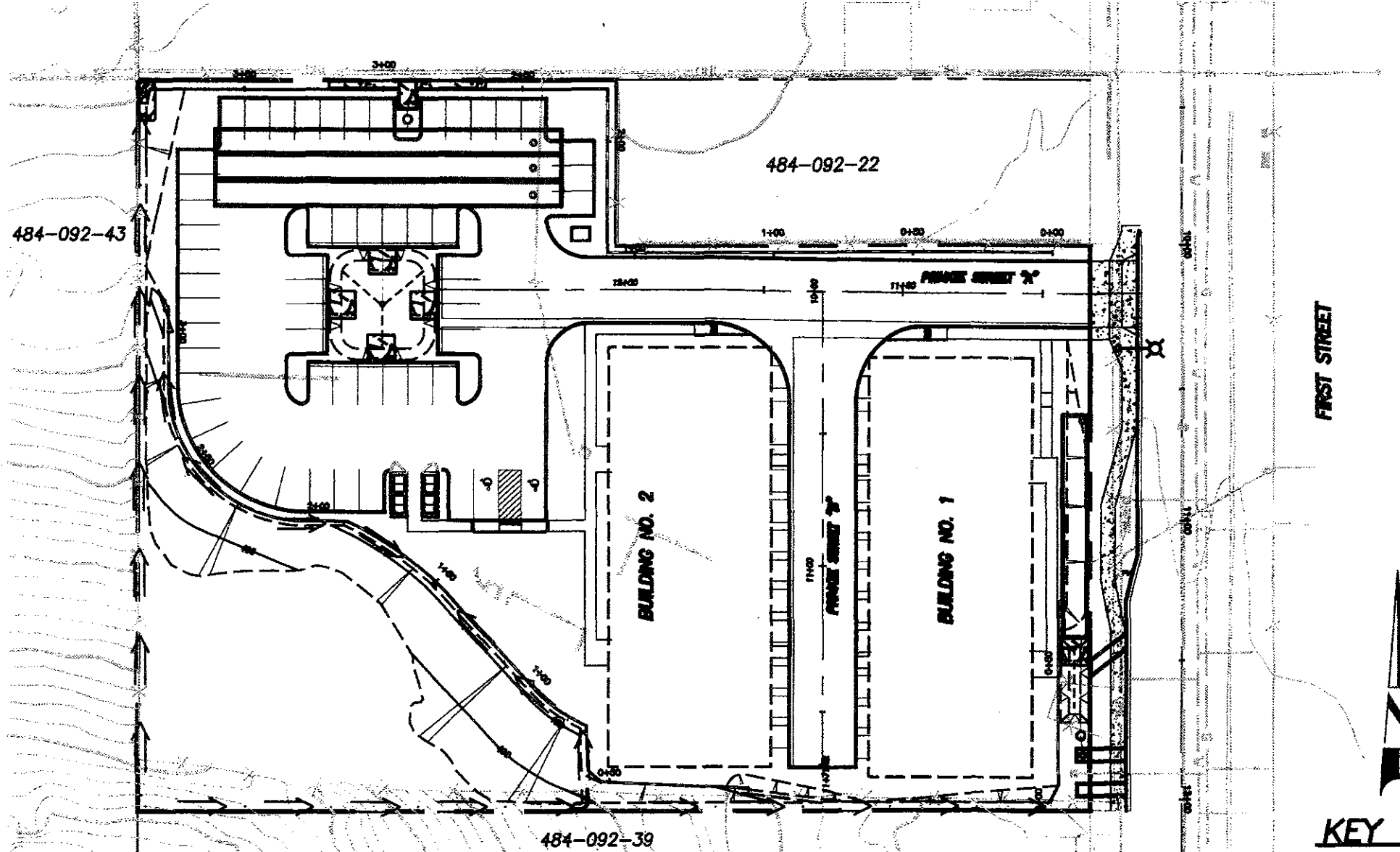
NOTES: IMPORT/EXPORT Q>1,000 CY
PRIOR TO BEGINNING OF GRADING, SUBMIT A TRAFFIC CONTROL PLAN AND HAUL ROUTE PLAN TO TRAFFIC DIVISION, DEPARTMENT OF PUBLIC WORKS (DPW) FOR APPROVAL INCLUDING:

- 1. SPECIFIC TRUCK TRAVEL ROUTES
2. ANTICIPATED LENGTH OF GRADING PERIOD INVOLVING THE NEED FOR TRUCK IMPORTS OF SOIL
3. TIME OF OPERATIONS
4. EXISTING CONDITIONS OF THE IMPACTED ROAD AREAS - INCLUDING TRAFFIC AND ROAD CONDITIONS.
5. TRAFFIC SAFETY INCLUDING SAFETY TO RESIDENTS ON FOOT, ON BICYCLE AND IN VEHICLES, AND POSSIBLE MITIGATION FOR AVOIDANCE OF SIGNIFICANT PEAK HOUR TRAFFIC AT CERTAIN INTERCHANGES.
6. INTERCHANGE GEOMETRY TO DETERMINE IF IT WILL ALLOW SAFE USE BY THE TRUCKS.
7. CONTRACTOR SHALL APPLY FOR A TRAFFIC CONTROL PERMIT 8 WEEKS PRIOR TO COMMENCEMENT OF WORK. NO WORK SHALL COMMENCE PRIOR TO ISSUANCE OF SAID PERMIT. FOR INFORMATION CALL 858-694-3863. THE TRAFFIC CONTROL PERMIT SHALL REQUIRE SPECIFICATIONS FOR INFORMATIONAL SIGNS.

SOIL ENGINEERING CERTIFICATION
THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN OUR SOILS AND GEOTECHNICAL REPORT FOR THIS PROJECT. THE SOILS REPORT SHALL BE CONSIDERED PART OF THIS PLAN AND ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATION AND RECOMMENDATIONS OF SAID REPORT DATED AUGUST 5, 2016, PROJECT #CWE 2160312.02, RESPONSE TO REVIEW COMMENTS, PROJECT NO.-PDS2020-LDGRM-30268 PROPOSED DUPLEX PROJECT, 1140 N 1ST STREET, SAN DIEGO COUNTY, CALIFORNIA DATED JULY 15, 2020.

Professional Engineer stamps for Troy S. Wilson (No. 2551, Exp. 7-31-2023) and Shawn C. Gava (No. 22418, Exp. 6-30-2022).

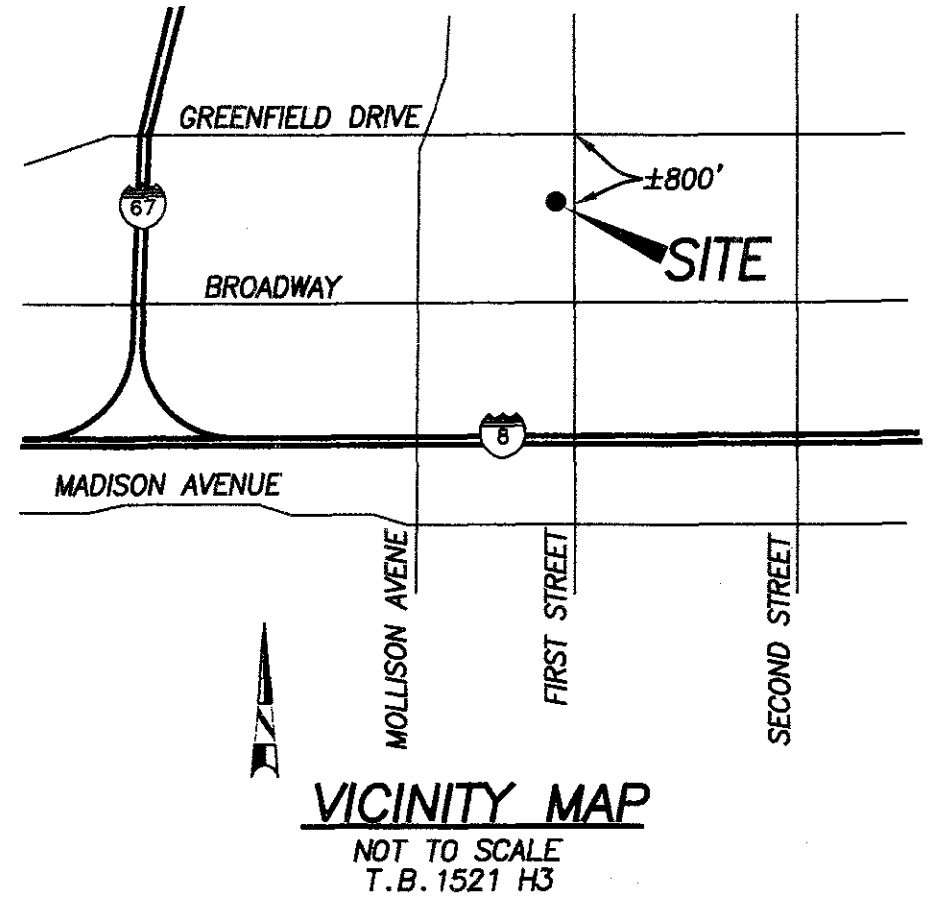
GRADING + PRIVATE IMPROVEMENT PLANS FOR: 1140 N. FIRST STREET COUNTY OF SAN DIEGO



APPLICANT: GREENBUILD PROPERTIES, LLC 3268 GOVERNOR DRIVE, SUITE 200 SAN DIEGO, CA 92122

OWNER: DATE: 3-24-2022

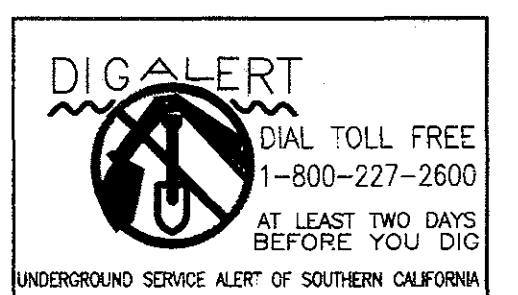
MONUMENTATION GENERAL NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL SURVEY CONTROL MONUMENTS, WHETHER SHOWN ON THESE PLANS OR NOT, WITHIN THE PROJECT AREA. ALL SURVEY MONUMENTS, WHETHER FOR HORIZONTAL OR VERTICAL CONTROL, THAT WILL OR COULD BE DISTURBED OR REMOVED BY THE CONTRACTOR, OR HIS EMPLOYEES, AGENTS, SUBCONTRACTORS, CONSULTANT OR LICENSEES, SHALL BE LOCATED PRIOR TO BEING DISTURBED OR REMOVED AND REPLACED OR RESET, IN ACCORDANCE WITH THE CALIFORNIA BUSINESS & PROFESSIONS CODE SECTION 8771(b), AT THE CONTRACTOR'S SOLE EXPENSE, UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA. IN ADDITION, A RECORD OF SURVEY OR CORNER RECORD, AS APPLICABLE, SHALL BE FILED AND/OR RECORDED, IN ACCORDANCE WITH PROVISIONS OF SAID CODE.



WORK TO BE DONE: IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, THE CURRENT COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS FOR IMPROVEMENT OF SUBDIVISION STREETS AND STANDARD REFERENCE DRAWINGS AND THE SAN DIEGO AREA REGIONAL STANDARD DRAWINGS AND THE WATER AGENCIES' STANDARDS LATEST REVISION. STANDARD DRAWINGS: SAN DIEGO REGIONAL STANDARD DRAWINGS, DATED APRIL 2012

LEGEND table with columns STD. DWG. NO., SYMBOL, and descriptions of various items like AC PAVEMENT, CURB AND GUTTER, STORM DRAIN, etc.

STORMWATER STRUCTURAL POLLUTANT CONTROL & HYDROMODIFICATION CONTROL BMPs table with columns DESCRIPTION/TYPE, PLAN SHEET, BMP ID#, MAINTENANCE CATEGORY, and MAINTENANCE AGREEMENT RECORDED DOC #.



DISTURBED AREA CALC table with columns BUILDING/ROOF, DRIVEWAYS, BIO BASIN, LANDSCAPE, TOTAL, and IF >= 1 AC, PROVIDE WID#.

PDS ENVIRONMENTAL REVIEW
APPROVED FOR COMPLIANCE WITH THE ENVIRONMENTAL REVIEW.
APPROVED BY: [Signature]
DATE: 4/14/2022

DECLARATION OF RESPONSIBLE CHARGE
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.
BY: [Signature] DATE: 2-22-22

OWNERS CERTIFICATE
IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.
IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS, OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PLANNING & DEVELOPMENT SERVICES DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.
BY: [Signature] DATE: 3-24-2022

SEWER AGENCY
SAN DIEGO COUNTY SANITATION DISTRICT
WINTERGARDENS SERVICE AREA
REVIEWED BY: [Signature]
DATE: 4-15-2022
VALID FOR TWO YEAR FROM DATE SIGNED

PERMITS
LANDSCAPE PERMIT NO. 1975 2020 - LP-20-058
W.D.I.D. NO. 1-37C317393
WASTE WATER PERMIT NO. DPW2020-WWSWCP-00058
IMPROVEMENT PLAN NO. PDS2020-LDPIIP-60101

DWELLING UNITS: NUMBER OF DWELLING UNITS IN PROJECT: 38
NUMBER OF GRADED PADS IN PROJECT: 2

PRIVATE CONTRACT
SHEET 1 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS SHEET 11
GRADING & PRIVATE IMPROVEMENT PLANS FOR: 1140 NORTH FIRST STREET EL CAJON, CA 92021 CALIFORNIA COORDINATE INDEX 234-1785

Lundstrom Engineering and Surveying, Inc. logo and contact information: 5333 Mission Center Road, #115 • San Diego, CA 92108 Phone (619) 814-1220 • Fax (619) 641-5910

RECORD PLAN
NAME:
R.C.E.
DATE:

FIRE AGENCY
SAN MIGUEL FIRE DISTRICT
APPROVED BY: [Signature] DATE: 3-15-22

HELIX WATER DISTRICT
PROJECT: RMB21093
ACCEPTED BY: [Signature] DATE: 03/03/22
VALID FOR ONE YEAR FROM DATE SIGNED

COUNTY APPROVED CHANGES
NO. DESCRIPTION APPROVED BY DATE

BENCHMARK
DESCRIPTION: SURVEY CONTROL MONUMENT NO. 899 AS SHOWN ON RECORD OF SURVEY MAP NO. 14492
LOCATION: O/S CENTER HACIENDA DR. & FLYING HILLS LN.
RECORD FROM: COUNTY OF SAN DIEGO
ELEVATION: 793.90 DATUM: NAVD-88

APPROVED FOR COUNTY ENGINEER: WILLIAM P. MORGAN
ENGINEER OF WORK: WILLIAM LUNDSTROM
DATE: 5/15/2022
GRADING PERMIT NO. PDS2020-LDGRM-30268

ENGINEER'S NAME: LUNDSTROM ENGINEERING & SURVEYING PHONE NO. (619) 814-1220

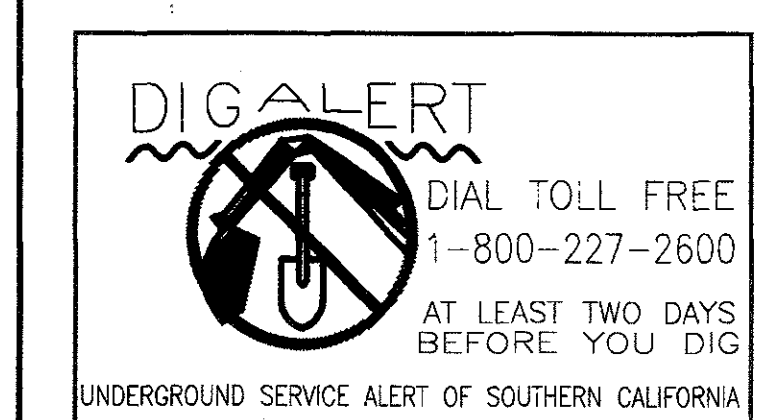
SPECIAL NOTES:

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTION TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE COUNTY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF THESE NOTES AND THE COUNTY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.

- 1. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES AND STORM RUNOFF FACILITIES INCLUDING BROW DITCHES, SWALES, AND OUTLET PIPES OF DESILTING BASINS ARE BUILT IN ACCORDANCE WITH THESE PLANS. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (GRAVEL BAGS, HAY BALES, TEMPORARY DESILTING BASINS, SILT FENCES, DIKES, SHORING, ETC.) UNTIL SUCH TIME THAT THE TOTAL PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY OWNER.
3. NEITHER THE OWNER NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATION.
4. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF WORK AT (619) 814-1220.
5. WHERE TRENCHES ARE ADJACENT TO FUTURE BUILDING SITES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF WORK BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
6. BEFORE EXCAVATING FOR THIS CONTRACT, VERIFY LOCATION OF UNDERGROUND UTILITIES. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM AVAILABLE RECORDS ONLY AND MAY NOT REFLECT ALL EXISTING UTILITIES LOCATIONS OF ALL EXISTING UTILITIES SHALL BE CONFIRMED BY FIELD MEASUREMENTS BY CONTRACTOR PRIOR TO CONSTRUCTION OF WORK.
7. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
8. EXISTING UTILITIES SHOWN HEREON ARE BASED ON AVAILABLE RECORD INFORMATION. CONTRACTOR IS TO NOTIFY ENGINEER OF WORK OF ANY CONFLICTS OR ANY OTHER UTILITIES ENCOUNTERED PRIOR TO PROCEEDING WITH CONSTRUCTION.
9. THE CONTRACTOR SHALL UNCOVER ALL UTILITIES THAT HE MAY BE JOINING, CROSSING, OR PARALLELING TO VERIFY BOTH HORIZONTAL AND VERTICAL LOCATION PRIOR TO ANY CONSTRUCTION. ANY CONFLICT OR DISCREPANCY SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION. OTHERWISE THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY ADDITIONAL CONSTRUCTION OR RELOCATION COSTS.
10. CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS WORKING ON THE SITE, INCLUDING GRADING, DRAINAGE, LANDSCAPING AND IRRIGATION.
11. CONTRACTOR WILL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF LOCATION OF EXISTING FACILITIES.
12. CONTRACTOR SHALL NOTIFY SAN DIEGO GAS AND ELECTRIC COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES.
13. CONTRACTOR SHALL NOTIFY AT&T TELEPHONE COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES.
14. BEFORE EXCAVATING FOR THIS CONTRACT, VERIFY LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL TELEPHONE FOR:
UNDERGROUND SERVICE ALERT (800) 422-4133
STREET DIVISION (619) 527-7500
FACILITIES MAINTENANCE DIVISION (BUILDINGS) (619) 525-8540
PARK & RECREATION DEPARTMENT (IRRIGATION) (619) 235-1179
15. CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

N.O.I. & SWPPP INFORMATION

STATE OF CALIFORNIA GENERAL CONSTRUCTION PERMIT W/D # _____
STORM DRAIN WATER POLLUTION PREVENTION PLAN PREPARED BY LUNDSTROM ENGINEERING & SURVEYING ON:



STORMWATER PROTECTION NOTES:

- 1. DURING THE RAINY SEASON THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAIN STORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED THE ON JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
2. NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE SAN DIEGO COUNTY D.P.W. DIRECTOR'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTUALLY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
3. THE PROPERTY OWNER IS OBLIGATED TO INSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORMWATER QUALITY. THE MAINTENANCE OF THE BMPs IS THE PERMITEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
ON PROJECTS OF GREATER THAN ONE ACRE, ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND THAT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE NOI NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS NOT YET ASSIGNED, BUT WILL BE PROVIDED BEFORE A PERMIT IS ISSUED. THE PERMITEE SHALL KEEP A COPY OF THE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY THE COUNTY.

H.D.P.E. 48" DIAMETER AND SMALLER

PIPE SHALL BE BACKFILLED WITH CRUSHED ROCK IN ACCORDANCE WITH CITY OF SAN DIEGO STANDARD DRAWING SDD-110, TYPE C ROCK ENVELOPE, INCLUDING APPROPRIATE FILTER FABRIC LINING. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH THE SPECIFIED BACKFILL MATERIAL COMPACTED TO 90 PERCENT RELATIVE COMPACTION PER CALIFORNIA TEST METHOD 216, AS MODIFIED BY THE COUNTY OF SAN DIEGO OR ASTM D-1557, EXCEPT FOR THE PORTION IN THE PAVEMENT SUBGRADE, WHICH SHALL BE COMPACTED TO 95 PERCENT RELATIVE COMPACTION.

PIPE WITH LESS THAN 2 FEET OF COVER UNDER HIGHWAY LOADING SHALL BE CONCRETE-ENCASED IN ACCORDANCE WITH CITY OF SAN DIEGO STANDARD DRAWING SDD-110. THE PORTION ABOVE THE ENCASEMENT SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE PARAGRAPH ABOVE. MAXIMUM PIPE COVER SHALL NOT EXCEED THE AMOUNT SPECIFIED IN THE CURRENT CALTRANS DESIGN MANUAL.

PDS ENVIRONMENTAL NOTES:

THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

NOTICE: IN ORDER TO AVOID IMPACTS TO NESTING MIGRATORY BIRDS AND RAPTORS, WHICH ARE A SENSITIVE BIOLOGICAL RESOURCE PURSUANT TO CEQA, THE MBTA AND FISH AND WILDLIFE CODE, BREEDING SEASON AVOIDANCE SHALL BE IMPLEMENTED ON ALL PLANS. THERE SHALL BE NO BRUSHING, CLEARING AND/OR GRADING SUCH THAT NONE WILL BE ALLOWED DURING THE BREEDING SEASON OF MIGRATORY BIRDS OR RAPTORS, BETWEEN JANUARY 15 AND AUGUST 31. THE DIRECTOR OF PDS MAY WAIVE THIS CONDITION THROUGH WRITTEN CONCUERRENCE FROM THE US FISH AND WILDLIFE SERVICE AND THE CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE, PROVIDED THAT NO NESTING OR BREEDING BIRDS ARE PRESENT WITHIN 300 FEET OF THE BRUSHING, CLEARING OR GRADING (500 FEET FOR RAPTORS) BASED ON A SURVEY CONDUCTED BY A COUNTY-APPROVED BIOLOGICAL CONSULTANT WITHIN SEVEN DAYS PRIOR TO THE PROPOSED START OF CLEARING/GRADING. IF NESTING BIRDS ARE PRESENT IN THE VICINITY, PRIOR TO GRANTING PERMISSION PDS AND THE WILDLIFE AGENCIES MAY REQUIRE AVOIDANCE MEASURES SUCH AS, BUT NOT LIMITED TO, STAKING AND POSTING AN AREA 300 FEET FROM THE NEST TO PROHIBIT ALL CLEARING, GRUBBING AND CONSTRUCTION WORK WITHIN THE PERIMETER UNTIL THE QUALIFIED BIOLOGIST DETERMINES THAT THE NESTS ARE NO LONGER OCCUPIED WITH WRITTEN NOTIFICATION TO THE APPROVAL OF THE DIRECTOR OF PDS.

DURING CONSTRUCTION: (THE FOLLOWING ACTIONS SHALL OCCUR THROUGHOUT THE DURATION OF THE GRADING CONSTRUCTION).

PALEO#GR-1 PALEONTOLOGICAL MONITORING
INTENT: IN ORDER TO COMPLY WITH MITIGATION MONITORING AND REPORTING PROGRAM A PALEONTOLOGICAL MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THIS PROJECT SITE HAS MARGINAL LEVELS OF SENSITIVE PALEONTOLOGICAL RESOURCES. ALL GRADING ACTIVITIES ARE SUBJECT TO THE COUNTY OF SAN DIEGO GRADING ORDINANCE SECTION 87.430. IF ANY SIGNIFICANT RESOURCES (FOSSILS) ARE ENCOUNTERED DURING GRADING ACTIVITIES.

A. THE GRADING CONTRACTOR IS RESPONSIBLE TO MONITOR FOR PALEONTOLOGICAL RESOURCES DURING ALL GRADING ACTIVITIES. IF ANY FOSSILS ARE FOUND GREATER THAN 12 INCHES IN ANY DIMENSION, STOP ALL GRADING ACTIVITIES AND CONTACT PDS BEFORE CONTINUING GRADING OPERATIONS.

B. IF ANY PALEONTOLOGICAL RESOURCES ARE DISCOVERED AND SALVAGED, THE MONITORING, RECOVERY, AND SUBSEQUENT WORK DETERMINED NECESSARY SHALL BE COMPLETED BY OR UNDER THE SUPERVISION OF A QUALIFIED PALEONTOLOGIST PURSUANT TO THE SAN DIEGO COUNTY GUIDELINES FOR DETERMINING SIGNIFICANCE FOR PALEONTOLOGICAL RESOURCES.

TIMING: THE FOLLOWING ACTIONS SHALL OCCUR THROUGHOUT THE DURATION OF THE GRADING CONSTRUCTION. MONITORING: THE [DPW, PDCI] SHALL MAKE SURE THAT THE GRADING CONTRACTOR IS ON-SITE PERFORMING THE MONITORING DUTIES OF THIS CONDITION. THE [DPW, PDCI] SHALL CONTACT PDS IF THE GRADING CONTRACTOR OR APPLICANT FAILS TO COMPLY WITH THIS CONDITION.

ROUGH GRADING: (PRIOR TO ROUGH GRADING APPROVAL AND ISSUANCE OF ANY BUILDING PERMIT).

PALEO#GR-2 PALEONTOLOGICAL MONITORING
INTENT: IN ORDER TO COMPLY WITH THE ADOPTED MITIGATION MONITORING AND REPORTING PROGRAM (MMRP) AND THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR PALEONTOLOGICAL RESOURCES, A PALEONTOLOGICAL MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: ONE OF THE FOLLOWING LETTERS SHALL BE PERFORMED UPON COMPLETION OF THE GRADING ACTIVITIES THAT REQUIRE MONITORING:

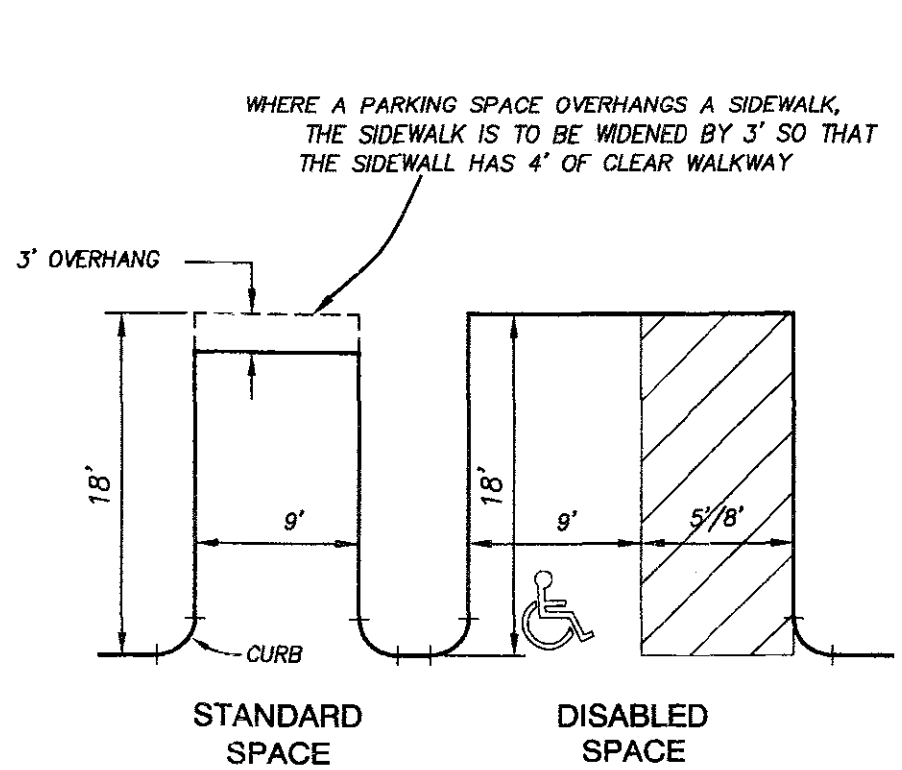
A. IF NO PALEONTOLOGICAL RESOURCES WERE DISCOVERED, SUBMIT A 'NO FOSSILS FOUND' LETTER FROM THE GRADING CONTRACTOR TO PDS STATING THAT THE MONITORING HAS BEEN COMPLETED AND THAT NO FOSSILS WERE DISCOVERED, AND INCLUDING THE NAMES AND SIGNATURES FROM THE FOSSIL MONITORS. THE LETTER SHALL BE IN THE FORMAT OF ATTACHMENT E OF THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE FOR PALEONTOLOGICAL RESOURCES.

o. IF PALEONTOLOGICAL RESOURCES WERE ENCOUNTERED DURING GRADING, A LETTER SHALL BE PREPARED STATING THAT THE FIELD GRADING MONITORING ACTIVITIES HAVE BEEN COMPLETED, AND THAT RESOURCES HAVE BEEN ENCOUNTERED. THE LETTER SHALL DETAIL THE ANTICIPATED TIME SCHEDULE FOR COMPLETION OF THE CURATION PHASE OF THE MONITORING.

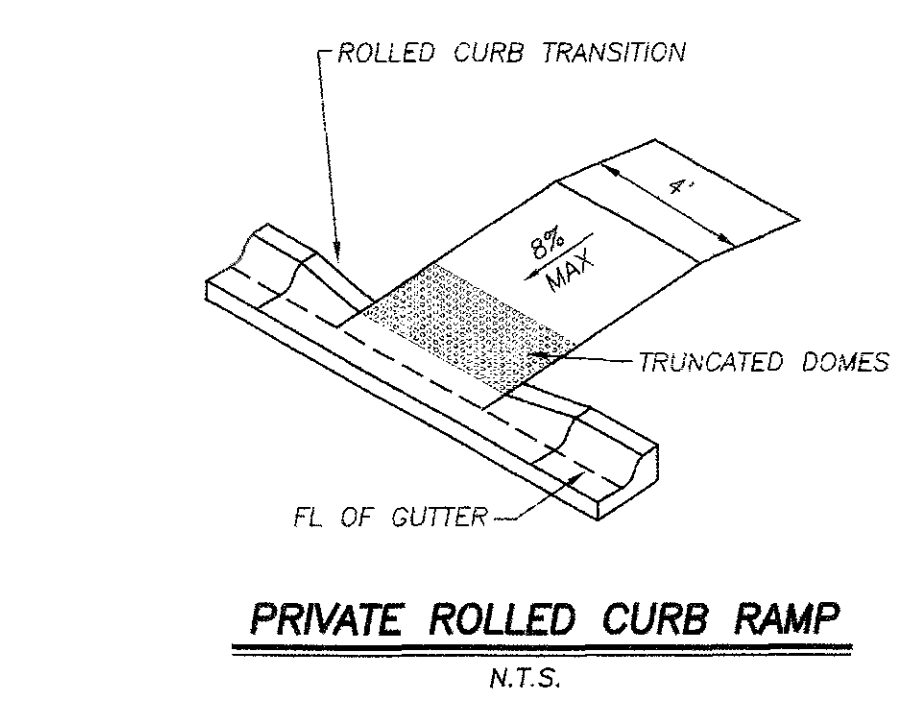
DOCUMENTATION: THE APPLICANT SHALL SUBMIT THE LETTER REPORT TO PDS FOR REVIEW AND APPROVAL. TIMING: UPON COMPLETION OF ALL GRADING ACTIVITIES, AND PRIOR TO ROUGH GRADING FINAL INSPECTION (GRADING ORDINANCE SEC 87.421A.2), THE LETTER REPORT SHALL BE COMPLETED. MONITORING: PDS SHALL REVIEW THE FINAL NEGATIVE LETTER REPORT OR FIELD MONITORING MEMO FOR COMPLIANCE WITH THE PROJECT MMRP, AND INFORM [DPW, PDCI] THAT THE REQUIREMENT IS COMPLETED.

HELIX WATER DISTRICT NOTES:

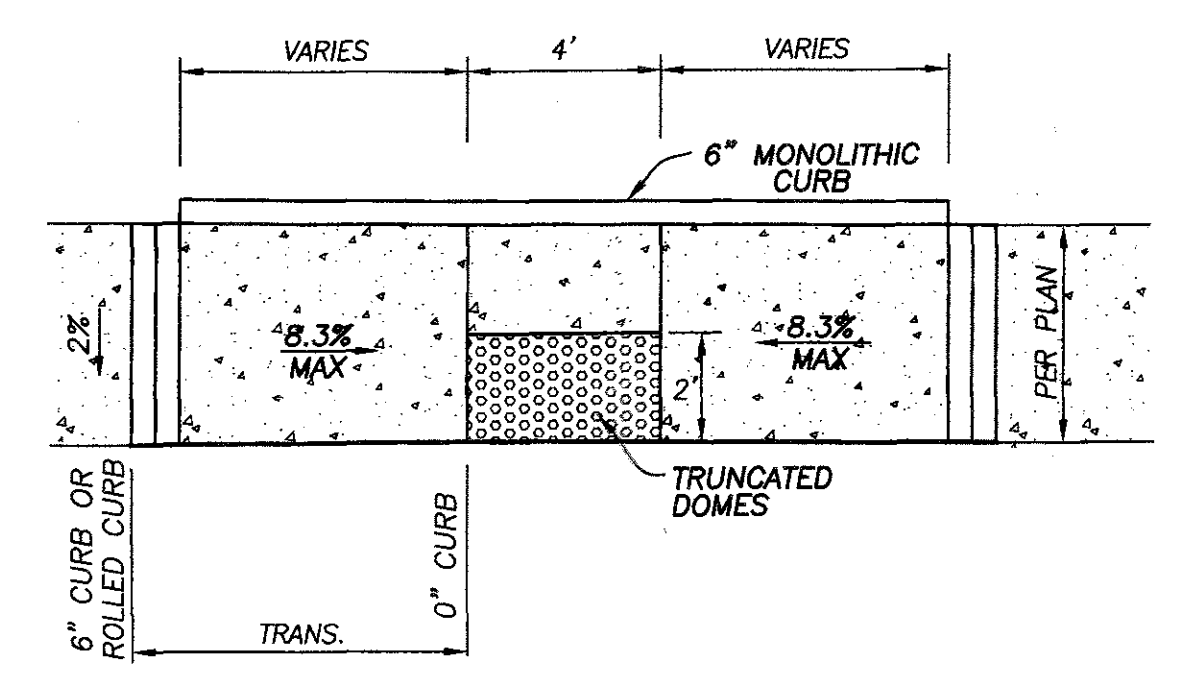
- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT HELIX WATER DISTRICT 48 HOURS PRIOR TO COMMENCING WORK AT (619) 596-3860 AND UNDERGROUND SERVICE ALERT FOR LOCATION OF EXISTING WATER FACILITIES AT 1-800-422-4133.
2. CONTRACTOR TO PROTECT ALL EXISTING HELIX WATER DISTRICT FACILITIES AND SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO HELIX WATER DISTRICT FACILITIES AS A RESULT OF HIS/HER OPERATION. HELIX WATER DISTRICT SHALL BE NOTIFIED IMMEDIATELY TO REPAIR ANY DAMAGE. CONTRACTOR TO PROVIDE CONTINUOUS WATER SERVICE TO ALL WATER ACCOUNTS SHOWN OR NOT SHOWN ON THESE PLANS DURING ALL PHASES OF CONSTRUCTION.
3. APPROVAL/REVIEW OF PLANS BY HELIX WATER DISTRICT DOES NOT CONSTITUTE RESPONSIBILITY FOR ACCURACY OF INFORMATION NOR LOCATIONS OF ANY EXISTING UTILITIES.
4. DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF RELOCATING ANY WATER FACILITIES THAT FALL WITHIN DRIVEWAYS OR OTHERWISE CONFLICT WITH ANY PROPOSED FACILITIES OR IMPROVEMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR ADJUSTMENT OF ANY NEW OR EXISTING WATER SERVICE APPURTENANCES, MANHOLES, GATE VALVE COVERS, OR METER BOXES TO NEW FINISH GRADE.
6. EXISTING WATER SERVICES SERVING THE PROPERTY THAT WILL NOT BE USED SHALL BE ABANDONED BY THE DISTRICT AT THE OWNER'S EXPENSE.
7. ALL UNDERGROUND UTILITIES AND LATERALS SHALL BE INSTALLED BEFORE CONSTRUCTION OF CURBS, CONCRETE CROSS GUTTERS, SIDEWALK OR SURFACING OF STREETS.
8. DEVELOPER AGREES THAT IF THEY, THEIR EMPLOYEES, AGENTS, OR ANY INDEPENDENT CONTRACTORS OR SUBCONTRACTORS SHOULD USE WATER OTHER THAN THROUGH AN AUTHORIZED WATER METER, DEVELOPER SHALL PAY A CHARGE, DETERMINED BY HELIX WATER DISTRICT, PER OCCURRENCE FOR SAID USE. SAID PAYMENT MAY BE DEDUCTED FROM ANY DEPOSIT DEVELOPER HAS WITH HELIX WATER DISTRICT.
9. NO PERSON, OTHER THAN AN EMPLOYEE OR AGENT OF THE HELIX WATER DISTRICT, SHALL HAVE A RIGHT TO OPERATE ANY PART OF A HELIX WATER DISTRICT WATER DISTRIBUTION SYSTEM AND FIRE HYDRANTS. ANY PERSON WHO TAMPER OR INTERFERES WITH ANY PART OR COMPONENT OF SAID SYSTEM, OR CAUSES OR PERMITS ANY ACT OF TAMPERING OR INTERFERING WITH THE SYSTEM, SHALL BE LIABLE FOR ANY INJURY OR DAMAGE CAUSED THEREBY OR RESULTING THEREFROM. A CHARGE, DETERMINED BY HELIX WATER DISTRICT, PER OCCURRENCE WILL BE IMPOSED ON ANY PERSON OR COMPANY WHO OPERATES ANY PART OF THE HELIX WATER DISTRICT WATER SYSTEM WITHOUT PROPER AUTHORIZATION.
10. STOCKPILING OF SOILS OR ANY MATERIALS IS NOT ALLOWED WITHIN THE HELIX WATER DISTRICT EASEMENT.
11. ANY FINISHED SURFACE IMPROVEMENT OTHER THAN ASPHALT ABOVE THE PIPELINE OR UNDERGROUND FACILITIES, WILL REQUIRE AN ENCROACHMENT REMOVAL AGREEMENT. PERMEABLE FINISHED SURFACE IMPROVEMENTS ARE PROHIBITED WITHIN HELIX WATER DISTRICT WATER MAIN EASEMENT.
12. TRENCH REPAIRS IS TO BE BY HELIX WATER DISTRICT TRENCH DETAIL OR THE CITY OR COUNTY TRENCH REPAIR DETAIL, WHICHEVER IS MORE STRINGENT.
13. FOR NEW SEWER MAINS OR STORM DRAINS CROSSING EXISTING WATER MAINS, CONTRACTOR SHALL PROTECT THE EXISTING MAIN PER WATER AGENCIES' STANDARD DRAWING WP-09 OR REPLACE THE EXISTING WATER MAIN WITH NEW PVC PIPE AT THE DISCRETION OF THE DISTRICT ENGINEER. PIPE REPLACEMENTS SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF THE TRENCH WIDTH ON BOTH SIDES OF THE CROSSING. CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS PRIOR TO CROSSING UNDER ANY EXISTING WATER MAIN AND SHALL COORDINATE THE INSPECTION OF ALL WORK RELATED TO THE PROTECTION OF EXISTING WATER FACILITIES WITH THE DISTRICT INSPECTOR.
14. FOR ALL WATER REQUIREMENTS SEE THE WATER IMPROVEMENT PLANS, HWD RM821093



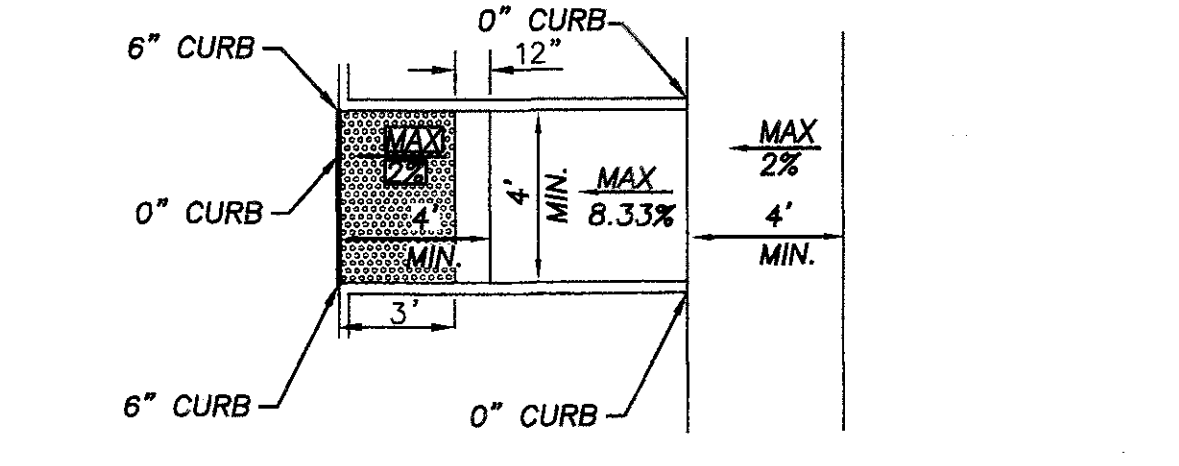
TYP. PARKING DIMENSIONS NOT TO SCALE



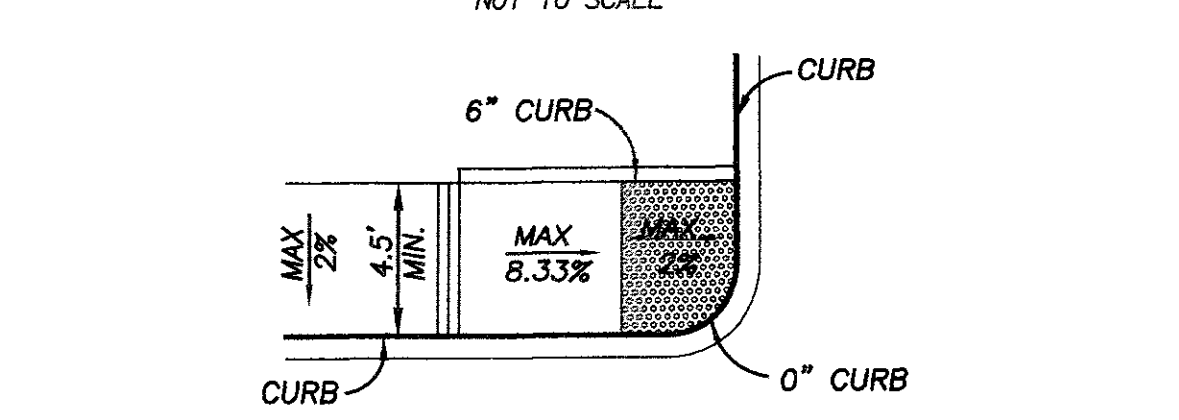
PRIVATE ROLLED CURB RAMP N.T.S.



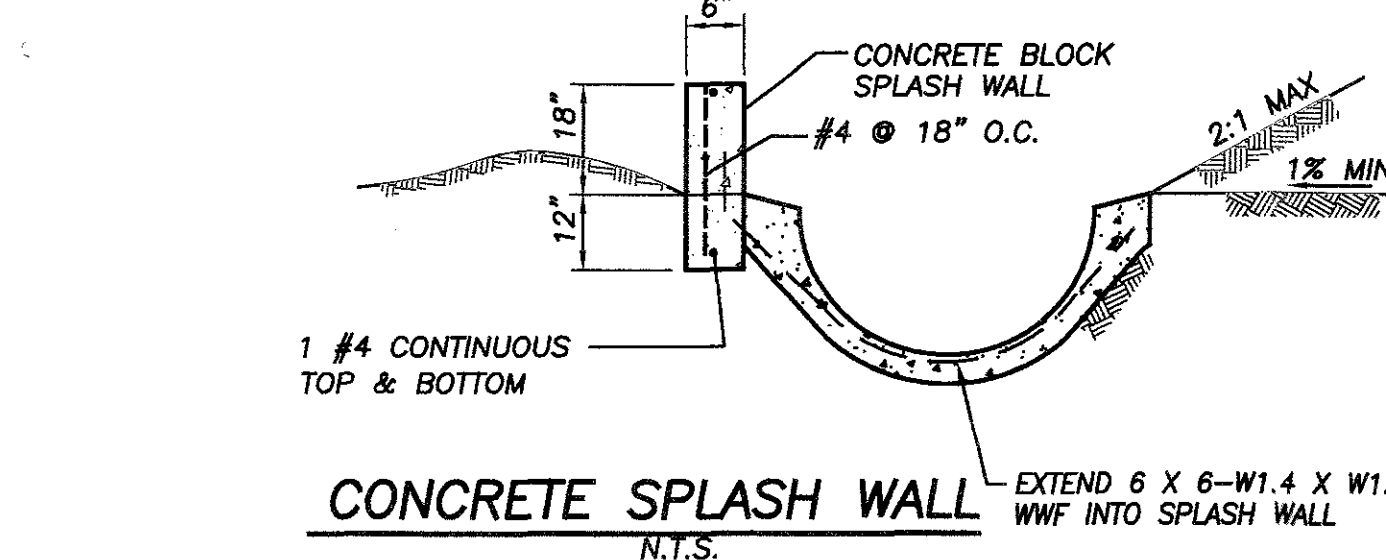
DETAIL 3: PEDESTRIAN RAMP TO SIDEWALK TRANSITION



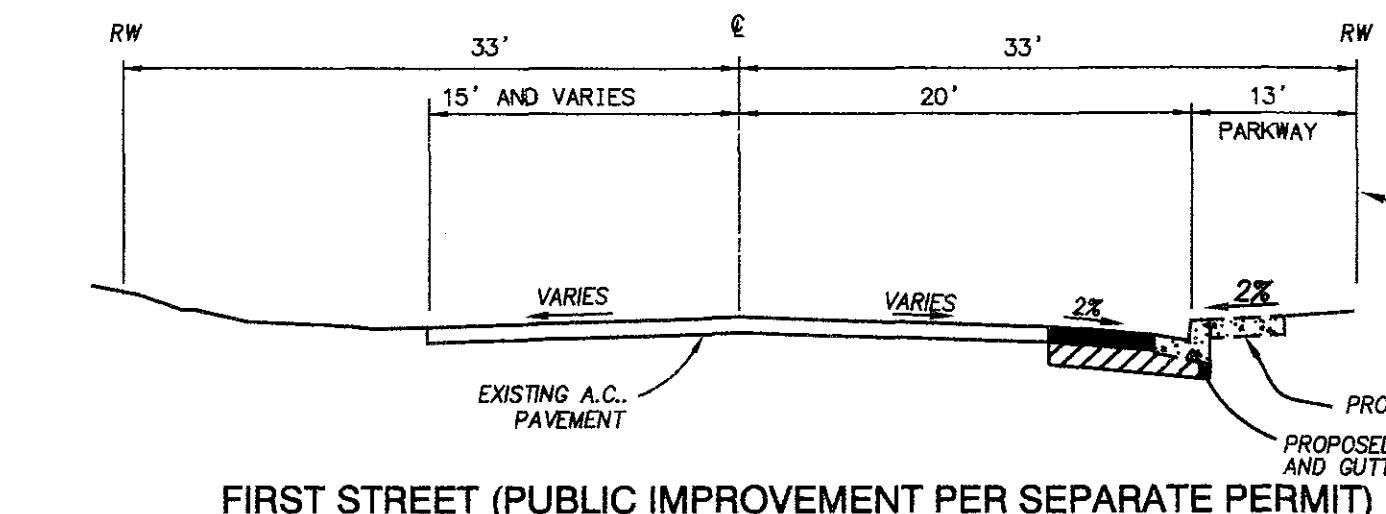
DETAIL 2: PEDESTRIAN RAMP TO SIDEWALK TRANSITION NOT TO SCALE



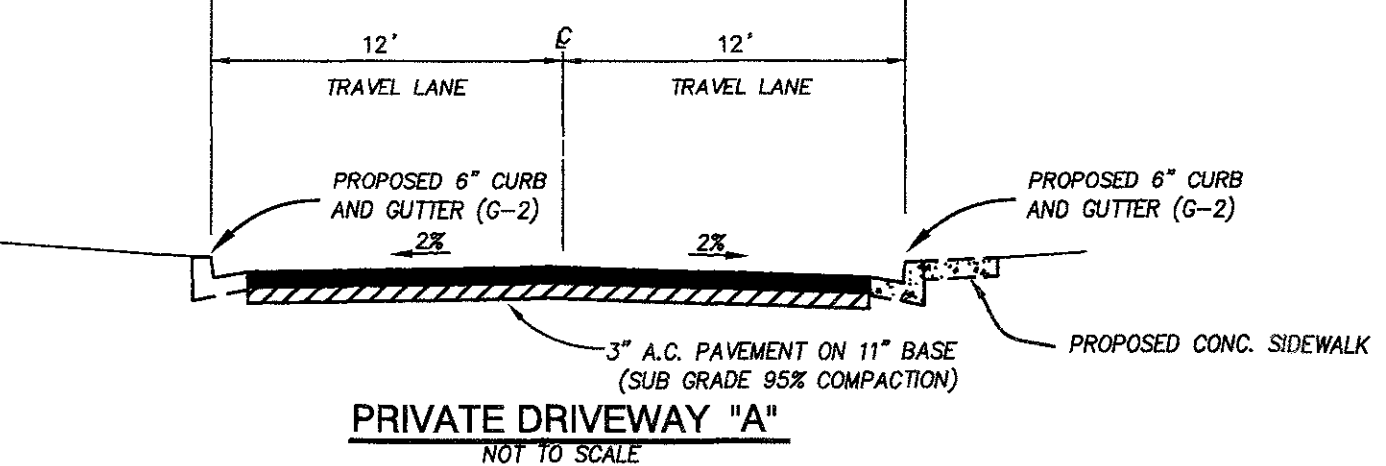
DETAIL 1: PEDESTRIAN RAMP TO SIDEWALK TRANSITION NOT TO SCALE



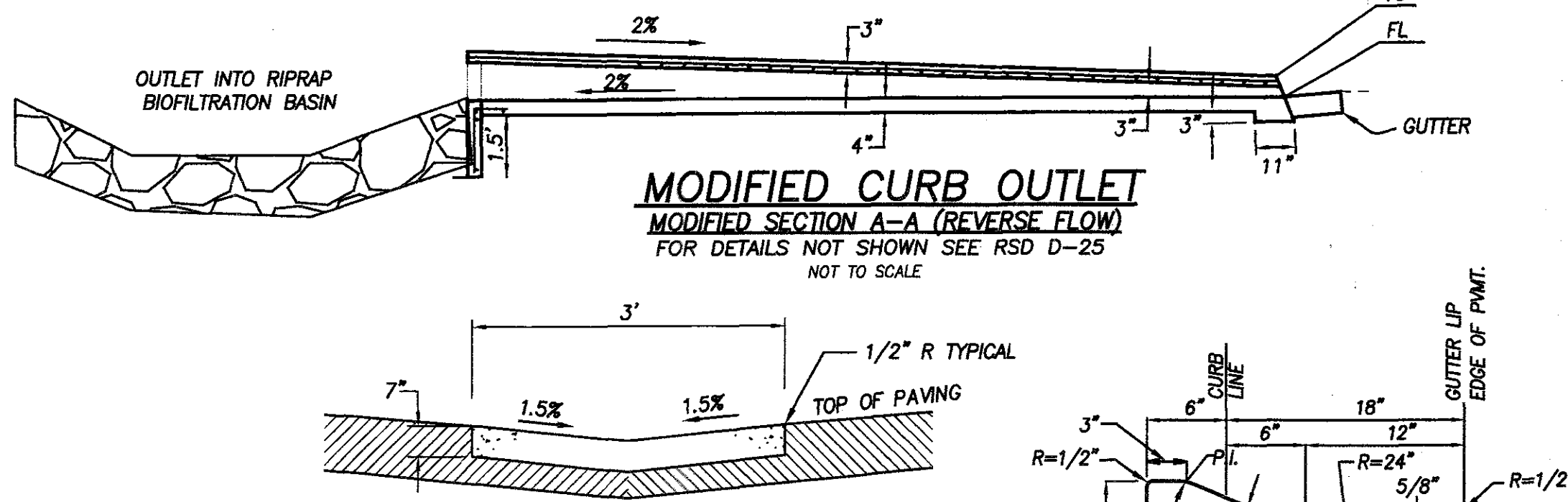
CONCRETE SPLASH WALL N.T.S.



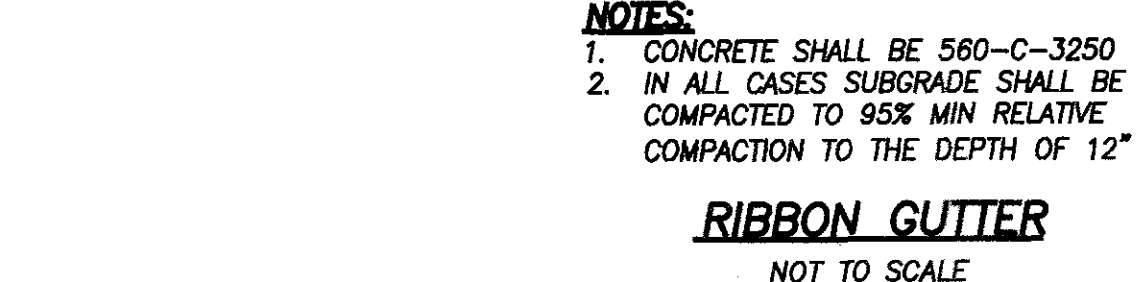
FIRST STREET (PUBLIC IMPROVEMENT PER SEPARATE PERMIT)



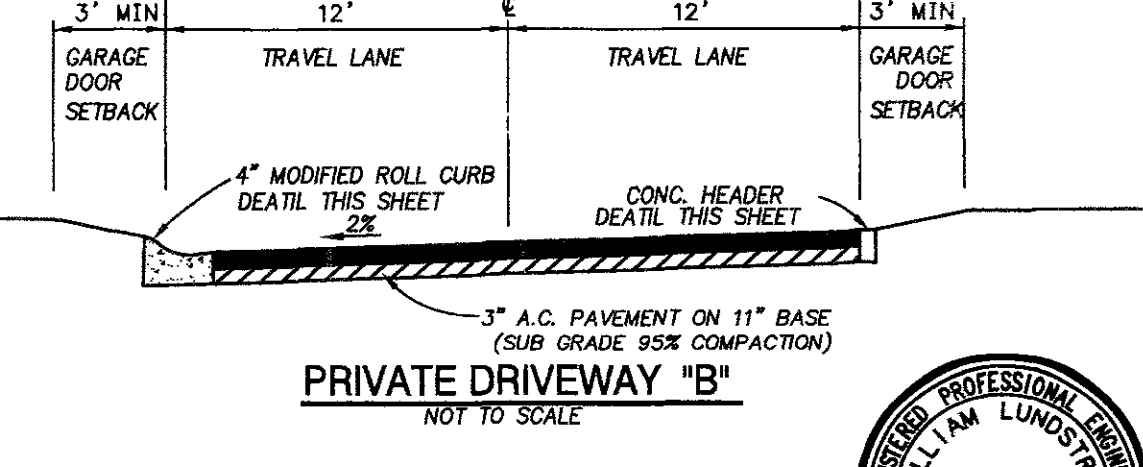
PRIVATE DRIVEWAY 'A' NOT TO SCALE



MODIFIED CURB OUTLET MODIFIED SECTION A-A (REVERSE FLOW) FOR DETAILS NOT SHOWN SEE RSD D-25 NOT TO SCALE



RIBBON GUTTER NOT TO SCALE



PRIVATE DRIVEWAY 'B' NOT TO SCALE

ABBREVIATIONS

- TC TOP OF CURB
TH TOP OF HEADER
RC TOP OF ROLLED CURB
FL FLOW LINE
BC BEGIN OF CURVE
EC END OF CURVE
BVC BEGIN VERTICAL CURVE
EVC END VERTICAL CURVE
PCR POINT OF CURB RETURN
AC ASPHALT CONCRETE
PCC PORTLAND CEMENT CONCRETE
PP POWER POLE
TP TELEPHONE POLE
ST. LT. STREET LIGHT
FH FIRE HYDRANT
PL PROPERTY LINE
CL CENTER LINE
CB CATCH BASIN
CI CURB INLET
SD STORM DRAIN
PVTSCO SEWER CLEANOUT
CF CURB FACE
IE INVERT ELEVATION
PVC POLY VINYL CHLORIDE
ROS RECORD OF SURVEY
EPA ENVIRONMENTAL PROTECTION AGENCY
AB AGGREGATE BASE
RCP REINFORCED CONCRETE PIPE
GB GRADE BREAK
TB THRUST BLOCK
GV GATE VALVE
HDPE HIGH DENSITY POLYETHYLENE
PVTSL PRIVATE SEWER LATERAL

NOTES:
1. CONCRETE SHALL BE 500-C-3250
2. IN ALL CASES SUBGRADE SHALL BE COMPACTED TO 95% MIN RELATIVE COMPACTION TO THE DEPTH OF 12"

Table with columns: RECORD PLAN, COUNTY APPROVED CHANGES, BENCHMARK. Includes fields for NAME, R.C.E., DATE, NO., DESCRIPTION, APPROVED BY, DATE, DESCRIPTION, LOCATION, RECORD FROM, ELEVATION, DATUM.

Table with columns: BENCHMARK, COUNTY APPROVED CHANGES. Includes fields for DESCRIPTION, LOCATION, RECORD FROM, ELEVATION, DATUM.

PRIVATE CONTRACT form for County of San Diego, Department of Public Works. Includes project address (1140 North First Street), engineer information (William P. Morgan), and permit details.

EMERGENCY EROSION CONTROL MEASURES NOTES:

- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF THE SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. BETWEEN OCTOBER 1 AND APRIL 15, APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- THE DEVELOPER SHALL MAINTAIN THE PLANTING AND EROSION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF SAME BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REMOVE ALL SOIL INTERCEPTED BY THE GRAVEL BAGS, CATCH BASINS AND DESILTING BASINS AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.

SILTATION AND SEDIMENT CONTROL NOTES:

- THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEANED TO DESIGN CONTOURS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL ESTABLISHED ON ALL ERODIBLE SLOPES.
- SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE COUNTY ENGINEER.
- SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH GRAVEL BAGS FROM TOP OF PIPE TO TOP OF DIKE.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF GRAVEL BAGS WITH TOP ELEVATION LEVEL WITH, AND TWO GRAVEL BAGS BELOW, THE GRADED SURFACE OF THE STREET. GRAVEL BAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN GRAVEL BAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- AFTER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
- ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET
- PROVIDE VELOCITY CHECK DAMS IN ALL STREET AREAS ACCORDING TO INTERVALS INDICATED BELOW. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE COUNTY ENGINEER, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. VELOCITY CHECK DAMS MAY ALSO SERVE AS SEDIMENT TRAPS.

GRADE OF STREET	INTERVAL	NUMBER OF BAGS HIGH
LESS THAN 2%	AS REQUIRED, 200' MAX.	1
2% TO 4%	100 FEET	1
4% TO 6%	50 FEET	2
6% TO 10%	50 FEET	2
OVER 10%	25 FEET	2

- PROVIDE A GRAVEL BAG SILT BASIN OR TRAP BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.
- GRAVEL BAGS AND FILL MATERIAL SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.
- ALL EROSION CONTROL DEVICES IN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RUNOFF PRODUCING STORM. IF POSSIBLE, MAINTENANCE CREWS WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.
- PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE THE EROSION CAUSED BY THE INCREASED FLOWS THAT MAY BE ANTICIPATED FROM DENUDED SLOPES, OR FROM IMPERVIOUS SURFACES.
- ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE AGENCIES; I.E., COUNTY ENGINEER, DEPARTMENT OF ENVIRONMENTAL HEALTH, FLOOD CONTROL AND OFFICE OF ENVIRONMENTAL MANAGEMENT ETC.

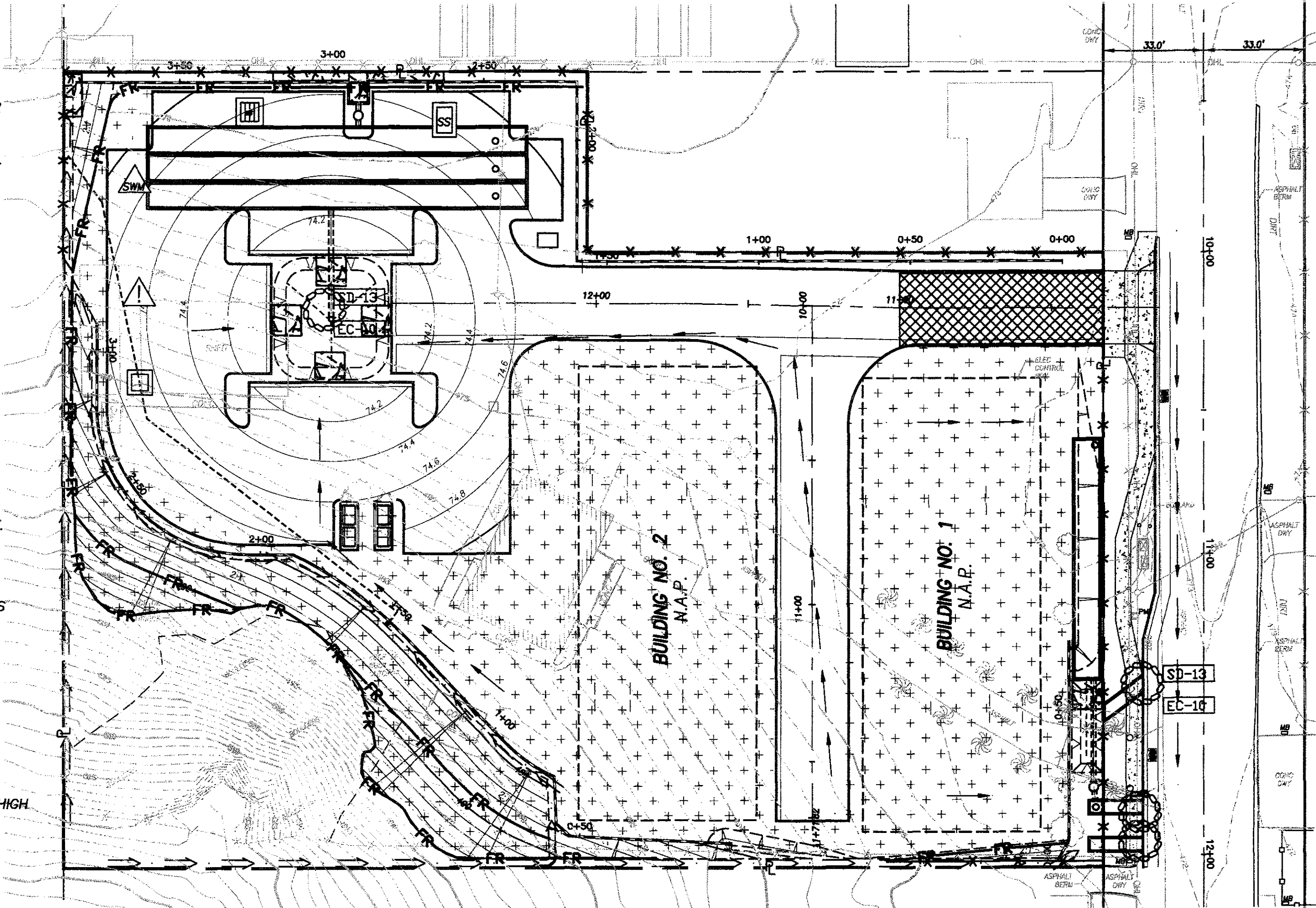
FLAT AREAS OF LESS THAN 5%:

FLAT AREAS OF LESS THAN 5% (LIKE BUILDING PADS, PARKING AREAS, LEACH FIELDS) SHALL HAVE 100% PROTECTION USING GEOTEXTILES, MATS (SS-7 OR ESC20), OR OTHER MATERIAL APPROVED BY THE COUNTY FOR STABILIZING SLOPES, OR USING TRACKING AND SOIL STABILIZERS/BINDERS (SS-5), TEMPORARY SEEDING (SS-4), MULCH/WOOD CHIPS (SS-3, SS-6, SS-8), OR JUTE MATTING (SS-7). THE COUNTY MAY REDUCE THIS REQUIREMENT FOR FLAT AREAS PROVIDED FULL SEDIMENT CONTROL IS PROVIDED THROUGH CONSTRUCTED AND MAINTAINED DESILTATION BASINS (SC-2) AT ALL PROJECT DISCHARGE POINTS.

BONDED FIBER MATRIX (BFM) NOTES:

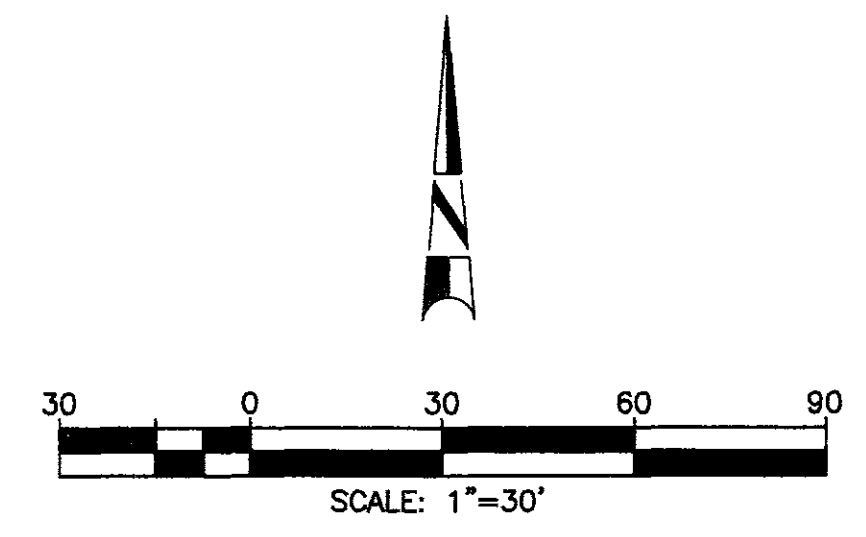
THE USE OF BFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

- APPLICATION RATES SHALL BE 3500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
- BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
- THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
- BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLICATION FROM MULTIPLE ANGLES).
- FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION.
- A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE BFM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE COUNTY INSPECTOR FOR APPROVAL.



BMP STENCIL PLACEMENT NOTES

- ALL STORM DRAIN INLETS AND CATCH BASINS WITHIN THE PROJECT AREA SHALL HAVE A STENCIL OR TILE PLACED WITH PROHIBITIVE LANGUAGE (SUCH AS: "NO DUMPING - I LIVE IN <<NAME RECEIVED WATER>>") AND/OR GRAPHICAL ICONS TO DISCOURAGE ILLEGAL DUMPING.
- SIGNS AND PROHIBITIVE LANGUAGE AND/OR GRAPHICAL ICONS, WHICH PROHIBIT ILLEGAL DUMPING, MUST BE POSTED AT PUBLIC ACCESS POINTS ALONG CHANNELS AND CREEKS WITHIN THE PROJECT AREA.
- LEGIBILITY OF STENCILS, TILES AND SIGNS MUST BE MAINTAINED AND TILES MUST BE PLACED FLUSH WITH THE TOP OF CONCRETE TO REDUCE TRIPPING BY PEDESTRIANS.



BMP LEGEND

- PDS 659
- DIRECTION OF LOT DRAINAGE
- TEMPORARY RUNOFF CONTROL BMPs**
- SS-3 BONDED OR STABILIZED FIBER MATRIX (WINTER)
 - SC-5 FIBER ROLLS
 - SC-1 SILT FENCE
 - SC-10 STORM DRAIN INLET PROTECTION
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
 - SC-7 STREET SWEEPING AND VACUUMING
- PERMANENT BMPs**
- SD-13 STORM DRAIN STENCILING AND POSTING OF SIGNAGE
 - EC-10 OUTLET PROTECTION
- MATERIALS AND WASTE MANAGEMENT BMPs**
- VM-1 MATERIAL DELIVERY & STORAGE
 - VM-9 SANITARY WASTE MANAGEMENT
 - VM-5 SOLID WASTE MANAGEMENT
 - VM-6 HAZARDOUS WASTE MANAGEMENT
 - VM-8 CONCRETE WASTE MANAGEMENT

POST-CONSTRUCTION BMP NOTES

- PROVIDE STORM DRAIN STENCILING OR SIGNAGE FOR ONSITE STORM DRAIN INLETS.
- PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL.
- PROVIDE FUTURE INDOOR AND STRUCTURAL PEST CONTROL.
- ALLOW FOR LANDSCAPE/OUTDOOR PESTICIDE USE.
- PROVIDE SWEEPING OF PLAZAS, SIDEWALKS, DRIVEWAYS AND PARKING LOTS.
- MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES.
- CONSERVE NATURAL AREAS, SOILS, AND VEGETATION.
- MINIMIZE IMPERVIOUS AREA AND SOIL COMPACTION.
- DRAIN ROOFTOPS, IMPERVIOUS PARKING LOTS, SIDEWALKS, WALKWAYS, TRAILS AND PATIOS INTO ADJACENT LANDSCAPE AREAS.
- PROVIDE AREA DRAINS FOR RUNOFF COLLECTION.



NOTE:
PROPOSED SEWER, WATER AND FIRE PER PRIVATE IMPROVEMENT PLAN NO. PDS2016-LDPIIP-60101



RECORD PLAN		COUNTY APPROVED CHANGES		BENCHMARK	
NAME:	DATE:	NO.	DESCRIPTION	APPROVED BY	DATE

PRIVATE CONTRACT

SHEET 4 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS SHEET 11

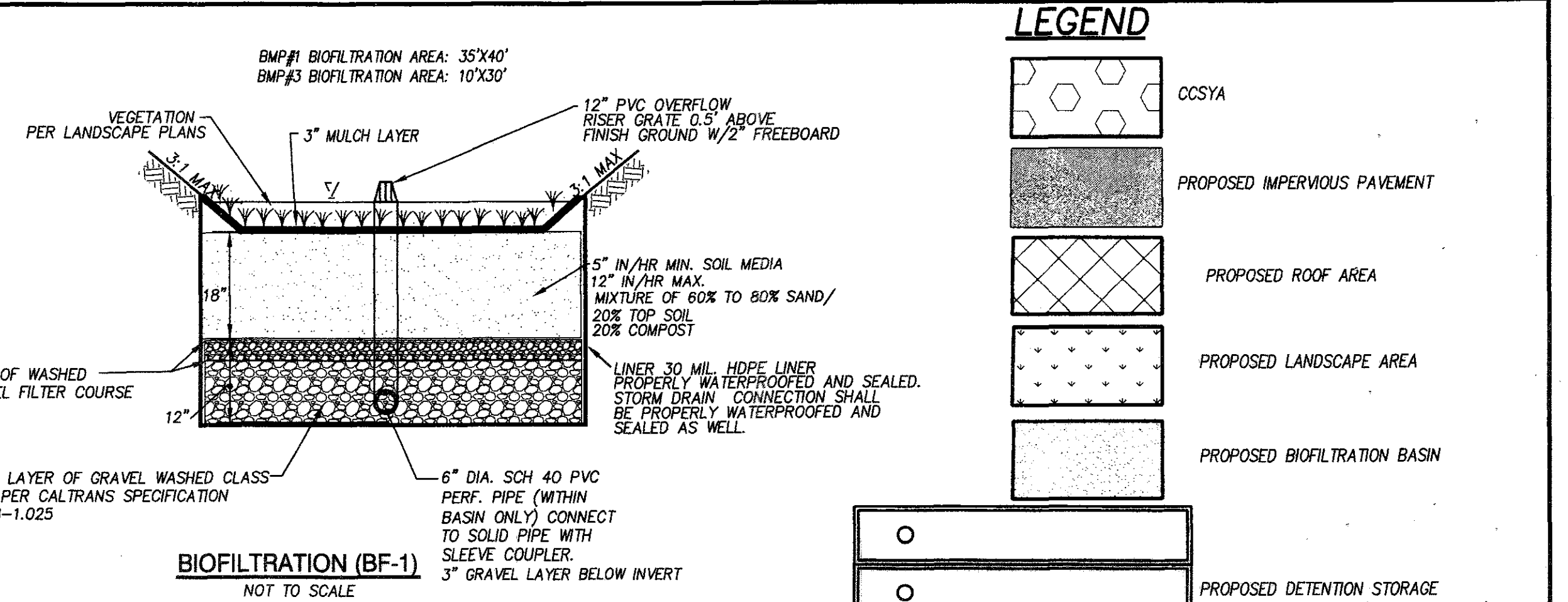
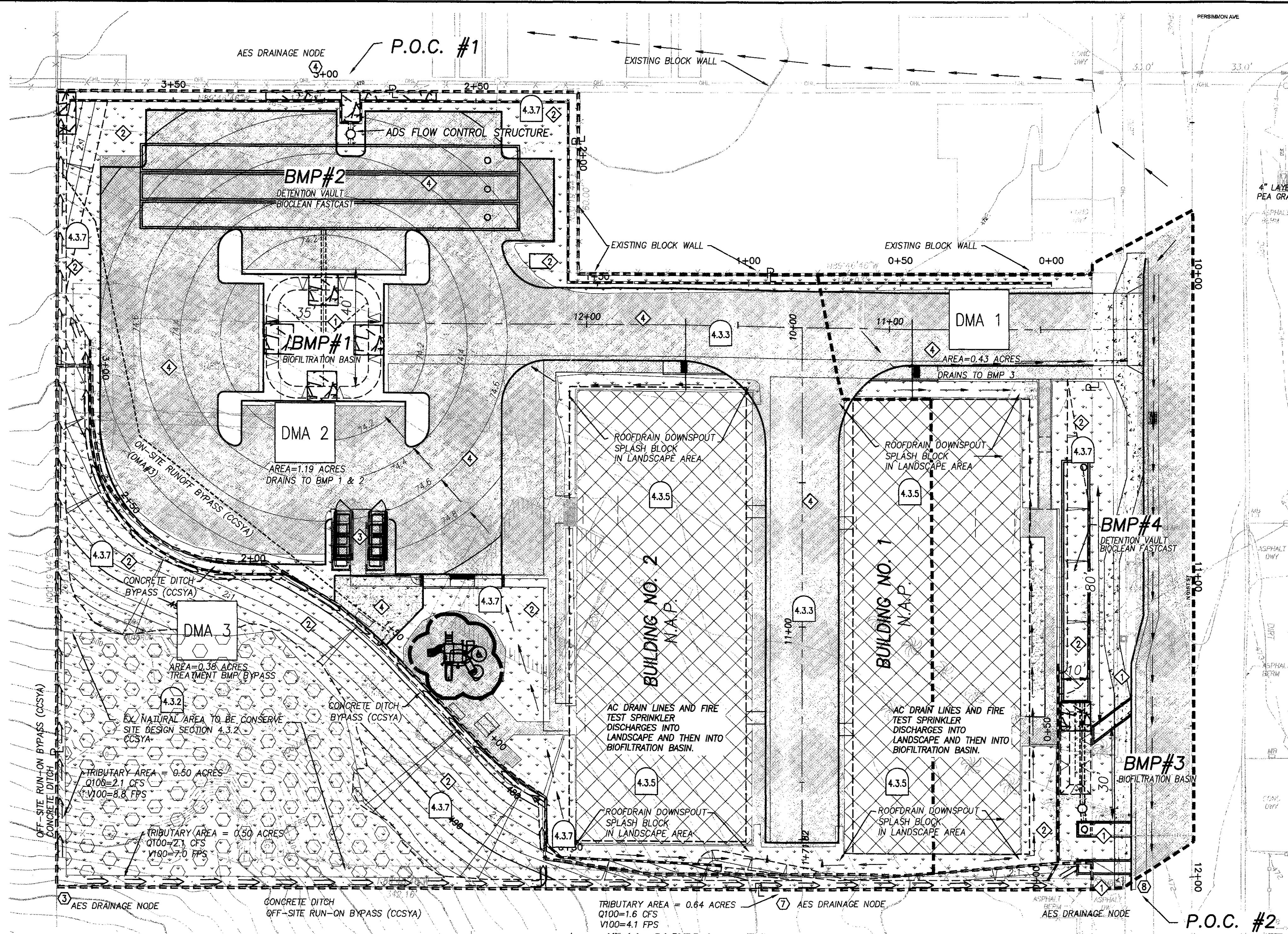
EROSION CONTROL NOTES AND PLANS FOR:
1140 NORTH FIRST STREET
EL CAJON, CA 92021
CALIFORNIA COORDINATE INDEX 234-1785

APPROVED FOR: COUNTY ENGINEER WILLIAM P. LUNDSTROM
ENGINEER OF WORK: WILLIAM LUNDSTROM
EXP. 6-30-23 R.C.E. 61630

BY: [Signature] DATE: 5/5/2022
GRADING PERMIT NO. PDS2020-LDGRM-30268

Lundstrom
Engineering and Surveying, Inc.
5333 Mission Center Road, #115 • San Diego, CA 92108
Phone (619) 814-1220 • Fax (619) 641-5910

ENGINEER'S NAME: LUNDSTROM ENGINEERING & SURVEYING

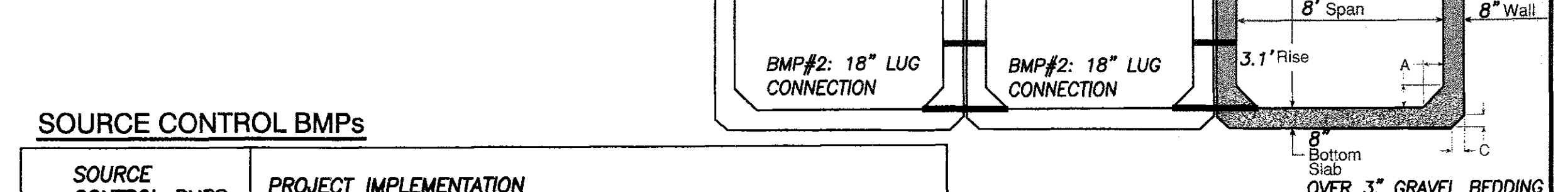


LEGEND

- CCSYA
- PROPOSED IMPERVIOUS PAVEMENT
- PROPOSED ROOF AREA
- PROPOSED LANDSCAPE AREA
- PROPOSED BIOFILTRATION BASIN
- PROPOSED DETENTION STORAGE BIOCLEAN FASTCAST (OR EQUIVALENT)

SITE DESIGN BMPs

- 4.3.2 CONSERVE NATURAL AREAS WITHIN THE PROJECT FOOTPRINT INCLUDING EXISTING TREES, OTHER VEGETATION AND SOILS.
- 4.3.3 MINIMIZE IMPERVIOUS AREA: RESIDENTIAL STREETS ARE AT THE MINIMUM REQUIRED WIDTH PER COUNTY STANDARDS.
- 4.3.4 MINIMIZE SOIL COMPACTION: RE-TILL SOILS COMPACTED BY CONSTRUCTION VEHICLES. COLLECT AND RE-USE UPPER SOIL LAYERS DEVELOPMENT SITE CONTAINING ORGANIC AND ROOF DRAIN DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH BLOCKS AND FLOW THROUGH ADJACENT LANDSCAPE AREA BEFORE ENTERING BIOFILTRATION BASINS
- 4.3.7 LANDSCAPING WITH DROUGHT TOLERANT SPECIES



SOURCE CONTROL BMPs

SOURCE CONTROL BMPs	PROJECT IMPLEMENTATION
4.2.1 & 4.2.2 STORM DRAIN INLETS	MARK ALL INLETS WITH THE WORDS "NO DUMPING! DRAINS TO WATERWAYS" IN ENGLISH AND "NO CONTAMINE" IN SPANISH. MAINTAIN AND PERIODICALLY REPLACE INLET MARKINGS. SEE APPLICABLE OPERATIONAL BMPs IN CASQA FACT SHEET SC-44, "DRAINAGE SYSTEM MAINTENANCE."
4.2.6.E LANDSCAPE/OUTDOOR PESTICIDE USE	LANDSCAPE HAS BEEN DESIGNED PER CITY OF SAN DIEGO LANDSCAPE STANDARDS TO MINIMIZE IRRIGATION AND RUNOFF, AND TO MINIMIZE THE USE OF FERTILIZERS AND PESTICIDES THAT CAN CONTRIBUTE TO STORMWATER POLLUTION. SEE APPLICABLE BMPs IN CASQA FACT SHEETS SC-41, "BUILDING AND GROUNDS MAINTENANCE."
4.2.5 TRASH ENCLOSURES	STORAGE AREA IS PAVED WITH CONCRETE AND DESIGN NOT TO ALLOW RUN-ON FROM ADJOINING AREAS. WALLED AND CONTAINS A ROOF. SIGNS ON DUMPSTER WITH THE WORDS "DO NOT DUMP HAZARDOUS MATERIAL HERE" OR SIMILAR APPROVED BY COUNTY OF SAN DIEGO. SEE CASQA FACT SHEET SC-34, "WASTE HANDLING AND DISPOSAL." FLOOR DRAIN PLUMBED TO SANITARY SEWER
4.2.6.Q PLAZAS, SIDEWALKS, AND PARKING LOTS	PLAZAS, SIDEWALKS, AND PARKING LOTS SHALL BE SWEEPED REGULARLY AND ONCE PRIOR TO OCTOBER 1ST TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS. SEE CASQA FACT SHEET SC-41, "BUILDING AND GROUNDS MAINTENANCE."

CONSTRUCTION BMPs:
SEE EROSION CONTROL PLANS IN SECTION 2.3 OF PROJECTS PDP_SWQMP

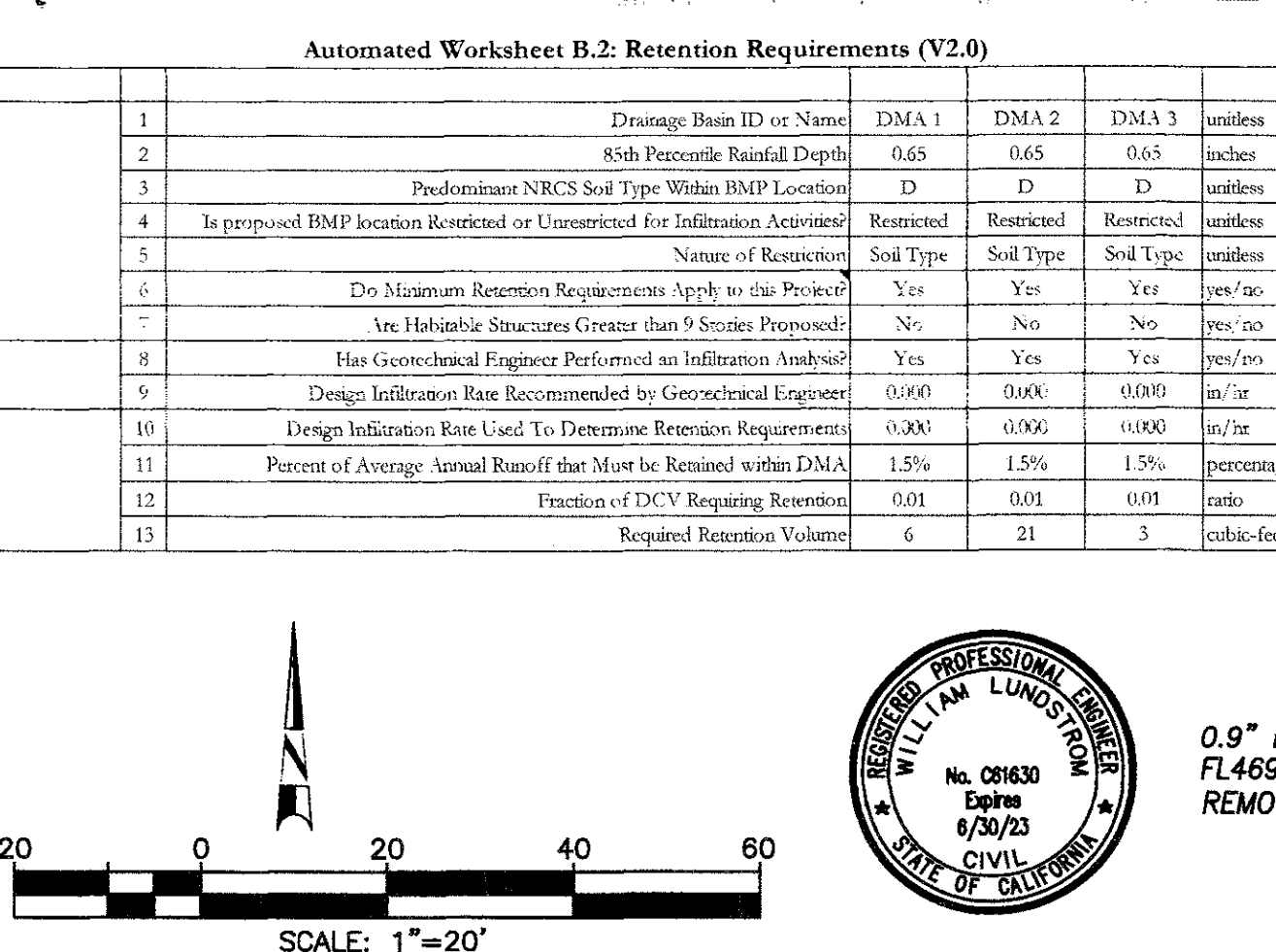
DEMOLISHING NOTE:
EXISTING BUILDING STRUCTURES AND PAVEMENT TO BE DEMOLISHED AND REMOVED FROM SITE.

Automated Worksheet B.1: Calculation of Design Capture Volume (V2.0)

Item	DMA 1	DMA 2	DMA 3	Unitless
Drainage Basin ID or Name	01000	01000	01000	inches
85th Percentile 24-hr Storm Depth	0.65	0.65	0.65	inches
Impervious Surfaces Not Directed to Dispersion Area (C=0.90)	10,740	42,863		sq-ft
Semi-Permeable Surfaces Not Serving as Dispersion Area (C=0.30)				sq-ft
Engineered Permeable Surfaces Not Serving as Dispersion Area (C=0.10)	8,022	9,952		sq-ft
Natural Type A Soil Not Serving as Dispersion Area (C=0.14)				sq-ft
Natural Type B Soil Not Serving as Dispersion Area (C=0.14)				sq-ft
Natural Type C Soil Not Serving as Dispersion Area (C=0.23)				sq-ft
Natural Type D Soil Not Serving as Dispersion Area (C=0.30)			16,475	sq-ft
Does Tributary Incorporate Dispersion, Tree Wells, and/or Rain Barrels?	No	No	No	yes/no
Impervious Surfaces Directed to Dispersion Area per SD-B (C=0.96)				sq-ft
Semi-Permeable Surfaces Serving as Dispersion Area per SD-B (C=0.30)				sq-ft
Engineered Permeable Surfaces Serving as Dispersion Area per SD-B (C=0.10)				sq-ft
Natural Type A Soil Serving as Dispersion Area per SD-B (C=0.14)				sq-ft
Natural Type B Soil Serving as Dispersion Area per SD-B (C=0.14)				sq-ft
Natural Type C Soil Serving as Dispersion Area per SD-B (C=0.23)				sq-ft
Natural Type D Soil Serving as Dispersion Area per SD-B (C=0.30)				sq-ft
Number of Tree Wells Proposed per SD-A				#
Average Mature Tree Canopy Diameter				ft
Number of Rain Barrels Proposed per SD-E				#
Average Rain Barrel Size				gal
Total Tributary Area	18,762	51,915	16,475	sq-ft
Initial Runoff Factor for Standard Drainage Areas	0.56	0.76	0.30	unitless
Initial Runoff Factor for Dispersed & Dispersion Areas	0.09	0.00	0.00	unitless
Initial Weighted Runoff Factor	0.56	0.76	0.30	unitless
Initial Design Capture Volume	309	2,137	268	cubic-feet
Total Impervious Area Dispersed to Pervious Surface	0	0	0	sq-ft
Total Pervious Dispersion Area	0	0	0	sq-ft
Ratio of Dispersed Impervious Area to Pervious Dispersion Area	n/a	n/a	n/a	ratio
Adjusted Runoff Factor for Dispersed & Dispersion Areas	1.00	1.00	1.00	ratio
Runoff Factor After Dispersion Techniques	0.56	0.76	0.30	unitless
Design Capture Volume After Dispersion Techniques	509	2,137	268	cubic-feet
Total Tree Well Volume Reduction	0	0	0	cubic-feet
Total Rain Barrel Volume Reduction	0	0	0	cubic-feet
Final Adjusted Runoff Factor	0.56	0.76	0.30	unitless
Final Effective Tributary Area	10,507	39,455	4,943	sq-ft
Initial Design Capture Volume Retained by Site Design Elements	0	0	0	cubic-feet
Final Design Capture Volume Tributary to BMP	509	2,137	268	cubic-feet

Automated Worksheet B.2: Retention Requirements (V2.0)

Item	DMA 1	DMA 2	DMA 3	Unitless
Drainage Basin ID or Name	01000	01000	01000	inches
Design Capture Volume Tributary to BMP	509	2,137	268	cubic-feet
Is BMP Vegetated or Unvegetated?	Vegetated	Vegetated	Vegetated	unitless
Is BMP Imperviously Lined or Unlined?	Unlined	Unlined	Unlined	unitless
Does BMP Have an Underdrain?	Standard	Standard	Standard	unitless
Does BMP Utilize Standard or Specialized Media?	Standard	Standard	Standard	unitless
Provided Surface Area	330	1,200	300	sq-ft
Provided Surface Porosity Depth	6	6	6	inches
Provided Soil Media Thickness	18	18	18	inches
Provided Gravel Thickness (Total Thickness)	12	15	12	inches
Underdrain Offset	3	3	3	inches
Diameter of Underdrain or Historical Underdrain Smallest	6.00	6.00	6.00	inches
Specialized Soil Media (Filter on Base)				unitless
Specialized Soil Media Pore Space for Retention				unitless
Specialized Soil Media Pore Space for Biofiltration				unitless
Specialized Gravel Media Pore Space				unitless
Volume Infiltrated Over 6 Hour Storm	0	0	0	cubic-feet
Ponding Pore Space Available for Retention	0.00	0.00	0.00	unitless
Soil Media Pore Space Available for Retention	0.05	0.05	0.05	unitless
Gravel Pore Space Available for Retention (Below Underdrain)	0.00	0.00	0.00	unitless
Gravel Pore Space Available for Retention (Above Underdrain)	0.40	0.40	0.40	unitless
Effective Retention Depth	2.10	2.10	2.10	inches
Fraction of DCV Retained Independent of Draw-down Time	0.11	0.11	0.11	ratio
Calculated Retention Storage Draw-down Time	1.20	1.20	1.20	hours
Efficiency of Retention Processes	0.13	0.12	0.12	ratio
Volume Retained by BMP (Consider Draw-down Time)	74	258	328	cubic-feet
Design Capture Volume Retained by Biofiltration	509	1,879	268	cubic-feet
Max Hydraulic Flow Rate through Underdrain	1,498	1,498	1,498	cfs
Max Soil Filtration Rate Allowed by Underdrain Orifice	184.51	53.81	171.70	in/hr
Soil Media Filtration Rate per Specification	5.00	5.00	5.00	in/hr
Soil Media Filtration Rate to be Used for Storm	5.00	5.00	5.00	in/hr
Depth Biofiltrated Over 6 Hour Storm	30.00	30.00	30.00	inches
Ponding Pore Space Available for Biofiltration	1.00	1.00	1.00	unitless
Soil Media Pore Space Available for Biofiltration	0.20	0.20	0.20	unitless
Gravel Pore Space Available for Biofiltration (Above Underdrain)	0.40	0.40	0.40	unitless
Effective Depth of Biofiltration Storage	13.20	13.20	13.20	inches
Drawdown Time for Surface Ponding	7	7	7	hours
Drawdown Time for Effective Biofiltration Storage	5	5	5	hours
Total Depth Biofiltrated	43.20	43.20	43.20	inches
Options 1 - Biofilter 150 DCV, Filter Volume	742	2,818	358	cubic-feet
Options 1 - Biofilter 150 DCV, Filter Volume	62	2,818	358	cubic-feet
Options 2 - Stone 0.5 DCV, Filter Volume	371	1,429	182	cubic-feet
Options 2 - Stone 0.5 DCV, Filter Volume	371	1,320	165	cubic-feet
Options 2 - Stone 0.5 DCV, Filter Volume	100	100	100	ratio
Do Site Design Elements and BMPs Satisfy Annual Retention Requirements	Yes	Yes	Yes	yes/no
Overall Portion of Performance Standard Satisfied (BMP Efficiency Factor)	1.00	1.00	1.00	ratio
Deficit of Effectively Treated Stormwater	0	0	0	cubic-feet



RECORD PLAN

NAME: _____
R.C.E. _____
DATE: _____

COUNTY APPROVED CHANGES

NO.	DESCRIPTION	APPROVED BY	DATE

BENCHMARK

DESCRIPTION: SURVEY CONTROL MONUMENT NO. 889 AS SHOWN ON RECORD OF SURVEY MAP NO. 14492
LOCATION: O/S CENTER HACIENDA DR. & FLYING HILLS LN.
ELEVATION: 793.90
DATUM: NAVD-88

ADS NYLOPAST WATER CONTROL STRUCTURE - BMP#4 OUTLET

48" ADS CO RIM 472.00
24" RISER OVERFLOW TOP 472.00
18" HOPE VAULT INFLOW
18" HOPE VAULT OUTFLOW
24" RISER OVERFLOW TOP 472.25
CMU RETAINING WALL
0.9" DIA. HOPE FL
18" HOPE VAULT INFLOW
18" HOPE VAULT OUTFLOW
D-40 RIPRAP
ADS NYLOPAST WATER CONTROL STRUCTURE - BMP#2 OUTLET

48" ADS CO RIM 472.00
24" RISER OVERFLOW TOP 468.00
18" HOPE VAULT INFLOW
18" HOPE VAULT OUTFLOW
2-2" PVC PUMP OUTLET
SUMP PUMP DUAL (2) ZOLLER 153 SERIES (OR EQUAL)
TYPE M G.O. SUMP OUTLET
N.T.S.

PRIVATE CONTRACT

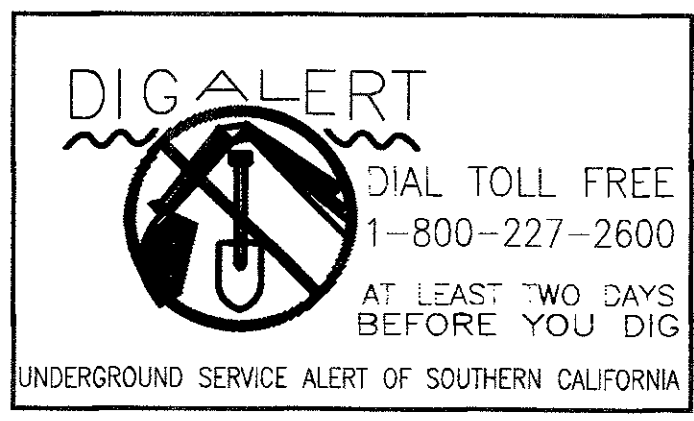
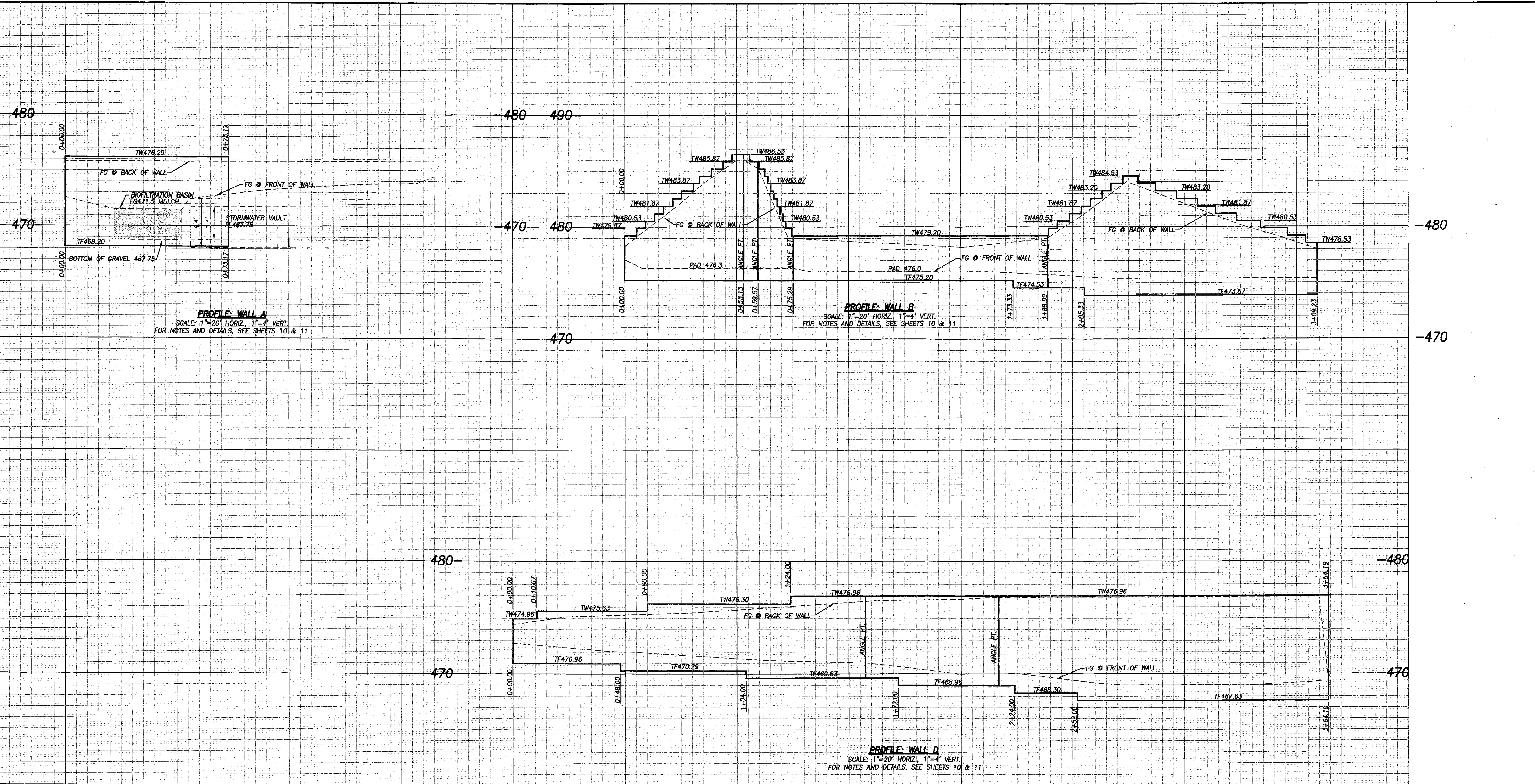
SHEET 5 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 11 SHEET

POST CONSTRUCTION BMP PLAN FOR:
**1140 NORTH FIRST STREET
EL CAJON, CA 92021**
CALIFORNIA COORDINATE INDEX 234-1785

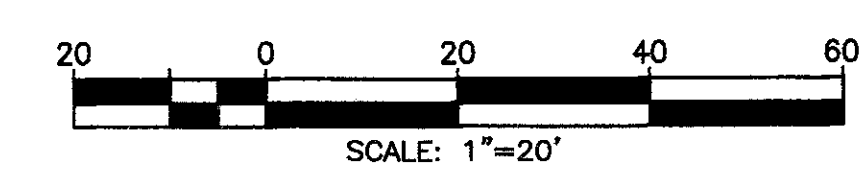
APPROVED FOR: COUNTY ENGINEER WILLIAM P. MORGAN
ENGINEER OF WORK: WILLIAM LINDSTROM
DATE: 5/17/2022

GRADING PERMIT NO. PDS2020-LDRM-30288

RMB21093



RECORD PLAN		COUNTY APPROVED CHANGES		BENCHMARK	
NO.	DESCRIPTION	APPROVED BY	DATE	DESCRIPTION	DATE
				SURVEY CONTROL MONUMENT NO. 899 AS SHOWN ON RECORD OF SURVEY MAP NO. 14492	
				LOCATION: O/S CENTER HACIENDA DR. & FLYING HILLS LN.	
				RECORD FROM: COUNTY OF SAN DIEGO	
				ELEVATION: 793.90 DATUM: NAVD-88	



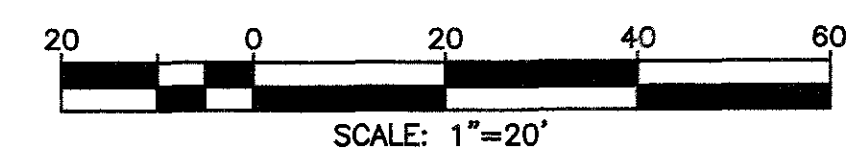
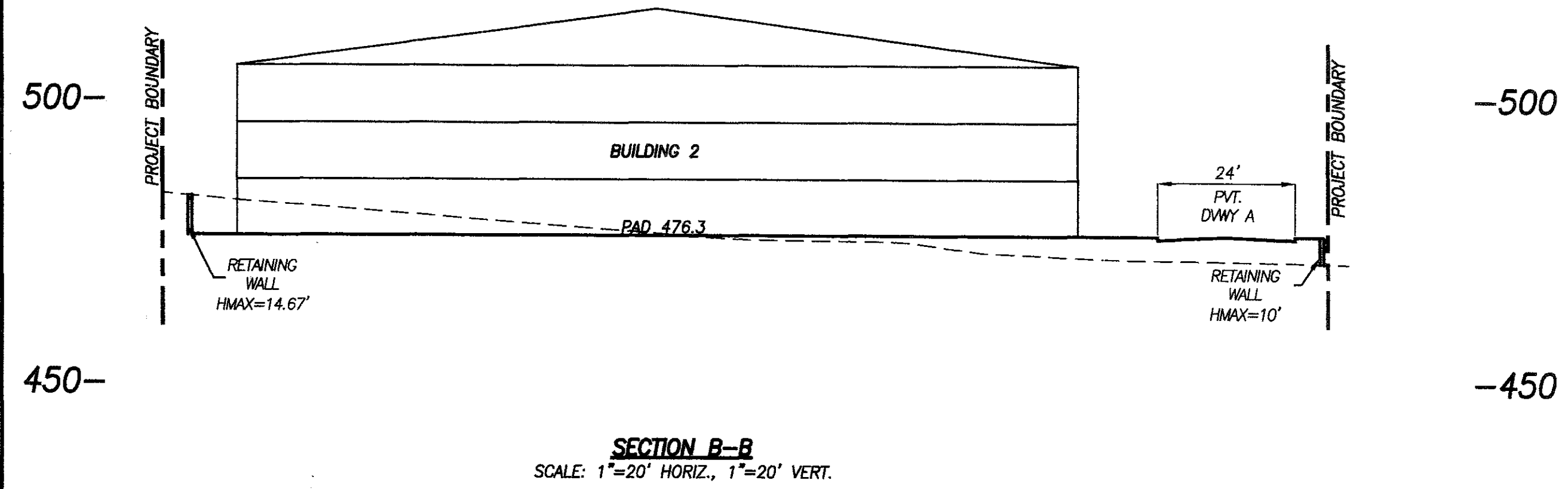
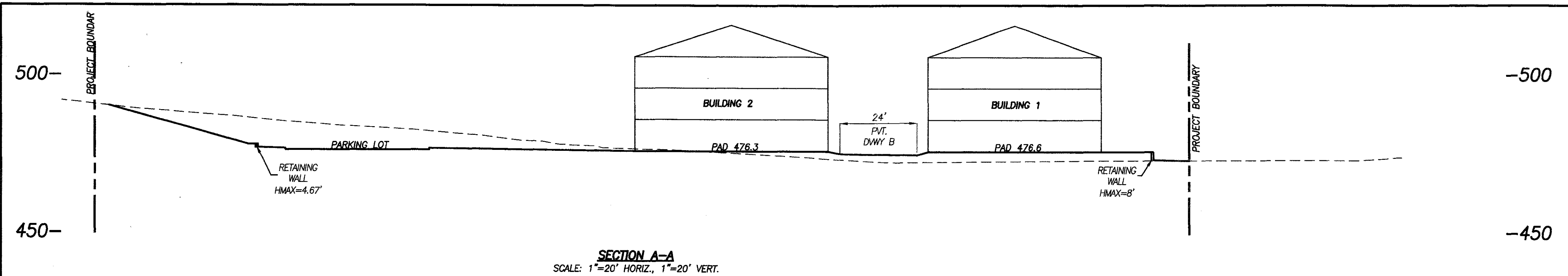
PRIVATE CONTRACT

SHEET 6 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS SHEET 11

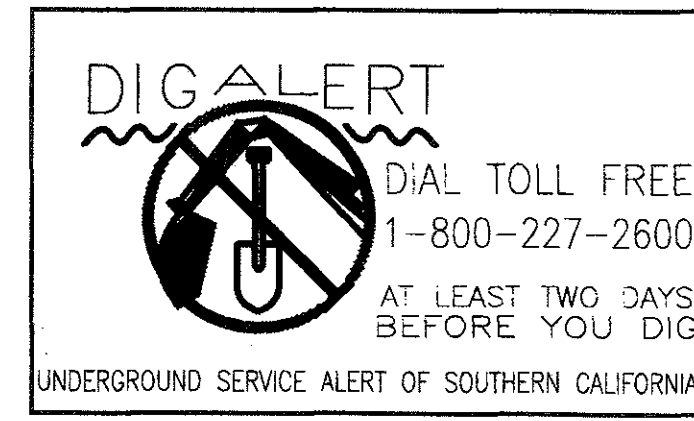
WALL PROFILES FOR:
**1140 NORTH FIRST STREET
EL CAJON, CA 92021**
CALIFORNIA COORDINATE INDEX 234-1785

APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER
BY: *[Signature]* DATE: 5/15/2022

ENGINEER OF WORK: WILLIAM LUNDSTROM
EXP. 6-30-23 R.C.E. 01630
GRADING PERMIT NO. PDS2020-LDRFMJ-30268



Lundstrom
Engineering and Surveying, Inc.
5333 Mission Center Road, #115 • San Diego, CA 92108
Phone (619) 814-1220 • Fax (619) 641-5910



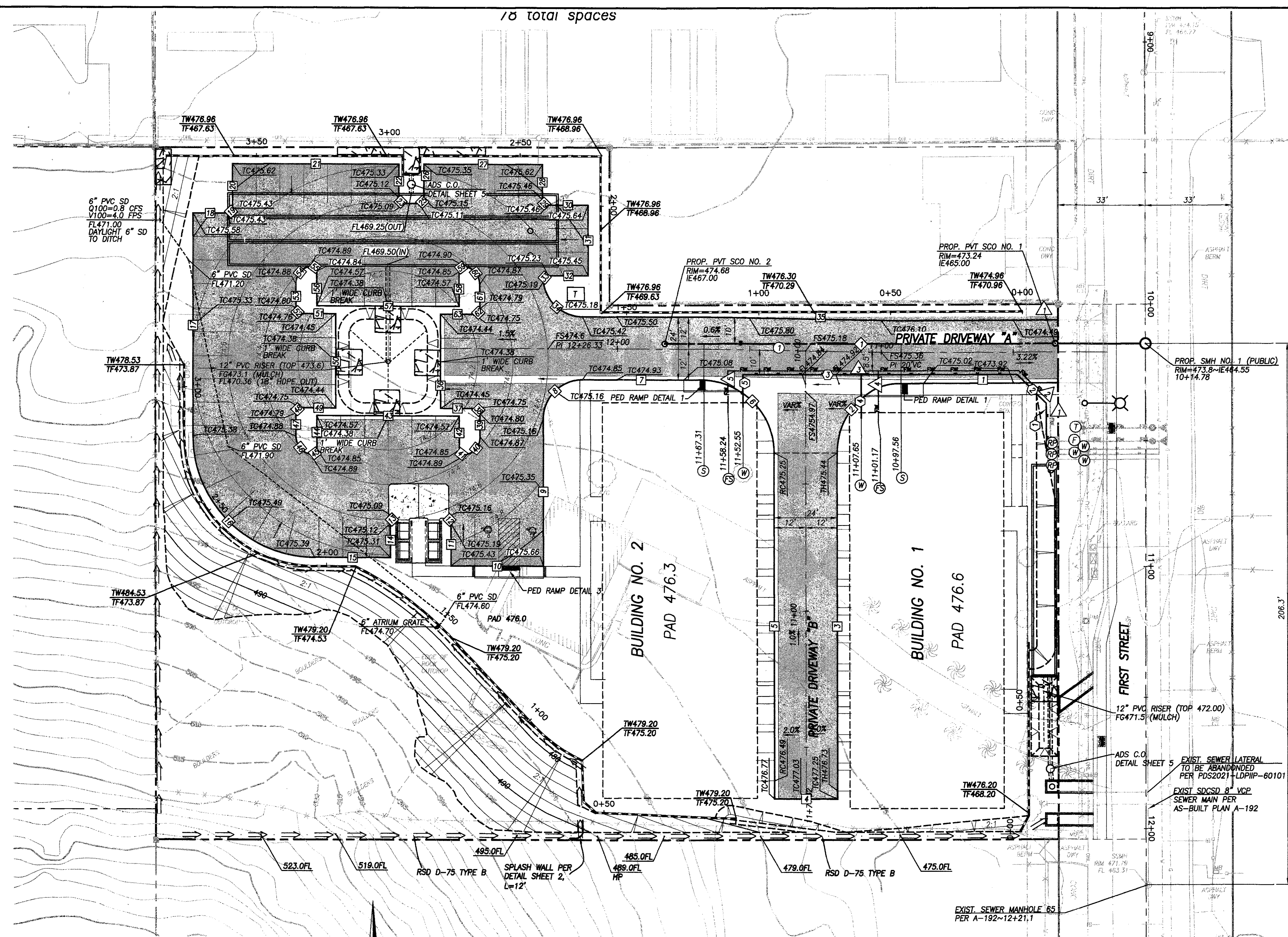
RECORD PLAN	COUNTY APPROVED CHANGES	BENCHMARK		
NO.	DESCRIPTION	APPROVED BY	DATE	DESCRIPTION

DESCRIPTION: SURVEY CONTROL MONUMENT NO. 899 AS SHOWN ON RECORD OF SURVEY MAP NO. 14492
 LOCATION: O/S CENTER HACIENDA DR. & FLYING HILLS LN.
 RECORD FROM: COUNTY OF SAN DIEGO
 ELEVATION: 793.90 DATUM: NAVD-88

PRIVATE CONTRACT		
SHEET 7	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	11 SHEET
CROSS SECTIONS FOR: 1140 NORTH FIRST STREET EL CAJON, CA 92021 CALIFORNIA COORDINATE INDEX 234-1785		
APPROVED FOR: COUNTY ENGINEER	WILLIAM P. MORGAN	ENGINEER OF WORK: WILLIAM LUNDSTROM
BY: <i>[Signature]</i>	5/5/2022	EXP: 8-30-23 R.C.E. 01830
GRADING PERMIT NO. PDS2020-LOGRIM-30288		DATE: 5/5/2022

ENGINEER'S NAME: LUNDSTROM ENGINEERING & SURVEYING PHONE NO. (619) 814-1220

75 total spaces



NOTE:
PUBLIC IMPROVEMENT PLANS PER
PDS2021-LDPIP-60101

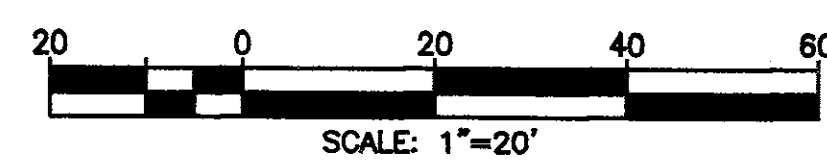
CURB DATA				
NO	BEARING/Delta	RADIUS	LENGTH	NOTE
1	N89°40'13"W	---	57.09	6" CURB AND GUTTER
2	Δ=87°07'53"	28.08	42.70	6" CURB AND GUTTER
3	N00°19'27"E	---	131.82	CONCRETE HEADER
4	N89°40'15"W	---	1.31	6" CURB
5	N00°19'21"E	---	131.82	4" ROLLED CURB
6	Δ=88°59'35"	28.00	43.98	6" CURB AND GUTTER
7	N89°40'14"W	---	44.36	6" CURB AND GUTTER
8	Δ=90°00'00"	15.00	23.56	6" CURB
9	N00°19'44"E	---	56.21	6" CURB
10	N89°40'16"W	---	35.00	6" CURB
11	N00°19'44"E	---	16.00	6" CURB
12	Δ=90°00'00"	2.00	3.14	6" CURB
13	Δ=90°00'00"	2.00	3.14	6" CURB
14	N00°19'44"E	---	13.00	6" CURB
15	N89°40'16"W	---	28.63	6" CURB
16	Δ=90°00'00"	46.00	72.26	6" CURB
17	N00°19'44"E	---	85.00	6" CURB
18	N89°40'16"W	---	13.00	6" CURB
19	Δ=90°00'00"	2.00	3.14	6" CURB
20	N00°19'44"E	---	17.00	6" CURB
21	N89°40'16"W	---	63.00	6" CURB
22	N00°19'44"E	---	13.00	6" CURB
23	Δ=90°00'00"	2.00	3.14	6" CURB
24	N89°40'16"W	---	5.50	6" CURB
25	Δ=90°00'00"	2.00	3.14	6" CURB
26	N00°19'44"E	---	13.00	6" CURB
27	N89°40'16"W	---	45.00	6" CURB
28	N00°19'44"E	---	13.53	6" CURB
29	Δ=90°00'00"	2.00	3.14	6" CURB
30	N89°40'16"W	---	15.34	6" CURB
31	N00°19'44"E	---	27.00	6" CURB
32	N89°40'16"W	---	15.02	6" CURB
33	Δ=87°41'42"	2.00	3.41	6" CURB
34	Δ=82°18'15"	15.00	21.55	6" CURB
35	N89°40'16"W	---	180.18	6" CURB
36	N00°19'44"E	---	36.00	6" CURB AND GUTTER
37	N89°40'16"W	---	13.00	6" CURB
38	Δ=90°00'00"	2.00	3.14	6" CURB
39	N00°19'44"E	---	9.00	6" CURB
40	Δ=76°40'54"	7.00	9.37	6" CURB
41	Δ=103°19'06"	2.00	3.61	6" CURB
42	N00°19'44"E	---	12.87	6" CURB
43	N89°40'16"W	---	54.00	6" CURB AND GUTTER
44	N00°19'44"E	---	12.87	6" CURB
45	Δ=103°19'06"	2.00	3.61	6" CURB
46	Δ=76°40'54"	7.00	9.37	6" CURB
47	N00°19'44"E	---	9.00	6" CURB
48	Δ=90°00'00"	2.00	3.14	6" CURB
49	N89°40'16"W	---	13.00	6" CURB
50	N00°19'44"E	---	36.00	6" CURB AND GUTTER
51	N89°40'16"W	---	13.00	6" CURB
52	Δ=90°00'00"	2.00	3.14	6" CURB
53	N00°19'44"E	---	9.00	6" CURB
54	Δ=76°40'54"	7.00	9.37	6" CURB
55	Δ=103°19'06"	2.00	3.61	6" CURB
56	N00°19'44"E	---	12.87	6" CURB
57	N89°40'16"W	---	54.00	6" CURB AND GUTTER
58	N00°19'44"E	---	12.87	6" CURB
59	Δ=103°19'06"	2.00	3.61	6" CURB
60	Δ=76°40'54"	7.00	9.37	6" CURB
61	N00°19'44"E	---	9.00	6" CURB
62	Δ=90°00'00"	2.00	3.14	6" CURB

SEWER DATA (PRIVATE)				
NO	BEARING/Delta	RADIUS	LENGTH	NOTE
1	N89°40'14"W	---	147.96	6" PVT PVC SEWER MAIN

FIRE LINE DATA (PRIVATE)				
NO	BEARING/Delta	RADIUS	LENGTH	NOTE
1	N00°00'00"W	---	10.00	6" PVC
2	N45°00'00"E	---	16.96	6" PVC
3	N89°40'14"W	---	110.30	6" PVC
4	N00°19'46"E	---	20.73	4" PVC
5	N00°19'46"E	---	16.45	4" PVC

WATER DATA (PRIVATE)				
NO	BEARING/Delta	RADIUS	LENGTH	NOTE
1	N00°00'00"E	---	16.71	4" PVC
2	N44°20'27"W	---	11.10	4" PVC
3	N89°40'14"W	---	105.95	4" PVC
4	N00°19'46"E	---	14.65	2" PVC
5	N00°19'46"E	---	10.37	2" PVC

CENTERLINE DATA				
NO	BEARING/Delta	RADIUS	LENGTH	NOTE
1	N89°40'14"W	---	236.53'	



PLAN: NORTH FIRST STREET
SCALE: HORIZ. 1"=20'



RECORD PLAN	COUNTY APPROVED CHANGES	BENCHMARK
NAME: _____ R.C.E. _____ DATE: _____	NO. _____ DESCRIPTION _____ APPROVED BY _____ DATE _____	DESCRIPTION: SURVEY CONTROL MONUMENT NO. 899 AS SHOWN ON RECORD OF SURVEY MAP NO. 14492 LOCATION: O/S CENTER HACIENDA DR. & FLYING HILLS LN. RECORD FROM: COUNTY OF SAN DIEGO ELEVATION: 793.90 DATUM: NAVD-88

PRIVATE CONTRACT

SHEET 9 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 11 SHEET

GRADING & PRIVATE IMPROVEMENT PLANS FOR:

**1140 NORTH FIRST STREET
EL CAJON, CA 92021**

CALIFORNIA COORDINATE INDEX 234-1785

APPROVED FOR: COUNTY ENGINEER WILLIAM P. MORGAN
BY: [Signature] DATE: 5/5/2022

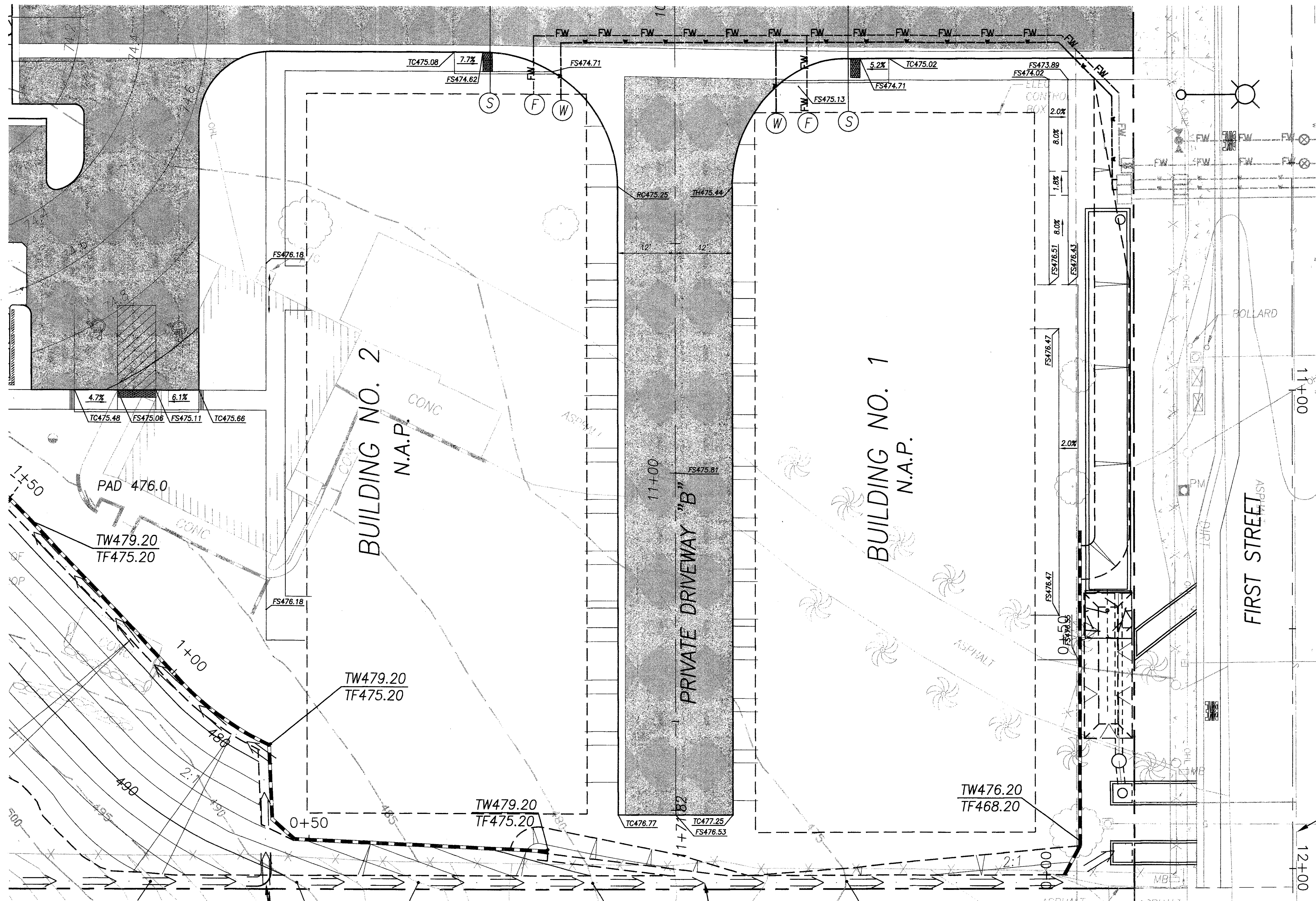
ENGINEER OF WORK: WILLIAM LUNDSTROM
EXP. 8-30-23 R.C.E. 01830
GRADING PERMIT NO. PDS2020-LDGRM-30269

Lundstrom
Engineering and Surveying, Inc.

5333 Mission Center Road, #115 • San Diego, CA 92108
Phone (619) 814-1220 • Fax (619) 641-5910

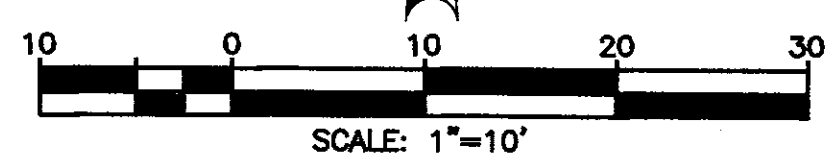
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ENGINEER'S NAME: LUNDSTROM ENGINEERING & SURVEYING PHONE NO. (619) 814-1220



NOTE:
PUBLIC IMPROVEMENT PLANS PER
PDS2021-LDPIIP-60101

PLAN: NORTH FIRST STREET
SCALE: HORIZ. 1"=10'



Lundstrom
Engineering and Surveying, Inc.
5333 Mission Center Road, #115 • San Diego, CA 92108
Phone (619) 814-1220 • Fax (619) 641-5910

RECORD PLAN		COUNTY APPROVED CHANGES		BENCHMARK	
NAME:		NO.:		DESCRIPTION:	SURVEY CONTROL MONUMENT NO. 899 AS SHOWN ON RECORD OF SURVEY MAP NO. 14492
R.C.E.:		APPROVED BY:		LOCATION:	O/S CENTER HACIENDA DR. & FLYING HILLS LN.
DATE:		DATE:		RECORD FROM:	COUNTY OF SAN DIEGO
				ELEVATION:	793.90 DATUM: NAVD-88

PRIVATE CONTRACT

SHEET 9 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS SHEET 11

GRADING & PRIVATE IMPROVEMENT PLANS FOR :

1140 NORTH FIRST STREET
EL CAJON, CA 92021

CALIFORNIA COORDINATE INDEX 234-1785

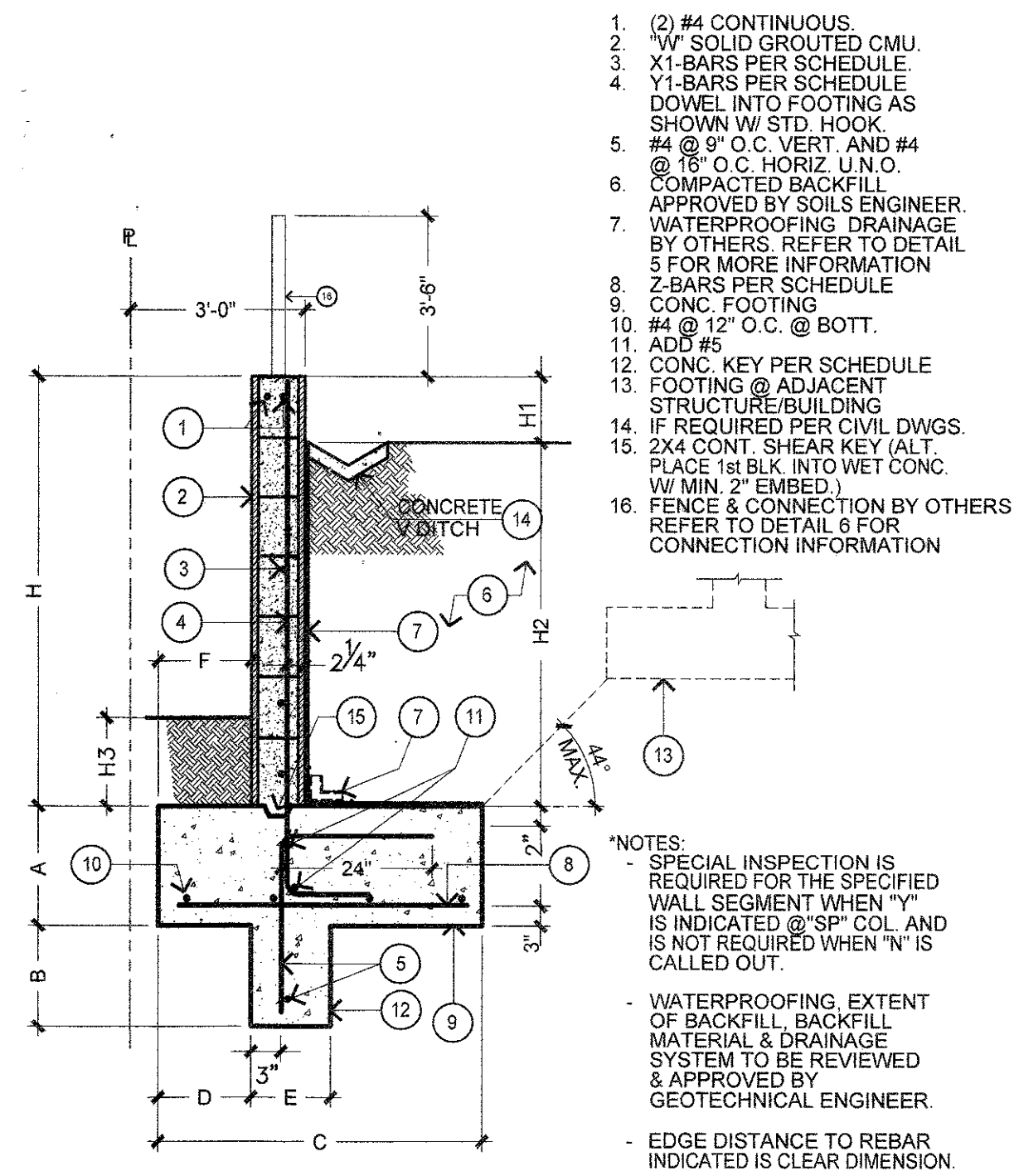
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER

ENGINEER OF WORK: WILLIAM LUNDSTROM

DATE: 5/5/2022

GRADING PERMIT NO. PDS2020-LDGRM-30288

ENGINEER'S NAME: LUNDSTROM ENGINEERING & SURVEYING
PHONE NO. (619) 814-1220



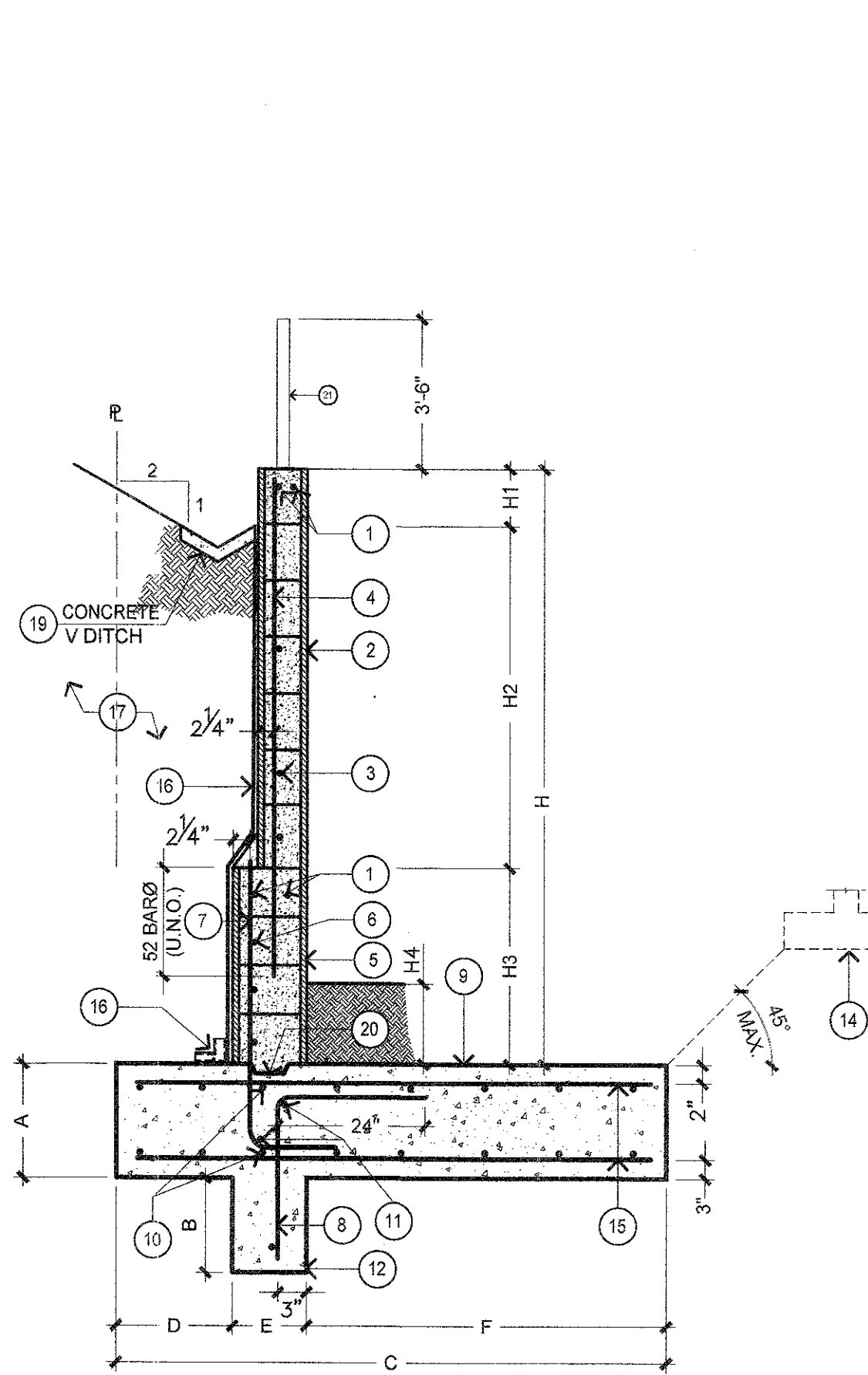
STEM (F)				FOUNDATION (F)						
H	H1	H2	W	A	B	C	D	E	F	
4'-4"	0'-4"	4'-0"	0'-6"	0'-8"	1'-0"	1'-0"	3'-0"	1'-2"	0'-8"	1'-2"
6'-4"	0'-4"	6'-0"	0'-6"	0'-8"	1'-0"	1'-3"	3'-9"	1'-0"	0'-8"	1'-0"
8'-4"	0'-4"	8'-0"	0'-6"	0'-8"	1'-6"	1'-9"	5'-3"	1'-3"	0'-8"	1'-3"
10'-4"	0'-4"	10'-0"	0'-6"	0'-12"	1'-6"	2'-4"	6'-0"	2'-0"	0'-8"	2'-0"

REINFORCEMENT			
H	X1	Y1	Z
4'-4"	#4 @ 18" O.C.	#4 @ 18" O.C.	#4 @ 9" O.C. BOT.
6'-4"	#4 @ 12" O.C.	#4 @ 8" O.C.	#4 @ 9" O.C. BOT.
8'-4"	#4 @ 12" O.C.	#5 @ 8" O.C.	#5 @ 9" O.C. TOP & BOT.
10'-4"	#4 @ 12" O.C.	#5 @ 8" O.C.	#5 @ 9" O.C. TOP & BOT.

RETAINING WALL D

RW6

3



STEM (MAX)								FOUNDATION (F)					
H	W1	W2	H1	H2	H3	H4	A	B	C	D	E	F	
4'-4"	N/A	0'-8"	0'-4"	N/A	4'-0"	0'-6"	1'-0"	1'-0"	3'-0"	1'-2"	0'-8"	1'-2"	
6'-4"	N/A	0'-8"	0'-4"	N/A	6'-0"	0'-6"	1'-0"	1'-0"	4'-0"	1'-4"	0'-8"	2'-1"	
8'-4"	0'-8"	0'-10"	0'-4"	4'-0"	4'-0"	0'-6"	1'-6"	2'-6"	7'-9"	2'-3"	1'-0"	4'-4"	
10'-4"	0'-8"	0'-12"	0'-4"	5'-0"	5'-0"	0'-6"	1'-6"	2'-6"	7'-9"	2'-3"	1'-0"	4'-4"	
12'-4"	0'-8"	0'-12"	0'-4"	6'-0"	6'-0"	0'-6"	2'-0"	4'-4"	9'-6"	3'-3"	1'-3"	6'-4"	
15'-0"	0'-12"	0'-16"	0'-4"	7'-8"	7'-0"	0'-6"	2'-0"	5'-0"	11'-8"	4'-3"	1'-3"	6'-1"	

REINFORCEMENT						
H	X1	X2	Y1	Y2	Z	Z1
4'-0"	N/A	#4 @ 12" O.C.	N/A	#4 @ 18" O.C.	#4 @ 9" O.C. BOT.	#4 @ 12" O.C.
6'-0"	N/A	#4 @ 12" O.C.	N/A	#4 @ 8" O.C.	#4 @ 9" O.C. BOT.	#4 @ 12" O.C.
8'-0"	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 8" O.C.	#5 @ 8" O.C.	#5 @ 9" O.C. TOP & BOT.	#5 @ 9" O.C.
10'-0"	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 8" O.C.	#7 @ 8" O.C.	#5 @ 9" O.C. TOP & BOT.	#5 @ 12" O.C.
12'-0"	#4 @ 12" O.C.	#4 @ 12" O.C.	#6 @ 8" O.C.	#8 @ 8" O.C.	#6 @ 7" O.C. TOP & BOT.	#5 @ 8" O.C.
15'-0"	#4 @ 12" O.C.	#4 @ 12" O.C.	#7 @ 8" O.C.	#10 @ 8" O.C.	#7 @ 8" O.C. TOP & BOT.	#5 @ 8" O.C.

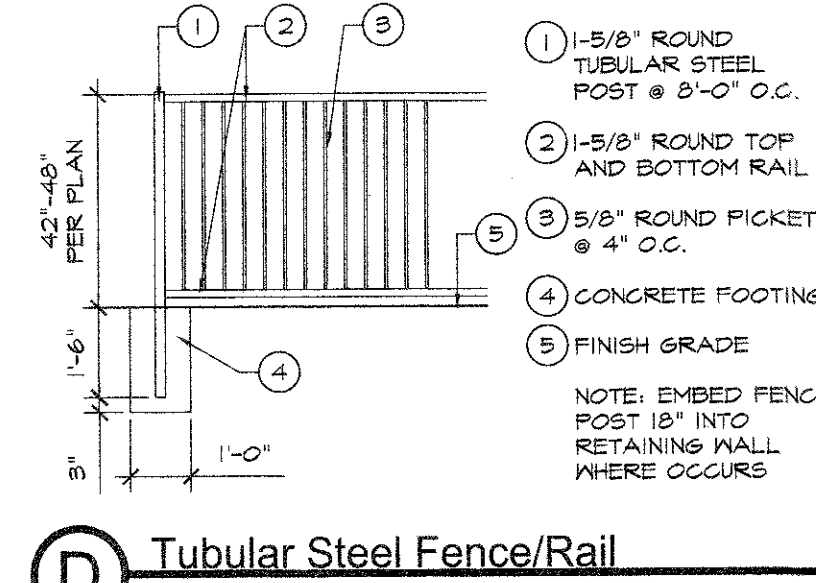
- (2) #4 CONTINUOUS
- W1 SOLID GROUTED CMU
- X1-BARS PER SCHEDULE
- Y1-BARS PER SCHEDULE
- W2 SOLID GROUTED C.M.U.
- X2-BARS PER SCHEDULE
- Y2-BARS PER SCHEDULE
- DOWEL INTO FOOTING AS SHOWN W/ STD. HOOK
- Z1 VERT. BARS PER SCHEDULE & #4 @ 12" O.C. HORIZONTAL U.N.O.
- CONC. FOOTING
- #4 @ 12" O.C. T & B
- ADD #5
- CONC. KEY PER SCHEDULE
- DRAINAGE BY OTHERS
- FOOTING @ ADJACENT STRUCTURE-BUILDING
- Z-BARS PER SCHEDULE
- WATERPROOFING & DRAINAGE BY OTHERS. REFER TO DETAIL 5 FOR MORE INFORMATION
- COMPACTED BACKFILL APPROVED BY SOILS ENGINEER
- 12"-18" COMPACTED NATIVE BACKFILL
- IF REQUIRED PER CIVIL DWGS.
- 2X6 CONT. SHEAR KEY (ALT. PLACE 1st BLK. INTO WET CONC. W/ MIN. 2" EMBED.)
- FENCE & CONNECTION BY OTHERS. REFER TO DETAIL 6 FOR CONNECTION INFORMATION

- NOTES:
- SPECIAL INSPECTION IS REQUIRED FOR THE SPECIFIED WALL SEGMENT WHEN "Y" IS INDICATED @ "SP" COL. AND IS NOT REQUIRED WHEN "N" IS CALLED OUT.
 - WATERPROOFING, EXTENT OF BACKFILL, BACKFILL MATERIAL & DRAINAGE SYSTEM TO BE REVIEWED & APPROVED BY GEOTECHNICAL ENGINEER
 - EDGE DISTANCE TO REBAR INDICATED IS CLEAR DIMENSION.

RETAINING WALL B & C

RW17

2

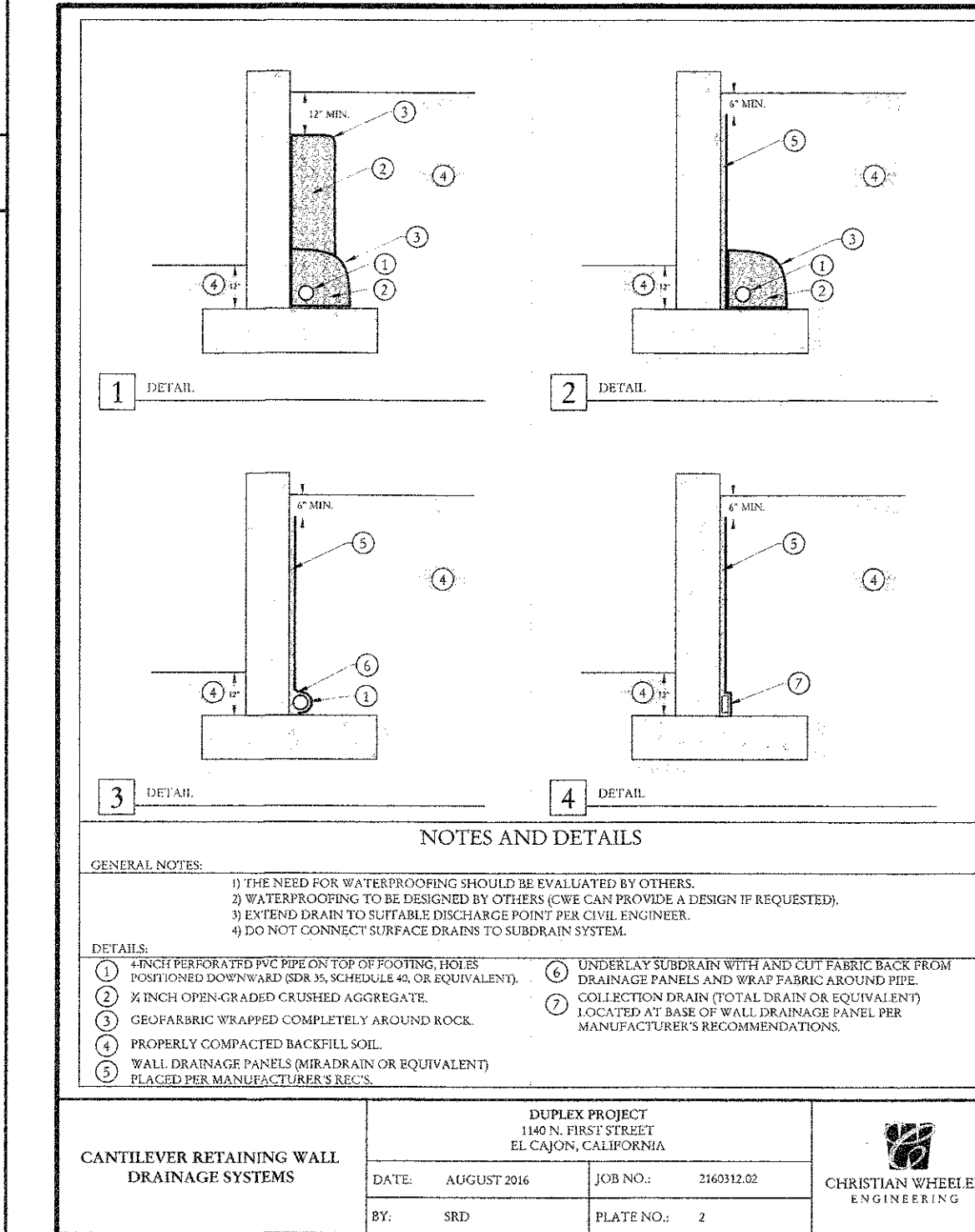


Tubular Steel Fence/Rail

FENCE CONNECTION

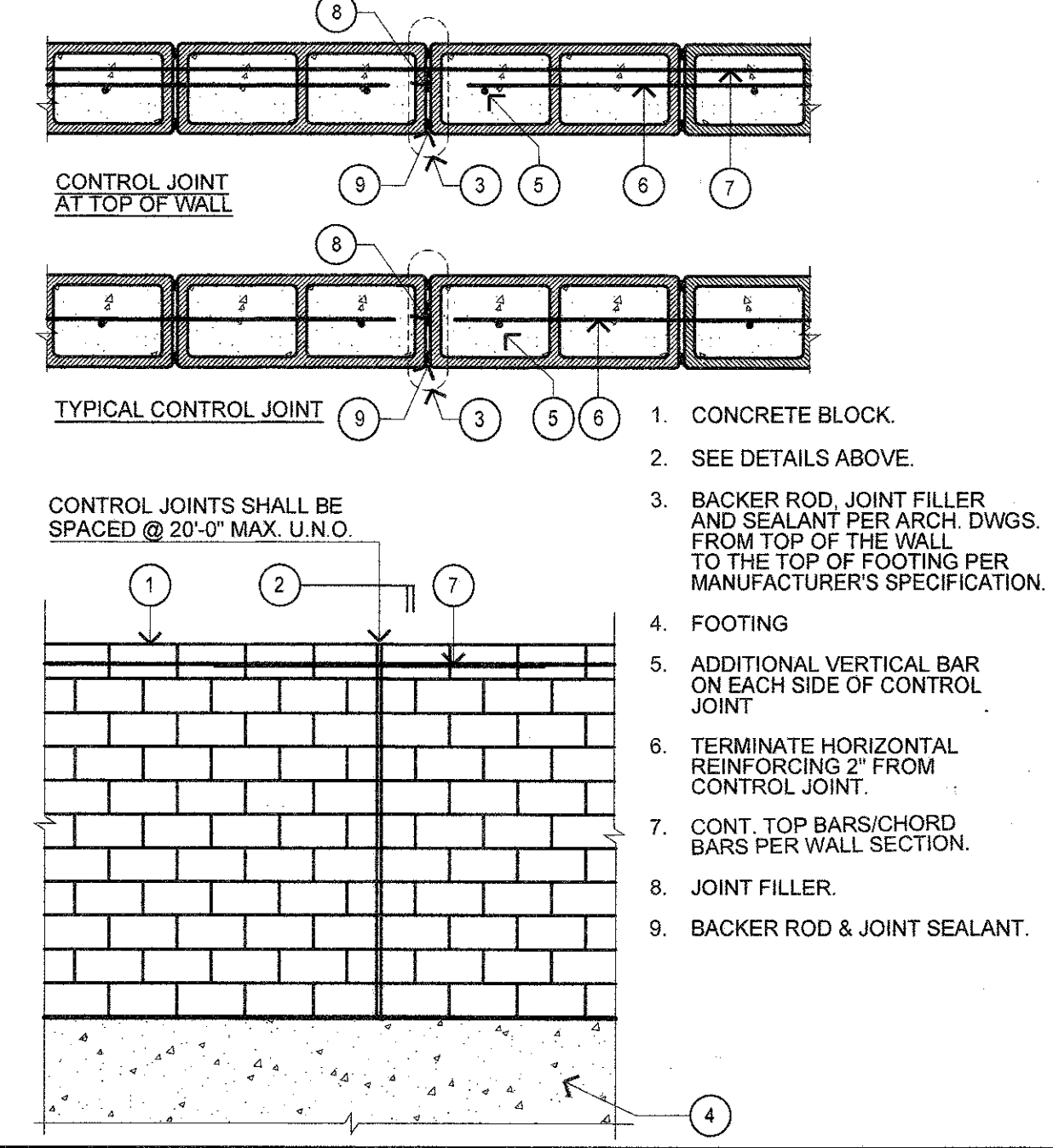
6

WALL A BIORETENTION



DRAINING INFORMATION

1



TYP. CMU WALL CONTROL JOINT DET.

4

G **GOVVIS**
 15 Studebaker
 Irvine
 CA 92618
 Irvine
 tel: 949.752.6172
 fax: 949.752.3211
 Palm Springs
 tel: 760.323.5090

REGISTERED PROFESSIONAL ENGINEER
WYAN NGUYEN
 No. C 64238
 Exp. 6/30/23
 CIVIL
 STATE OF CALIFORNIA

COUNTY APPROVED CHANGES			BENCHMARK	
NO.	DESCRIPTION	APPROVED BY	DATE	DESCRIPTION
				RETAINING WALL DETAILS & NOTES
				LOCATION:
				RECORD FROM: COUNTY OF SAN DIEGO
				ELEVATION: 793.90 DATUM: NAVD-88

PRIVATE CONTRACT

SHEET 11	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	11 SHEET
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STRUCTURAL PLANS FOR:
 1140 NORTH FIRST STREET
 EL CAJON, CA 92021
 CALIFORNIA COORDINATE INDEX 234-1785

APPROVED FOR: WILLIAM P. MORGAN
 COUNTY ENGINEER

BY: *[Signature]* 5/15/2022

ENGINEER: WYAN NGUYEN
 No. C 64238
 Exp. 6/30/23

PDS2020-LDRM-30268

PUBLIC IMPROVEMENTS FOR 1140 N. FIRST STREET COUNTY OF SAN DIEGO

GENERAL NOTES:

- A PERMIT SHALL BE OBTAINED FROM THE COUNTY DEPARTMENT OF PUBLIC WORKS FOR ANY WORK WITHIN THE STREET RIGHT-OF-WAY.
- THE STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH SAN DIEGO COUNTY STANDARDS AND AS APPROVED BY THE MATERIALS LABORATORY.
- APPROVAL OF THESE IMPROVEMENT PLANS AS SHOWN DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
- ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO CONSTRUCTION OF DIKE, CURB, CROSS GUTTER AND PAVING.
- THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY SHOWN HEREON AND ANY OTHER WHICH IS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- LOCATION AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- THE CONTRACTOR SHALL NOTIFY THE SAN DIEGO GAS & ELECTRIC COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS/HER WORK WITH COMPANY REPRESENTATIVES.
NOTICE: ALL ELECTRICAL AND GAS SERVICES WITHIN THIS PROJECT ARE "UNDERGROUND INSTALLATIONS". FOR LOCATION OF ELECTRICAL CABLES AND GAS PIPING AND APPURTENANCES CONTACT THE SAN DIEGO GAS & ELECTRIC COMPANY AT TEL: (800) 227-2600.
- THE CONTRACTOR SHALL NOTIFY THE AT&T TELEPHONE COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS/HER WORK WITH COMPANY REPRESENTATIVES.
NOTICE: ALL TELEPHONE SERVICES WITHIN THIS PROJECT ARE "UNDERGROUND INSTALLATIONS". FOR LOCATION OF CABLE AND APPURTENANCES CONTACT THE AT & T COMPANY AT TEL: (800) 288-2020.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTACT THE UTILITY AGENCIES, ADVISE THEM OF THE PROPOSED IMPROVEMENTS, AND BEAR THE COST OF RELOCATIONS, IF NEEDED.
- ALL TELEVISION SERVICES WITHIN THIS PROJECT ARE "UNDERGROUND INSTALLATIONS". FOR LOCATIONS OF CABLES AND APPURTENANCES CONTACT TIME WARNER AT TEL: (888) 892-2253.
- POWER SOURCES AND RUNS SERVING STREET LIGHTS SHALL BE SHOWN ON THE "RECORD PLAN" IMPROVEMENT DRAWINGS. ALL POWER SOURCES SHALL BE LOCATED WITHIN THE DEDICATED RIGHT-OF-WAY, OR WITHIN EASEMENTS DEDICATED TO THE COUNTY OF SAN DIEGO.
- NO PAVING SHALL BE DONE UNTIL EXISTING POWER POLES ARE RELOCATED OUTSIDE THE AREAS TO BE PAVED.
- PRIVATE ROAD IMPROVEMENTS SHOWN HEREON ARE FOR INFORMATION ONLY. COUNTY OFFICIALS SIGNATURE HEREON DOES NOT CONSTITUTE APPROVAL OR RESPONSIBILITY OF ANY KIND FOR THE DESIGN OR CONSTRUCTION OF THESE PRIVATE IMPROVEMENTS. (IF APPLICABLE).
- ALL SIGNS TO BE ALUMINUM WITH HIGH INTENSITY PRISMATIC TYPE REFLECTIVE FACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY STRIPING, PAVEMENT MARKERS, OR LEGENDS OBLITERATED BY THE CONSTRUCTION OF THIS PROJECT.
- ALL NEW STRIPING AND SANDBLASTING OF REDUNDANT STRIPING SHALL BE DONE BY CONTRACTOR.
- ALL CUT AND FILL SLOPES THREE FEET (3') HIGH CREATED BY GRADING FOR STREETS AND DRIVENWAYS SHALL BE HYDROSEEDED WITH SAN DIEGO COUNTY APPROVED HYDROSEED MIXTURE. HYDROSEEDED SLOPES SHALL BE IRRIGATED BY WATER TRUCK UNTIL THE MIXTURE GERMINATES AND 70% GROWTH IS ESTABLISHED.
- ASPHALT CONCRETE SURFACING MATERIAL SHALL BE HAND-RAKED AND COMPACTED TO FORM SMOOTH TAPERED CONNECTIONS ALONG ALL EDGES INCLUDING THOSE EDGES ADJACENT TO SOIL. THE EDGES OF ASPHALT CONCRETE SHALL BE HAND RAKED AT 45 DEGREES OR FLATTER, SO AS TO PROVIDE A SMOOTH TRANSITION NEXT TO EXISTING SOIL, INCLUDING THOSE AREAS SCHEDULED FOR SHOULDER BACKING. THE ABOVE SHALL BE DONE TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- CONTRACTOR SHALL APPLY FOR A TRAFFIC CONTROL PERMIT EIGHT WEEKS PRIOR TO COMMENCEMENT OF WORK. NO WORK SHALL COMMENCE UNTIL ISSUANCE OF SAID PERMIT. FOR INFORMATION CALL (658) 694-3863. THE TRAFFIC CONTROL PERMIT SHALL REQUIRE SPECIFICATIONS FOR THE INFORMATIONAL SIGNS.
- STREET IMPROVEMENTS AND DRAINAGE STRUCTURES SHALL BE CONSTRUCTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE COUNTY OF SAN DIEGO SPECIAL PROVISIONS AND SPECIFICATIONS FOR THE IMPROVEMENT OF NEW STREETS.
- FINAL ACCEPTANCE OF THE TO-BE PUBLICLY MAINTAINED STORM DRAIN LINES WILL BE SUBJECT TO INTERNAL CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION BY A CCTV CONTRACTOR. THE PERMITEE/CONTRACTOR WILL BE RESPONSIBLE TO SCHEDULE AND PAY FOR THE COST OF INSPECTION. ONCE CCTV INSPECTION IS COMPLETE, IT SHALL BE SUBMITTED TO DWP INSPECTOR FOR REVIEW AND FINAL APPROVAL. CCTV INSPECTION SHALL MEET THE REQUIREMENTS SET FORTH IN DL-UD-H.
- THE APPLICANT IS RESPONSIBLE FOR THE ROAD MAINTENANCE (SWEEPING AS NECESSARY) AND REPAIR OF ANY DAMAGE CAUSED BY THEM TO THE ON-SITE AND OFF-SITE COUNTY MAINTAINED OR PRIVATE ROADS THAT SERVE THE PROPERTY EITHER DURING CONSTRUCTION OR SUBSEQUENT OPERATIONS. THE APPLICANT WILL REPAIR THOSE PORTIONS OF THE ROUTE THAT WOULD BE DAMAGED BY THE HEAVY LOADS THAT LOADED TRUCKS PLACE ON THE ROUTE IDENTIFIED.
- ENGINEER OF WORK SHALL COMPLY WITH ALL PROJECT APPLICABLE LAWS THAT INCLUDE, BUT ARE NOT LIMITED TO, HEALTH, SAFETY, AND ENVIRONMENTAL LAWS, ORDINANCES, AND REGULATIONS RELATION TO THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND U.S. FEDERAL GOVERNMENT. THE PROJECT IS SUBJECT TO ENFORCEMENT UNDER PERMITS FROM THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) AND THE COUNTY OF SAN DIEGO WATERSHED PROTECTION, STORMWATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE NO. 10410, COUNTY OF SAN DIEGO HYDRAULIC DESIGN MANUAL, AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS FOR THE LIFE OF THE PERMIT. THE PROJECT SITE SHALL BE IN COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS REFERENCED ABOVE AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS. THIS INCLUDES COMPLIANCE WITH THE APPROVED STORM WATER QUALITY MANAGEMENT PLAN (SWQMP). ALL REQUIREMENTS FOR LOW IMPACT DEVELOPMENT (LID), HYDROMODIFICATION, DETENTION FACILITIES, MATERIAL AND WASTES CONTROL, EROSION CONTROL, AND SEDIMENT CONTROL ON THE PROJECT SITE.

STRIPING NOTES

THERMOPLASTIC TRAFFIC STRIPES, THERMOPLASTIC PAVEMENT MARKINGS, AND PAVEMENT MARKERS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ALL TRAFFIC STRIPES, PAVEMENT MARKINGS, AND PAVEMENT MARKERS OBLITERATED BY THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONFLICTING AND REDUNDANT TRAFFIC STRIPES, PAVEMENT MARKINGS, AND PAVEMENT MARKERS IN THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL NEW TRAFFIC STRIPES, PAVEMENT MARKINGS, AND PAVEMENT MARKERS FOR THIS PROJECT.

INSTALLATION OF THERMOPLASTIC TRAFFIC STRIPES AND THERMOPLASTIC PAVEMENT MARKINGS SHALL CONFORM TO SECTION 84-1, "GENERAL" AND 84-2, "TRAFFIC STRIPES AND PAVEMENT MARKINGS", OF THE MOST CURRENT CALTRANS STANDARD SPECIFICATIONS AND THE FOLLOWING:

CONTROL OF THE ALIGNMENT AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO APPROVAL BY THE ENGINEER. TRAFFIC STRIPES SHALL BE REMOVED BY SANDBLASTING / GRINDING AND THEN SAND SEALED. CONTRACTOR TO PROVIDE AND INSTALL PAVEMENT MARKERS.

SECTION 84-2.02, "MATERIALS", OF THE STANDARD SPECIFICATIONS IS AMENDED TO READ:

THERMOPLASTIC MATERIAL SHALL BE FREE OF LEAD AND CHROMIUM, AND SHALL CONFORM TO THE REQUIREMENTS IN STATE SPECIFICATION PTH-02SPRAY, PTH-02HYDRO, OR PTH-02ALKYD.

FOR EACH BATCH OF THERMOPLASTIC MATERIAL FOR TRAFFIC STRIPES AND PAVEMENT MARKINGS, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER:

- CERTIFICATE OF COMPLIANCE UNDER SECTION 6-2.03C, "CERTIFICATES OF COMPLIANCE," OF THE STANDARD SPECIFICATIONS
- DEPARTMENT'S MATERIALS ENGINEERING AND TESTING SERVICES NOTIFICATION LETTER STATING THAT THE MATERIAL IS APPROVED FOR USE
- MATERIAL SAFETY DATA SHEET

GLASS BEADS MAYBE APPLIED BY HAND ON THERMOPLASTIC PAVEMENT MARKINGS.

THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS SHALL BE FREE OF RUNS, BUBBLES, CRATERS, DRAG MARKS, STRETCH MARKS, AND DEBRIS.

THE SURFACE OF THE THERMOPLASTIC MATERIAL UPON APPLICATION SHALL PROVIDE A MINIMUM SKID RESISTANCE VALUE OF 60 BPN WHEN TESTED ACCORDING TO ASTM E 303. DOCUMENTATION DETAILING MANUFACTURER'S MINIMUM SKID RESISTANCE FOR PERFORMED THERMOPLASTIC MATERIAL SHALL BE PROVIDED TO THE ENGINEER PRIOR TO COMMENCEMENT OF TRAFFIC STRIPES AND PAVEMENT MARKING OPERATIONS.

PAVEMENT MARKER SHALL CONFORM TO SECTION 81-3, "PAVEMENT MARKERS", OF THE MOST CURRENT CALTRANS STANDARD SPECIFICATIONS, AND THE FOLLOWING PROVISIONS:

PAVEMENT MARKER HEIGHT SHALL BE 0.70-INCH MINIMUM. "LOW PROFILE" TYPE MARKERS WILL NOT BE ACCEPTABLE.

MONUMENTATION GENERAL NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL SURVEY CONTROL MONUMENTS, WHETHER SHOWN ON THESE PLANS OR NOT, WITHIN THE PROJECT AREA. ALL SURVEY MONUMENTS, WHETHER FOR HORIZONTAL OR VERTICAL CONTROL, THAT WILL OR COULD BE DISTURBED OR REMOVED BY THE CONTRACTOR, OR HIS EMPLOYEES, AGENTS, SUBCONTRACTORS, CONSULTANT OR LICENSEES, SHALL BE LOCATED PRIOR TO BEING DISTURBED OR REMOVED AND REPLACED OR RESET, IN ACCORDANCE WITH THE CALIFORNIA BUSINESS & PROFESSIONS CODE SECTION 8771(b), AT THE CONTRACTOR'S SOLE EXPENSE, UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA. IN ADDITION, A RECORD OF SURVEY OR CORNER RECORD, AS APPLICABLE, SHALL BE FILED AND/OR RECORDED, IN ACCORDANCE WITH PROVISIONS OF SAID CODE.

BMP STENCIL PLACEMENT NOTE:

- ALL STORM DRAIN INLETS AND CATCH BASINS WITHIN THE PROJECT AREA SHALL HAVE A STENCIL OR TILE PLACED WITH THE PROHIBITIVE LANGUAGE (SUCH AS: "NO DUMPING - I LIVE IN <<NAME RECEIVED WATER>>") AND/OR GRAPHICAL ICONS TO DISCOURAGE ILLEGAL DUMPING.
- SIGNS AND PROHIBITIVE LANGUAGE AND/OR GRAPHICAL ICONS, WHICH PROHIBIT ILLEGAL DUMPING, MUST BE POSTED AT PUBLIC ACCESS POINTS ALONG CHANNELS AND CREEKS WITHIN THE PROJECT AREA.
- LEGIBILITY OF STENCILS, TILES AND SIGNS MUST BE MAINTAINED AND TILES MUST BE PLACED FLUSH WITH THE TOP OF CONCRETE TO REDUCE TRIPPING BY PEDESTRIANS.

LEGAL DESCRIPTION:

THE NORTH 264.00 FEET OF LOT 9 IN BLOCK 3 OF SUBDIVISION OF THE "S" TRACT OF RANCHO EL CAJON, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 292, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 14, 1883.

ALSO THE WEST 12.00 FEET OF FIRST STREET ADJOINING THE ABOVE DESCRIBED PROPERTY ON THE EAST AS VACATED AND CLOSED TO PUBLIC USE JUNE 11, 1923, BY ORDER OF THE BOARD OF SUPERVISORS OF SAID SAN DIEGO COUNTY, A CERTIFIED COPY OF SAID VACATION HAVING BEEN RECORDED ON MARCH 3, 1924, IN BOOK 751, PAGE 356 OF DEEDS.

EXCEPTING THEREFROM THE NORTH 60.00 FEET OF THE EAST 158.00 FEET THEREOF.

ALSO EXCEPTING THEREFROM THE WEST 12.00 FEET OF FIRST STREET ADJOINING THE NORTH 60.00 FEET OF SAID LOT 9 ON THE EAST.

ADDRESS

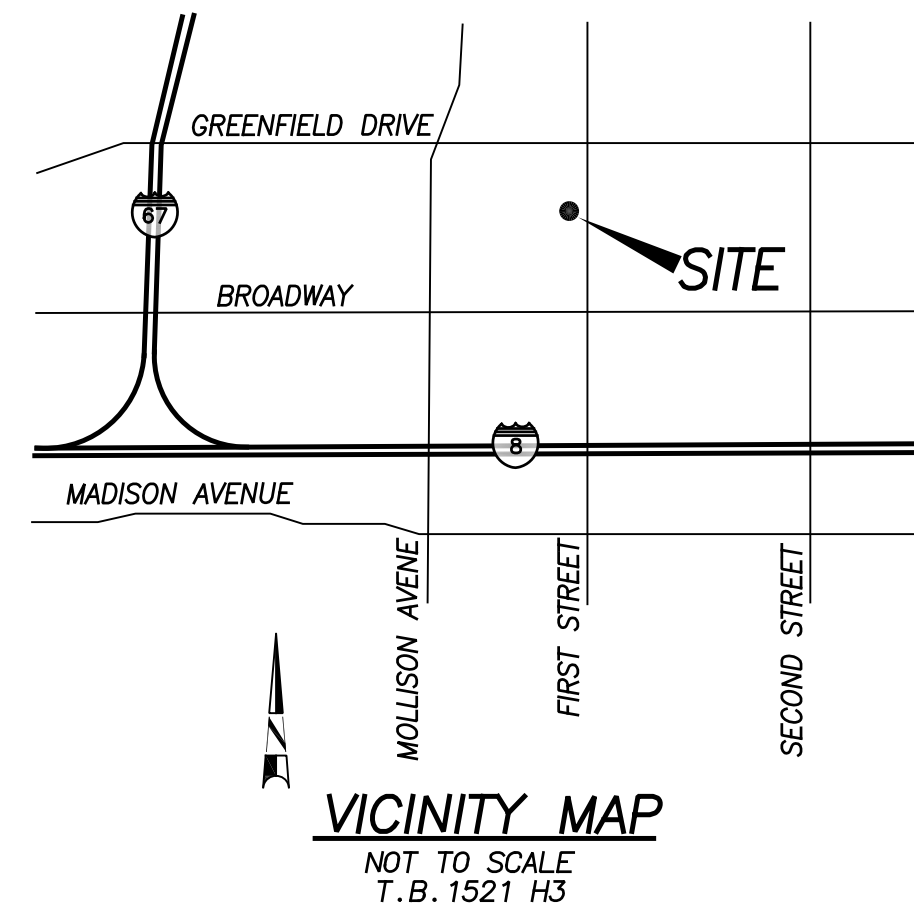
1140 NORTH FIRST STREET, EL CAJON, CA 92021

APN

484-092-21

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	DETAIL SHEET
SHEET 3	IMPROVEMENT PLAN



WORK TO BE DONE:

IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, THE CURRENT COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS FOR IMPROVEMENT OF SUBDIVISION STREETS AND STANDARD REFERENCE DRAWINGS AND THE SAN DIEGO AREA REGIONAL STANDARD DRAWINGS AND THE WATER AGENCIES' STANDARDS LATEST REVISION.

STANDARD DRAWINGS:

- CALTRANS STANDARD PLANS AND STANDARD SPECIFICATIONS (2018)
- CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CA MUTCD) (2014)
- SAN DIEGO COUNTY DESIGN STANDARDS (OCTOBER 2012)
- SAN DIEGO REGIONAL STANDARD DRAWINGS (2018)
- GREEN STREETS STANDARD DRAWINGS, COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS (OCT 2019)
- COUNTY OF SAN DIEGO STREET LIGHTING SPECIFICATIONS - REVISED SEPTEMBER 2021

LEGEND

IMPROVEMENTS	STD. DWG.	SYMBOL	QTY.
RIGHT OF WAY		---	
AC PAVEMENT	(PAVEMENT SECTION PER GENERAL NOTE 2)	[Symbol]	800 SF
TRENCH RESURFACING	SAN DIEGO COUNTY DS-22, RSD G-24A&B, TYPE D	[Symbol]	525 SF
6" CURB & GUTTER, TYPE 'G'	G-2	[Symbol]	205 LF
CONCRETE SIDEWALK	G-7	[Symbol]	1490 SF
CONCRETE DRIVEWAY	G-14A (CONTIGUOUS SIDEWALK)	[Symbol]	1 EA.
MOD. CURB OUTLET TYPE B	RSD D-25B, PER GRADING PLAN POS2020-LDGRMJ-30268	[Symbol]	1 EA.
MOD. CURB OUTLET TYPE B	RSD D-25, PER GRADING PLAN POS2020-LDGRMJ-30268	[Symbol]	1 EA.
SIDEWALK UNDERDRAIN	GREEN STREETS GS-5.04A, PER GRADING PLAN POS2020-LDGRMJ-30268	[Symbol]	1 EA.
SEWER MANHOLE	RSD SM-01, SM-03, SM-04	[Symbol]	1 EA.
SEWER CLEANOUT	RSD SC-01	[Symbol]	1 EA.
SEWER LATERAL	RSD SS-01 OR SS-02, SS-03, SP-01	[Symbol]	1 EA.
EXIST. SEWER LATERAL	TO BE ABANDONED	[Symbol]	1 EA.
EXIST. 3/4" X 1" DOMESTIC SERVICE TO BE ABANDONED PER NOTES ON SHEET 3		[Symbol]	1 EA.
NEW 1" WATER SERVICE AND METER WITH RP PER W.A.S. WS-01, WS-03, WR-01		[Symbol]	1 EA.
NEW 2" DOMESTIC WATER SERVICE AND METER WITH RP PER W.A.S. WS-02, WS-03		[Symbol]	2 EA.
NEW 6" FIRE SERVICE WITH RPDA PER PER W.A.S. WF-05		[Symbol]	1 EA.
PROP. 6" FIRE HYDRANT PER WF-02, WF-04		[Symbol]	1 EA.
PROPOSED STREET LIGHT	E-01, E-02, 35 WATT LEOTEK GCJO-15H-MV-WW-2R-GY-700 SUN TECH E11 (EXTRA LONG LIFE SERIES) PEC	[Symbol]	1 EA.
EXISTING MAJOR TOPO CONTOUR		[Symbol]	
EXISTING MINOR TOPO CONTOUR		[Symbol]	
EXIST. 8" VCP PUBLIC SEWER MAIN		[Symbol]	
EXIST. 12" PVC PUBLIC WATER MAIN		[Symbol]	
EXIST. 2" GAS MAIN		[Symbol]	
EXISTING UTILITY POLE		[Symbol]	
EXISTING GAS EQUIPMENT		[Symbol]	
EXISTING ELECTRIC EQUIPMENT		[Symbol]	
EXISTING WATER METER		[Symbol]	
EXISTING MAILBOX		[Symbol]	

STORMWATER STRUCTURAL POLLUTANT CONTROL & HYDROMODIFICATION CONTROL BMPs				
SEE GRADING PLAN: POS2020-LDGRMJ-30268	PLAN SHEET	BMP ID#	MAINTENANCE CATEGORY	MAINTENANCE AGREEMENT RECORDED DOC #

UNDERGROUND SERVICE ALERT
CALL: TOLL FREE 1-800-422-4133
"CAUTION"
CALL TWO WORKING DAYS BEFORE YOU DIG. REMEMBER THAT THE U.S.A. CENTER NOTIFIES ONLY THOSE UTILITIES BELONGING TO THE CENTER. THERE COULD BE OTHER UTILITIES PRESENT AT THE WORK SITE. THE CENTER WILL INFORM YOU OF WHOM THEY WILL NOTIFY.

NOTICE:
THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THEREOF.



DECLARATION OF RESPONSIBLE CHARGE
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF SAID CODE.
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.
BY: WILLIAM LUNDSTROM DATE: 06/30/23
RCE NO: _____ EXPIRES: 06/30/23

OWNERS CERTIFICATE
IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.
IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS, OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PLANNING & DEVELOPMENT SERVICES DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.
BY: _____ DATE: _____
ASSESSOR'S PARCEL NO. 484-092-21
NAME: GREENBUILD PROPERTIES, LLC. PHONE #: 619-993-7799
ADDRESS: 6268 GOVERNOR DRIVE, SUITE 200 SAN DIEGO, CA 92122

PDS ENVIRONMENTAL REVIEW
APPROVED FOR COMPLIANCE WITH THE ENVIRONMENTAL REVIEW.
APPROVED BY: _____ DATE: _____
NOTICE: THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THEREOF.

PERMITS
GRADING PLAN NO. POS2021-LDGRMJ-30268
L&I PLAN NO. POS2020-LP-20-058
WASTEWATER PERMIT: DPW2021-WWSWCP-00058
W.D.I.D. NO. 9-37C397393

PRIVATE CONTRACT
SHEET 1 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS SHEET 3
PLANS FOR THE PUBLIC IMPROVEMENT OF:
1140 NORTH FIRST STREET EL CAJON, CA 92021
CALIFORNIA COORDINATE INDEX 234-1785
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER
ENGINEER OF WORK: WILLIAM LUNDSTROM
EXP. 6-30-23 R.C.E. 61630
IMPROVEMENT PERMIT NO. PDS2021-LDPIP-60101

RECORD PLAN	SEWER AGENCY	FIRE AGENCY	HELIX WATER DISTRICT	COUNTY APPROVED CHANGES	BENCHMARK
NAME: _____ R.C.E. _____ DATE: _____	SAN DIEGO COUNTY SANITATION DISTRICT WINTERGARDENS SERVICE AREA REVIEWED BY: _____ VALID FOR TWO YEAR FROM DATE SIGNED	SAN MIGUEL FIRE DISTRICT APPROVED BY: _____ DATE: _____	PROJECT: RMB21093 ACCEPTED BY: JAMES A. TOMASULO DATE: _____ VALID FOR ONE YEAR FROM DATE SIGNED	NO. _____ DESCRIPTION _____ APPROVED BY _____ DATE _____	DESCRIPTION: SURVEY CONTROL MONUMENT NO. 899 AS SHOWN ON RECORD OF SURVEY MAP NO. 14492 LOCATION: O/S CENTER HACIENDA DR. & FLYING HILLS LN. RECORD FROM: COUNTY OF SAN DIEGO ELEVATION: 793.90 DATUM: NAVD-88

Lundstrom Engineering and Surveying, Inc.
5333 Mission Center Road, #115 • San Diego, CA 92108
Phone (619) 814-1220 • Fax (619) 641-5910

ENGINEER'S NAME: RMB21093 - 1140 NORTH FIRST STREET PHONE NO. (619) 814-1220

HELV WATER DISTRICT NOTES:

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT HELIX WATER DISTRICT 48 HOURS PRIOR TO COMMENCING WORK AT (619) 596-3860 AND UNDERGROUND SERVICE ALERT FOR LOCATION OF EXISTING WATER FACILITIES AT 1-800-422-4133.
2. CONTRACTOR TO PROTECT ALL EXISTING HELIX WATER DISTRICT FACILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO HELIX WATER DISTRICT FACILITIES AS A RESULT OF HIS/HER OPERATION AND SHALL IMMEDIATELY CALL THE HELIX WATER DISTRICT WHO WILL REPAIR ANY DAMAGE AND WILL BILL THE DEVELOPER FOR THE COST INCURRED.
3. APPROVAL/REVIEW OF PLANS BY HELIX WATER DISTRICT DOES NOT CONSTITUTE RESPONSIBILITY FOR ACCURACY OF INFORMATION NOR LOCATIONS OF ANY EXISTING UTILITIES.
4. DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF RELOCATING ANY WATER LATERALS, FIRE HYDRANTS OR FACILITIES THAT FALL WITHIN DRIVEWAYS OR OTHERWISE CONFLICT WITH ANY PROPOSED FACILITIES OR IMPROVEMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR ADJUSTMENT OF ANY NEW OR EXISTING WATER SERVICE APPURTENANCES, MANHOLES, GATE VALVE COVERS, OR METER BOXES TO NEW FINISH GRADE.
6. ALL UNDERGROUND UTILITIES AND LATERALS SHALL BE INSTALLED BEFORE CONSTRUCTION OF CURBS, CONCRETE CROSS CUTTERS, SIDEWALK OR SURFACING OF STREETS.
7. DEVELOPER AGREES THAT IF THEY, THEIR EMPLOYEES, AGENTS, OR ANY INDEPENDENT CONTRACTORS OR SUBCONTRACTORS SHOULD USE WATER OTHER THAN THROUGH AN AUTHORIZED WATER METER, DEVELOPER SHALL PAY A CHARGE, DETERMINED BY HELIX WATER DISTRICT, PER OCCURRENCE FOR SAID USE. SAID PAYMENT MAY BE DEDUCTED FROM ANY DEPOSIT DEVELOPER HAS WITH HELIX WATER DISTRICT.
8. NO PERSON, OTHER THAN AN EMPLOYEE OR AGENT OF THE HELIX WATER DISTRICT, SHALL HAVE A RIGHT TO OPERATE ANY PART OF THE DISTRICT WATER DISTRIBUTION SYSTEM AND FIRE HYDRANTS. ANY PERSON WHO TAMPERS OR INTERFERES WITH ANY PART OR COMPONENT OF SAID SYSTEM, OR CAUSES OR PERMITS ANY ACT OF TAMPERING OR INTERFERING WITH THE SYSTEM, SHALL BE LIABLE FOR ANY INJURY OR DAMAGE CAUSED THEREBY OR RESULTING THEREFROM. A CHARGE, DETERMINED BY HELIX WATER DISTRICT, PER OCCURRENCE WILL BE IMPOSED ON ANY PERSON OR COMPANY WHO OPERATES ANY PART OF THE HELIX WATER DISTRICT WATER SYSTEM WITHOUT PROPER AUTHORIZATION.
9. FOR WORK OVER EXISTING WATER FACILITIES, HEAVY EQUIPMENT (ABOVE H20 LOADING) SHALL NOT BE USED WHEN COVER OVER THE WATER MAIN IS LESS THAN THREE (3) FEET THROUGH ALL PHASES OF CONSTRUCTION, INCLUDING THE REMOVAL AND/OR INSTALLATION OF PAVEMENT SECTIONS.
10. DEVELOPER/CONTRACTOR SHALL INSTALL ONLY HIGH EFFICIENCY APPLIANCES, USE ONLY HIGH EFFICIENCY TECHNOLOGIES AND LANDSCAPING USING LOW WATER USE PLANTS. DEVELOPER/CONTRACTOR SHALL COORDINATE THE INSTALLATION OF WATER EFFICIENT APPLIANCES, TECHNOLOGIES AND LANDSCAPING WITH HELIX WATER DISTRICT REPRESENTATIVE. PLEASE CONTACT MICHELLE CURTIS AT (619) 667-6261 FOR INSPECTION AND COORDINATION.
11. CONTRACTOR TO COORDINATE THE LOCATION OF ANY PROPOSED FIRE PROTECTION FACILITIES WITH THE FIRE DEPARTMENT OF JURISDICTION, PRIOR TO INSTALLATION OF THE FACILITIES.
12. COMMERCIAL AND MULTIPLE DWELLING PROPERTIES WITH MORE THAN 5,000 SQUARE FEET OF IRRIGATED LANDSCAPE MUST HAVE A SEPARATE WATER METER FOR LANDSCAPE PURPOSES.
13. ANY EXISTING WATER SERVICES SERVING THE PROPERTY THAT WILL NOT BE USED SHALL BE ABANDONED BY THE DISTRICT AT THE OWNER'S EXPENSE.
14. ANY FINISHED SURFACE IMPROVEMENT OTHER THAN ASPHALT ABOVE THE PIPELINE OR UNDERGROUND FACILITIES, WILL REQUIRE AN ENCROACHMENT REMOVAL AGREEMENT. PERMISSIBLE FINISHED SERVICE IMPROVEMENTS ARE PROHIBITED WITHIN HELIX WATER DISTRICT WATER MAIN EASEMENT.
15. TRENCH REPAIR IS TO BE BY HELIX WATER DISTRICT TRENCH DETAIL OR THE CITY OR COUNTY TRENCH REPAIR DETAIL, WHICHEVER IS MORE STRINGENT.
16. BACKFLOW PREVENTION WILL BE REQUIRED ON WATER METERS SERVING COMMERCIAL PROPERTIES, PROPERTIES WITH FIRE SPRINKLER SYSTEMS AND/OR ON LANDSCAPE IRRIGATION WATER METERS. CONTACT THE DISTRICT'S CROSS-CONNECTION CONTROL COORDINATOR AT 619 667-6224. SUBMIT CUT SHEETS OF THE PROPOSED BACKFLOW PREVENTION DEVICES FOR APPROVAL.
17. RESIDENTIAL DWELLINGS WITH FIRE PROTECTION SYSTEMS SHALL HAVE A TESTABLE BACKFLOW PREVENTION ASSEMBLY (BPA) OR A PASSIVE PURGE SYSTEM INSTALLED FOR SYSTEM PROTECTION. COORDINATE APPROVAL OF THE BPA WITH THE DISTRICT'S CROSS CONNECTION CONTROL COORDINATOR AT 619-667-6224. IF PASSIVE PURGE IS SELECTED FOR BACKFLOW PREVENTION, BUILDING PLANS SHOWING THE PASSIVE PURGE SYSTEM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO IMPROVEMENT PLAN APPROVAL. THE WATER METER WILL NOT BE ACTIVATED UNTILL THE PASSIVE PURGE SYSTEM HAS BEEN COMPLETED OR A TEMPORARY BACKFLOW METER PROTECTION IS IN PLACE.
18. ALL WATER SERVICE LATERALS, FIRE SERVICE LATERALS, FIRE HYDRANT LATERALS, BLOW-OFF LATERALS AND WATER MAINS THAT CROSS ANY BIO-RETENTION SWALE, MUST BE WITHIN A HARDENED SURFACE (CONCRETE).
19. ROOF DRAINS OR DOWN SPOUTS FROM HOMES OR BUILDINGS ARE PROHIBITED FROM DISCHARGING WATER IN OR NEAR WATER METER BOXES.
20. FOR NEW SEWER MAINS OR STORM DRAINS CROSSING BENEATH EXISTING WATER MAINS, CONTRACTOR SHALL PROTECT THE EXISTING MAIN PER WATER AGENCIES STANDARD DRAWING WF-09 OR REPLACE THE EXISTING WATER MAIN WITH NEW PVC PIPE AT THE DISCRETION OF THE DISTRICT ENGINEER. PIPE REPLACEMENTS SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF THE TRENCH WIDTH ON BOTH SIDES OF THE CROSSING. CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS PRIOR TO CROSSING UNDER ANY EXISTING WATER MAIN AND SHALL COORDINATE THE INSPECTION OF ALL WORK RELATED TO THE PROTECTION OF EXISTING WATER FACILITIES WITH THE DISTRICT INSPECTOR.
21. HELIX WATER DISTRICT WILL INSTALL THE PROPOSED COMMERCIAL FIRE HYDRANT, APPROXIMATELY EIGHT (8) WEEKS AFTER RECEIPT OF ESTIMATED COST.
22. HELIX WATER DISTRICT WILL INSTALL THE PROPOSED FIRE SERVICE, APPROXIMATELY EIGHT (8) WEEKS AFTER RECEIPT OF ESTIMATED COST. CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE.
23. HELIX WATER DISTRICT WILL INSTALL THE PROPOSED WATER SERVICES, APPROXIMATELY EIGHT (8) WEEKS AFTER RECEIPT OF ESTIMATED COST. CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICES.
24. HELIX WATER DISTRICT WILL ABANDON WATER SERVICE APPROXIMATELY EIGHT (8) WEEKS AFTER RECEIPT OF ESTIMATED COST

SEWER NOTES:

- UNLESS OTHERWISE INDICATED HEREIN, ALL WORK SHALL BE DONE IN ACCORDANCE WITH:
A. THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) LATEST APPROVED EDITION.
B. THE REGIONAL SUPPLEMENTAL AMENDMENTS TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS' CONSTRUCTION.
C. THE SAN DIEGO REGIONAL STANDARD DRAWINGS (SDRSD), LATEST APPROVED EDITION.

SEWER NOTES SHALL INCLUDE THE FOLLOWING SPECIAL PROVISIONS:

- 1. TRENCH WIDTH SHALL BE PER SDRSD NO. SP-02, FOR PIPE UP TO 15 INCHES, UNLESS OTHERWISE NOTED, FOR PIPE 15 INCHES AND OVER, TRENCH WIDTH SHALL BE PER SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 306-3.
2. PIPE AND BEDDING CONDITIONS INCLUDING FILTER FABRIC WRAP "BURRITO WRAP" WITH 12 INCH OVERLAP, SHALL BE PER SDRSD SP-02, FOR PIPE UP TO 18 INCHES. FOR PIPE 18 INCHES AND ABOVE, REFER TO SSPWC SECTION 306.7.7. WHENEVER THE EXCAVATED MATERIAL IS NOT SUITABLE FOR BACKFILL, THE CONTRACTOR SHALL REMOVE THIS MATERIAL AND ARRANGE FOR AND FURNISH SUITABLE IMPORTED BACKFILL MATERIAL WHICH IS CAPABLE OF ATTAINING THE REQUIRED RELATIVE DENSITY. IMPORTED BACKFILL MATERIAL, OR OTHER BACKFILL MATERIAL SHALL BE APPROVED BY THE ENGINEER, AND PER SECTION 306-12 OF THE "GREENBOOK" STANDARD SPECIFICATIONS.
3. PVC PIPE BEDDING FROM THE BOTTOM OF PIPE TO 12 INCHES MINIMUM ABOVE THE PIPE SHALL BE 1/4 INCH CRUSHED ROCK. FILTER FABRIC WRAP "BURRITO WRAP" IS REQUIRED WHERE CRUSHED ROCK ENVELOPE IS USED.
4. AFTER COMPLETION OF PIPE LAYING, ALL MAIN LINE SEWERS, SERVICE LATERALS AND STRUCTURES SHALL BE TESTED IN THE PRESENCE OF THE INSPECTOR. AIR PRESSURE TEST, PER SSPWC SECTION 306-7.8.2.4, AND MANDREL TEST, PER SECTION 306-7.8.3.2 SHALL BE USED UNLESS OTHERWISE DIRECTED BY THE COUNTY INSPECTOR.

FINAL ACCEPTANCE OF SEWER LINES WILL BE SUBJECT TO INTERNAL CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION. IT WILL BE THE PERMITEE'S RESPONSIBILITY TO PAY FOR THE COST OF THIS WORK.

A. CCTV INSPECTION PROCEDURES:

- 1) VIDEO INSPECTION SHALL SHOW WITH HIGH RESOLUTION, OPERATIONAL AND STRUCTURAL DEFECTS E.G., INFLOWS, SAGS, OFFSET JOINTS, CRACKS, ROUGHNESS, "FINS" OR FOLDS IN THE PIPELINES, COMPLETE WITH AUDIO COMMENTARY AND INSPECTION LOG.
2) THE SANITATION DISTRICT ENGINEER AND COUNTY INSPECTOR SHALL BE NOTIFIED A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF VIDEO INSPECTING.
3) VIDEO INSPECTION SHALL BE PERFORMED ONE PIPE REACH (E.G., MANHOLE TO MANHOLE) AT A TIME.
4) THE CONTRACTOR SHALL VIDEO INSPECT THE PIPELINE WITH MAXIMUM FLOW DIVERTED (IF REQUIRED) FROM THE PIPELINE. THE PIPE REACH BEING INSPECTED SHALL BE ISOLATED FROM THE REMAINDER OF THE PIPELINES WITH THE UPSTREAM SEWAGE FLOW BYPASSED (IF REQUIRED). IN THE EVENT THAT THE EXISTING FLOW IS INTERFERING WITH THE VIDEO OPERATION, A BYPASS SHALL BE PERFORMED BY THE CONTRACTOR TO LOWER THE FLOW VOLUME SUFFICIENTLY TO ALLOW FOR A CLEAR VIDEO PICTURE. SUFFICIENT WATER SHALL BE SUPPLIED TO THE ISOLATED SECTION TO CAUSE DRAINAGE REACHING THE DOWNSTREAM MANHOLE PRIOR TO VIDEO INSPECTING. IF EXISTING FLOWS ARE HIGH, PRE-CONSTRUCTION VIDEO INSPECTION CAN BE DONE WITH PARTIAL FLOW. DEPTH OF THE FLOW SHALL NOT EXCEED:

- A. PIPES 6" - 10" - 20% OF THE PIPE DIAMETER.
B. PIPES 12" - 24" - 25% OF THE PIPE DIAMETER.
C. PIPES 27" AND UP - 30% OF THE PIPE DIAMETER.

- 5) THE CAMERA SHALL BE MOVED THROUGH THE PIPELINE IN A DOWNSTREAM DIRECTION AT A UNIFORM RATE BY MEANS OF POWER CABLE WINCHES OR SELF-PROPELLED TRACTORS AT EACH MANHOLE, STOPPING AND ROTATING THE CAMERA HEAD AT EACH LATERAL CONNECTION, DEFECT, OR BOTH TO ALLOW FOR ADEQUATE EVALUATION. THE CONTRACTOR SHALL STOP WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPE CONDITION, BUT IN NO CASE SHALL THE CAMERA BE PULLED AT A SPEED GREATER THAN 30' PER MINUTE. A CLEAR PICTURE SHALL BE PROVIDED LOOKING INTO EACH SERVICE CONNECTION. BOTH PRE AND POST VIDEO INSPECTIONS SHALL BE SUBMITTED TO THE ENGINEER.
6) MEASUREMENT FOR LOCATION OF DEFECTS SHALL BE ABOVE GROUND BY MEANS OF A MEASURING DEVICE. FOOTAGES SHOWN IN THE DIGITAL FILES SHALL COINCIDE WITH HORIZONTAL LENGTHS FROM STATIONING AS SHOWN ON THE PLANS. FOOTAGE MEASUREMENTS SHALL BEGIN AT THE CENTERLINE OF THE UPSTREAM MANHOLE OR STORM DRAIN ACCESS POINT, UNLESS PERMISSION IS GIVEN BY THE ENGINEER TO DO OTHERWISE.
7) THE CONTRACTOR SHALL CLEAN THE SEWER MAINS PRIOR TO VIDEO INSPECTING AS NECESSARY TO ADEQUATELY PERFORM THE VIDEO RECORDING OPERATIONS. IF THE CAMERA WILL NOT PASS THROUGH THE ENTIRE PIPELINE SECTION, THE CONTRACTOR SHALL RESET THE EQUIPMENT AT THE DOWNSTREAM MANHOLE AND ATTEMPT TO INSPECT THE SECTION OF THE PIPE FROM THE OPPOSITE DIRECTION. IF THE CAMERA FAILS TO PASS THROUGH THE ENTIRE SECTION, IT SHALL BE ASSUMED THAT AN OBSTRUCTION EXISTS. EFFORTS TO VIDEO RECORD THAT SECTION OF PIPE SHALL BE TEMPORARILY SUSPENDED AND THE CONTRACTOR SHALL NOTIFY THE ENGINEER. UPON REMOVAL OF THE OBSTRUCTION, THE CONTRACTOR SHALL COMPLETE THE INSPECTION.

- 8) IF AN OBSTRUCTION IS ENCOUNTERED DURING THE POST-CONSTRUCTION VIDEO INSPECTION, THE CONTRACTOR SHALL REMOVE THE OBSTRUCTION BY EXCAVATION, REPAIR, OR OTHER MEANS APPROVED BY THE ENGINEER AT THE CONTRACTOR'S EXPENSE, IN ORDER THAT VIDEO INSPECTION MAY CONTINUE.
9) THE SYSTEM USED TO MOVE THE CAMERA THROUGH THE PIPE SHALL NOT OBSTRUCT THE CAMERA'S VIEW. THE CONTRACTOR SHALL CALIBRATE THE MEASURING DEVICE EACH DAY WITH A KNOWN DISTANCE TO THE SATISFACTION OF THE ENGINEER PRIOR TO STARTING THE INSPECTION AND VIDEO RECORDING PROCESS.
10) THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL FOR ANY ADDITIONAL POINT REPAIRS.

B. TOLERANCES ENCOUNTERED FOLLOWING INSPECTION SHALL BE ADDRESSED AS FOLLOWS:

- 1) FOR NEW UNDERGROUND SEWER INSTALLATIONS, THE MAXIMUM OPERATIONAL TOLERANCE FOR SAG SHALL BE 1/2". WHEN VIDEO RECORDED INSPECTION IS USED TO CHECK FOR SAG, A CALIBRATED 1/4" DIAMETER STEEL BAR/"SAG GAGE" OR APPROVED EQUAL DEVICE, MOUNTED IN FRONT OF THE CAMERA, SHALL BE USED TO MEASURE THE DEPTH OF SAG.
2) IF THE ENGINEER DETERMINES THAT THE DEFICIENCIES OR SAGS ARE NON-REPAIRABLE IN PLACE, THE AFFECTED PORTION(S) SHALL BE RECONSTRUCTED.

SEWER NOTES (CONT.):

- 5. THE CONSTRUCTION OF PCC SEWER MANHOLE PER SDRSD SM-01 OR SM-02 POURED-IN-PLACE MANHOLE BASES SHALL BE A MONOLITHIC POUR FINISHED COMPLETED AT THE TIME OF POUR. EACH NEW MANHOLE SHALL BE VACUUM TESTED PRIOR TO BACK FILLING. THE TEST SHALL BE CONDUCTED IMMEDIATELY AFTER PLACEMENT OF PRE-CAST UNITS WITH POLYMER MORTAR/BUTYL SEALANT. ALL PIPES IN THE MANHOLE SHALL BE SECURELY PLUGGED. THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP PRE-CAST UNIT PRIOR TO THE INSTALLATION OF THE GRADE RING, AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

A VACUUM OF 10 PSI SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVE CLOSED, THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9 PSI. THE MANHOLE SHALL PASS IF THE TIME IS GREATER THAN 75 SECONDS FOR SDRSD SM-2 AND 60 SECONDS FOR SDRSD SM-1 MANHOLE. IF THE MANHOLE FAILS THE INITIAL TEST, NECESSARY REPAIRS SHALL BE MADE WITH NO SHRINK GROUT WHILE VACUUM IS STILL BEING DRAWN. RE-TESTING SHALL PROCEED UNTIL A SATISFACTORY TEST IS OBTAINED.

- 6. THE CONSTRUCTION OF 4-INCH SEWER LATERALS SHALL BE PER SDRSD SS-01 AND SS-02. LATERALS SHALL NOT DISCHARGE DIRECTLY INTO MANHOLES. A CLEANOUT SHALL BE INSTALLED APPROXIMATELY 2 FEET INSIDE THE PROPERTY LINE.
7. THE CONSTRUCTION OF CUT-OFF WALLS SHALL BE PER SDRSD NO. SP-07 ON ALL SEGMENTS HAVING A SLOPE OF 20% TO 50%. CONSTRUCTION OF SLOPE PROTECTION WALLS SHALL BE PER SP-05.
8. ALL MAINS AND LATERALS SHALL BE CONSTRUCTED WITH 48 INCHES MINIMUM COVER, PROVIDED THAT THE INVERT OF THE LATERAL AT THE PROPERTY LINE IS ABOVE THE SOFFIT LINE OF THE SEWER MAIN.

- 9. THE FINAL LOCATION AND ELEVATION OF SEWER AND WATER LATERALS SHALL BE SHOWN ON ORIGINAL PLANS, PRIOR TO ACCEPTANCE FOR PUBLIC USE.
10. ALL DESIGN CHANGES OF SEWER MAINS SHALL BE APPROVED BY THE DISTRICT ENGINEER, IN WRITING, PRIOR TO ACCEPTANCE OF WORK.
11. FILL AREAS MUST BE COMPACTED TO 90% PRIOR TO PIPE INSTALLATION.
12. THE CONTRACTOR SHALL NOTIFY THE PRIVATE DEVELOPMENT CONSTRUCTION INSPECTION DEPARTMENT OR SAN DIEGO COUNTY SANITATION DISTRICT OFFICE 48 HOURS IN ADVANCE OF BEGINNING WORK TO ARRANGE FOR INSPECTION OF THE PROJECT.

- 13. THE CONTRACTOR SHALL PURCHASE A PERMIT FROM THE COUNTY DEPARTMENT OF PUBLIC WORKS FOR ANY EXCAVATION WITHIN EXISTING COUNTY RIGHTS-OF-WAY.
14. CONTRACTOR RECORD DRAWINGS MUST BE SUBMITTED PRIOR TO FINAL ACCEPTANCE OF THE WORK. THEY MUST REFLECT POST CONSTRUCTION VERIFICATION OF PIPE LENGTHS AND INVERT ELEVATIONS.
15. THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK BY THE OWNER AND SHALL REPAIR OR REPLACE ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK THAT MAY BE DISPLACED IN SO DOING, THAT MAY PROVE DEFECTIVE IN WORKMANSHIP AND/OR MATERIALS WITHIN THE ONE 1-YEAR PERIOD FROM THE DATE OF ACCEPTANCE WITHOUT EXPENSE WHATSOEVER TO THE OWNER, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLIGENCE EXCEPTED.

- 16. THE CONTRACTOR SHALL FURNISH AND INSTALL, PER SPECIFICATIONS, THE APPROPRIATE BURIED UTILITY WARNING AND IDENTIFICATION TAPE ABOVE ALL PUBLIC SEWER LINES, INCLUDING SEWER LATERALS, LOCATED IN THE PUBLIC RIGHT-OF-WAY.
17. THE CONTRACTOR MUST CALL "DIG-ALERT" OF SOUTHERN CALIFORNIA TO HAVE UNDERGROUND SERVICE UTILITIES LOCATED PRIOR TO CONSTRUCTION. THE CALL WILL BE MADE AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. 1-800-422-4133.
18. AT ALL MANHOLES, THE MINIMUM FALL ACROSS MANHOLE SHALL BE 0.1 FEET. AT ANGLES LARGER THAN 45 DEGREES, ALLOW 0.2 FEET FALL.
19. JOINT SEALANT AND EXTERIOR WATER PROOFING (WHERE SPECIFIED)

POLYMER MORTAR SHALL BE USED TO JOIN PRE-CAST COMPONENTS ON ALL MANHOLES TO CREATE WATERTIGHT JOINTS TO RESIST INFILTRATION. THE MORTAR SHALL BE MIXED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND SHALL NOT EXCEED FIVE PARTS SAND TO ONE PART POLYMER. ACCEPTABLE JOINT SEALANT PRODUCTS SHALL BE SKIDDER 31 AND 32 HI-MOD GEL MANUFACTURED BY SIKKA CORPORATION, 490 EPOXY PUTTY AND 498 UNDERWATER EPOXY PUTTY MANUFACTURED BY ENGARD COATINGS, AND CS 102 BUTYL GASKETS (ROPE FORM) MANUFACTURED BY CONCRETE SEALANTS OR APPROVED EQUAL.

THE CONCRETE OR OTHER SURFACES THAT ARE TO ADHERE TO POLYMER MORTAR SHALL BE FREE FROM DUST, LOOSE AGGREGATES, OIL, GREASE OR OTHER CONTAMINANTS.

ON ALL MANHOLES, CONTRACTOR SHALL APPLY WATERPROOFING AGENT CONSISTING OF A DAMP PROOF AND WATERPROOF COATING ON ALL EXTERIOR SURFACES. THE COATING SHALL BE COAT MASTERS CM7007, OR APPROVED EQUAL. THE COATING SHALL BE APPLIED IN NO LESS THAN TWO COATS TO ACHIEVE A TOTAL DRY THICKNESS OF 25 MILS MINIMUM. THE EXTERIOR COATINGS SHALL BE APPLIED PRIOR TO DELIVERY TO THE JOBSITE. IN ADDITION, A BITUMASTIC BAND 6 INCHES WIDE SHALL BE APPLIED AT ALL JOINTS ON EXTERIOR OF SUCH MANHOLES THAT SHALL BE WATERPROOFED. FULL COMPENSATION FOR THE WATERPROOFING OF MANHOLES SHALL BE AWARDED.

WHEN COMPLETED, ALL MANHOLES SHALL BE WATERTIGHT WITH ZERO INFILTRATION OF GROUNDWATER.

20. EPOXY LINING COATING (WHERE SPECIFIED).

SM-01 CONSTRUCTION MANHOLES AS IDENTIFIED ON EACH PROPOSED SEWER MAIN PROFILE: MANHOLE BOTTOM AND ENTIRE INTERIOR OF CONCRETE MANHOLE SHALL BE LINED WITH EPOXY. THE EPOXY PRODUCT SHALL BE RAVEN 405 MANUFACTURED BY RAVEN LINING SYSTEMS, OR APPROVED EQUAL.

THE PRIMER MATERIAL SHALL BE 100% SOLIDS, MOISTURE TOLERANT EPOXY CAPABLE OF SPRAY APPLICATION TO 5 MILS THICKNESS IN ONE CONTINUOUS COAT.

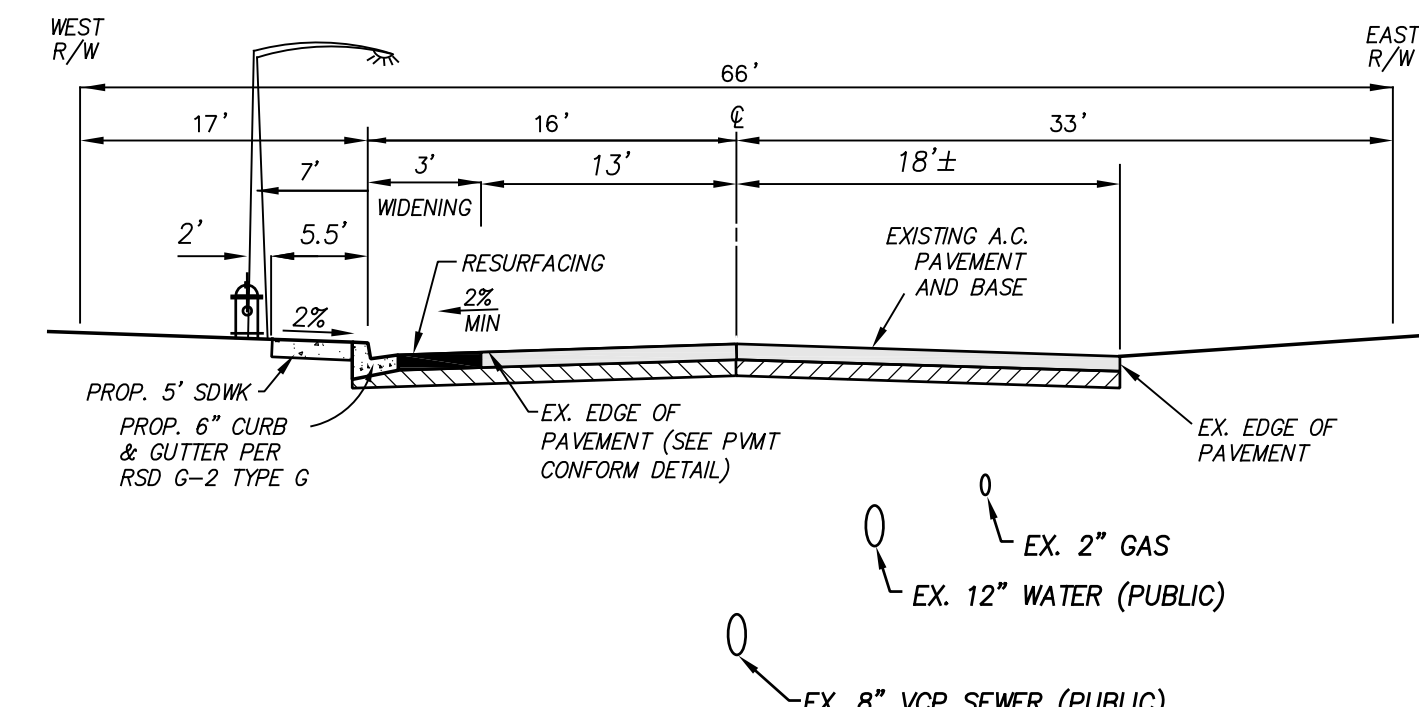
THE LINING MATERIAL SHALL BE 100% SOLID, HIGH BUILD EPOXY CAPABLE OF SPRAY APPLICATION 125 MILS THICKNESS IN ONE CONTINUOUS COAT. THE MATERIAL SHALL MEET THE REQUIREMENT OF THE SSPWC SECTION 210-2.3.3, "CHEMICAL RESISTANCE TEST", AND THE SSPWC SECTION 500-2.4.10, "APPLICABLE STANDARD".

ONLY WORKERS TRAINED BY, AND QUALIFIED AS INSTALLERS BY THE MANUFACTURER, SHALL BE USED ON THIS WORK. CONTRACTOR SHALL PROVIDE MANUFACTURER'S CERTIFICATIONS.

THE EPOXY LINING SHALL BE CONTINUOUS WITHOUT SEAMS, UNIFORM IN COLOR, FULLY CURED, AND FREE OF PINHOLES, SURFACE IMPERFECTIONS, AND BLISTERS. THE LINING MUST COMPLETELY BOND TO THE CONCRETE. THE COLOR SHALL BE LIGHT BLUE.

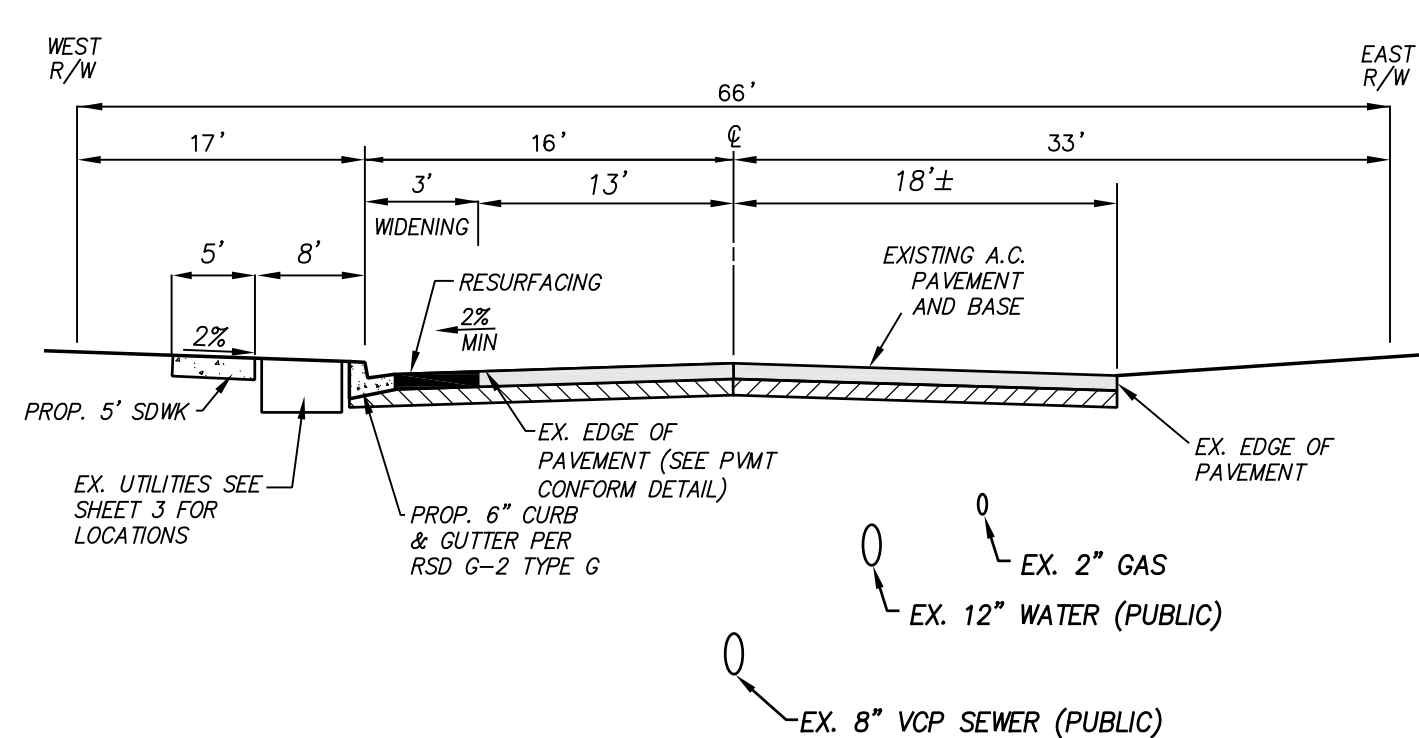
TESTING OF MANHOLE

THE CURED EPOXY LINING SHALL BE SPARK TESTED FOR PINHOLES AT 15,000 VOLTS MINIMUM. ALL PINHOLES SHALL BE REPAIRED AS SPECIFIED IN SECTION 500-2.4.9, "REPAIR METHODS" OF THE SSPWC (GREENBOOK).



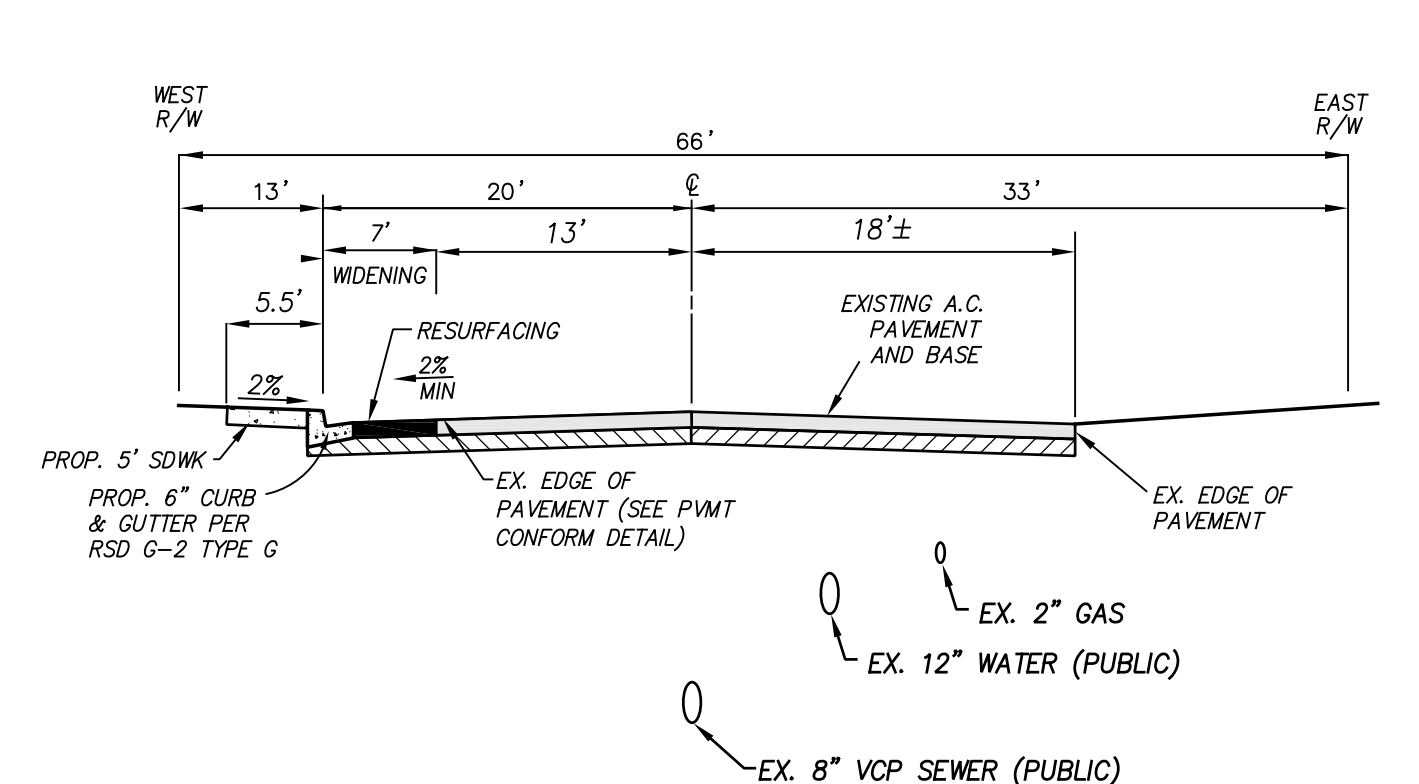
NORTH FIRST STREET (PUBLIC)

TYPICAL SECTION: STA 10+00 TO 10+65



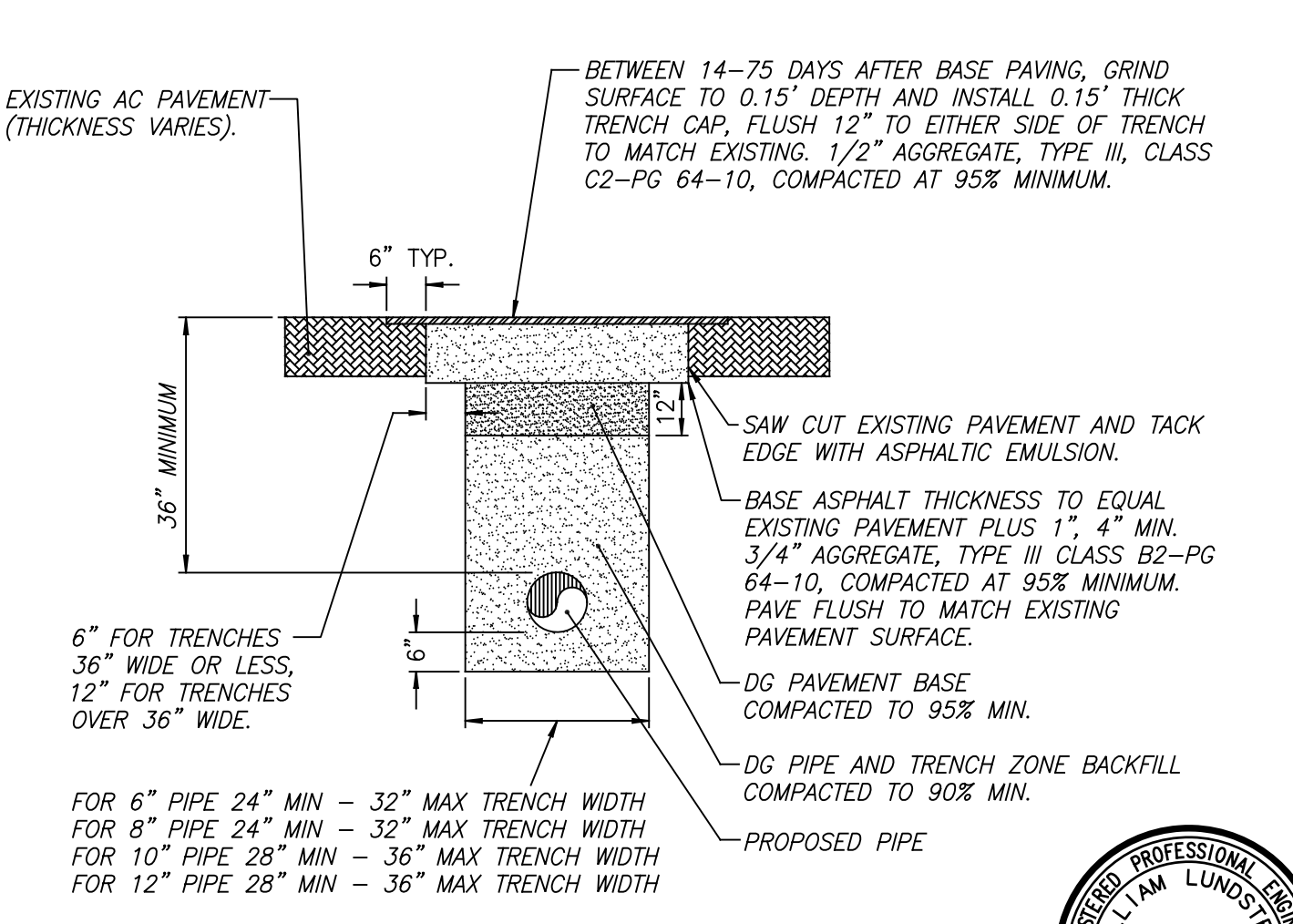
NORTH FIRST STREET (PUBLIC)

TYPICAL SECTION: STA 10+65 TO 11+30



NORTH FIRST STREET (PUBLIC)

TYPICAL SECTION: STA 11+30 TO 12+05

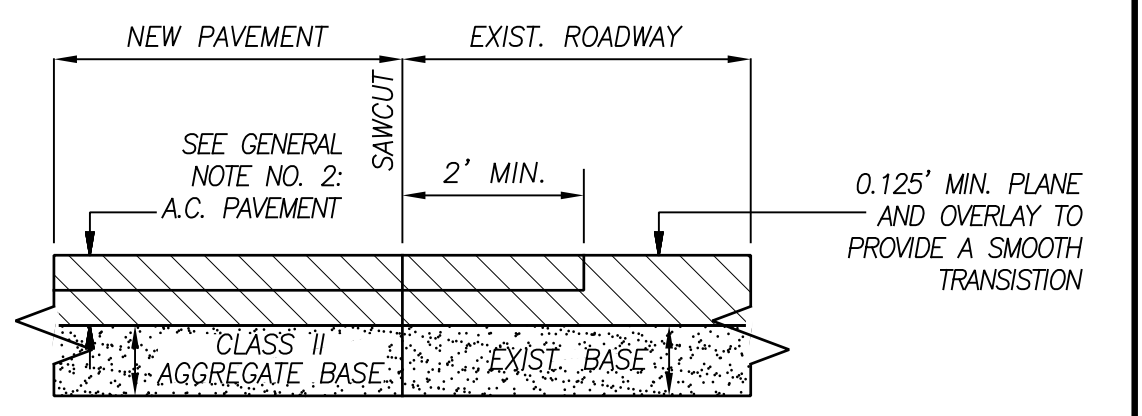


HWD TRENCH REPAIR DETAIL

NOT TO SCALE

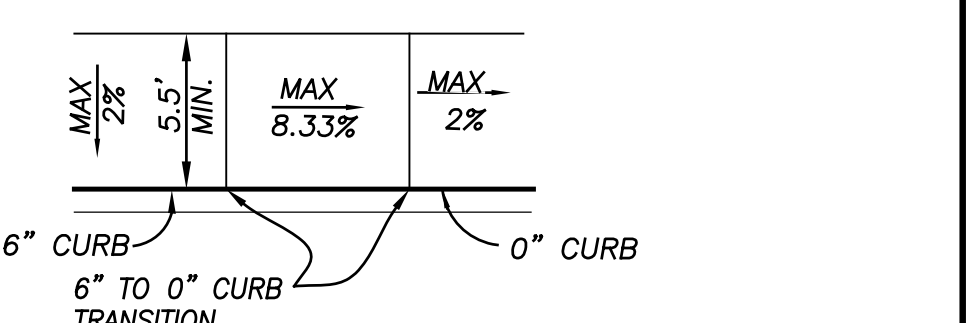
ABBREVIATIONS

Table listing abbreviations and their meanings: TC TOP OF CURB, TH TOP OF HEADER, RC ROLLED CURB, FL FLOW LINE, DC TOP OF DEPRESSED CURB, BC BEGIN OF CURVE, EC END OF CURVE, BVC BEGIN VERTICAL CURVE, EVC END VERTICAL CURVE, PCR POINT OF CURB RETURN, AC ASPHALT CONCRETE, PCC PORTLAND CEMENT CONCRETE, PP POWER POLE, TP TELEPHONE POLE, ST, LT. STREET LIGHT, FH FIRE HYDRANT, PL PROPERTY LINE, CL CENTER LINE, CB CATCH BASIN, CI CURB INLET, CO CLEANOUT, CF CURB FACE, IE INVERT ELEVATION, PVC POLY VINYL CHLORIDE, ROS RECORD OF SURVEY, EPA ENVIRONMENTAL PROTECTION AGENCY, AB AGGREGATE BASE, RCP REINFORCED CONCRETE PIPE, GB GRADE BREAK, TB THRUST BLOCK, RWGV RESILIENT WEDGE GATE VALVE, RP REDUCED PRESSURE PRINCIPLE BACKFLOW DEVICE, RPDA REDUCED PRESSURE DETECTOR ASSEMBLY, GV GATE VALVE, HDPE HIGH DENSITY POLYETHYLENE, PVTSL PRIVATE SEWER LATERAL



PAVEMENT CONFORM DETAIL

NOT TO SCALE



CURB RAMP TRANSITION

NOT TO SCALE

PRIVATE CONTRACT form for County of San Diego Department of Public Works, sheet 2 of 3. Plans for public improvement of 1140 North First Street, El Cajon, CA 92021. Approved by William P. Morgan, County Engineer, and William Lundstrom, Engineer of Work. Improvement permit no. PDS2021-LDPIP-60101.



ENGINEER'S NAME: (619) 814-1220 PHONE NO.

**Attachment D – Approved Density Bonus
Application**



VINCE NICOLETTI
INTERIM DIRECTOR

PLANNING & DEVELOPMENT SERVICES

5510 OVERLAND DRIVE, SUITE 210, SAN DIEGO, CALIFORNIA 92123
(858) 505-6445 General • (858) 694-2705 Codes Compliance
(858) 565-5920 Building Services

September 27, 2024

Alex Lisnevsky
3268 Governor Drive,
Ste 200, San Diego, CA 92122

PROJECT NAME: 1140 North First Street Tentative Map Condominium Conversion

RECORD ID: PDS2024-TM-5654

ENVIRONMENTAL LOG NO.: PDS2014-ER-24-14-008

PROJECT ADDRESS: 1140-1142 First Front Street 92021 within Unincorporated San Diego County

APN: 484-092-021

TRUST ACCOUNT NO.: 2206722-D-09681

DRAFT DENSITY BONUS APPLICATION

Dear Mr. Lisnevsky:

Planning & Development Services (PDS) has reviewed your application for compliance with the Density Bonus Program pursuant to Government Code Section 65915 et seq. and Section 6350 through 6399 of the Zoning Ordinance. PDS has determined the project is eligible for the requested density bonus and incentives/waivers as noted below.

PROJECT DESCRIPTION

The applicant requests a Tentative Map for condominium conversion purposes for 40 existing apartment residential units. The 1.84-acre project site is located at North 1st Street in the Lakeside Community Plan Area, within the unincorporated San Diego County. The project is subject to the General Plan Regional Category Village, Land Use Designation Village Residential (VR-15) which permits subdivision of land for condominium conversion purposes upon the approval of a Tentative Map pursuant to Section 81.105 of the Subdivision Ordinance. Zoning for the site is Variable Family Residential (RV). The residential development has an approved Density Bonus application pursuant to Government Code Section 65915 et seq. and Section 6350 through 6399 of the Zoning Ordinance. Of the 40 units, 36 will be market rate and four will be affordable at the "very low-income" level. The existing development includes two

three-story, 16,819 square-foot buildings with 40 units with attached garages. Each unit ranges from two to three-bedroom units and range in size from 771 square feet to 1,102 square feet. The development contains two office space units that are in process to be converted to residential units. Access is provided by an existing private driveway which merges into a private parking area for the residential development. This driveway connects to North 1st Street, a County-maintained road. The project proposes no physical changes and no new units are proposed. As identified in the previous Density Bonus Application the applicant proposes to set aside 4 units or approximately 13% of the base units as affordable to very low-income households. The following incentives were requested and approved:

1. Building Height incentive to increase the stories permitted from two to three and to allow for a building height of up to 38 feet high.

BASE UNITS:

The site is subject to the General Plan Regional Category Village, Land Use Designation Village Residential 15 (VR-15), 15 dwelling units per acre. The number of base units is calculated at: 1.84 acres x 15 units/acre = 27.6 units, which rounds up to 28 units.

DENSITY BONUS ALLOWANCE:

The applicant is proposing to reserve 13% of the base units (4 units) very low-income households; therefore, the project is eligible for a 42.5% density bonus.

Density Bonus Calculation: 28 base units x 42.5% density bonus = 39.9 units, which rounds up to 40 units.

A maximum of 40 units with four units reserved for very low income may be constructed pursuant to the Density Bonus Program.

INCENTIVES: Based on the project reserving 13% of the base units for very low-income households, the project qualifies for two incentives and is requesting the following one incentive: 1. Building Height incentive to increase the stories permitted from two to three and to allow for a building height of up to 38-feet high.

AFFORDABLE HOUSING AGREEMENT:

Pursuant to Section 7430(a) of the Zoning Ordinance, prior to building permit issuance, the applicant shall enter into a contract with the Department of Housing and Community Development Services, agreeing to specific terms and conditions of the Density Bonus Program and to periodic inspections of the housing by County employees.

PERMITS: The project was reviewed for compliance with the Density Bonus Program. Additional project comments will be provided during the grading and building permit process. The issuance of this permit by the County of San Diego does not authorize the applicant for said permit to violate any Federal, State, or County laws, ordinances, regulations or policies. If you have any questions regarding this determination, please contact Bronwyn Brown at (619) 309-9949 or Bronwyn.Brown@sdcounty.ca.gov.

Page 2

PLANNING & DEVELOPMENT SERVICES
VINCE NICOLETTI, INTERIM DIRECTOR

By:

Mark Slovick

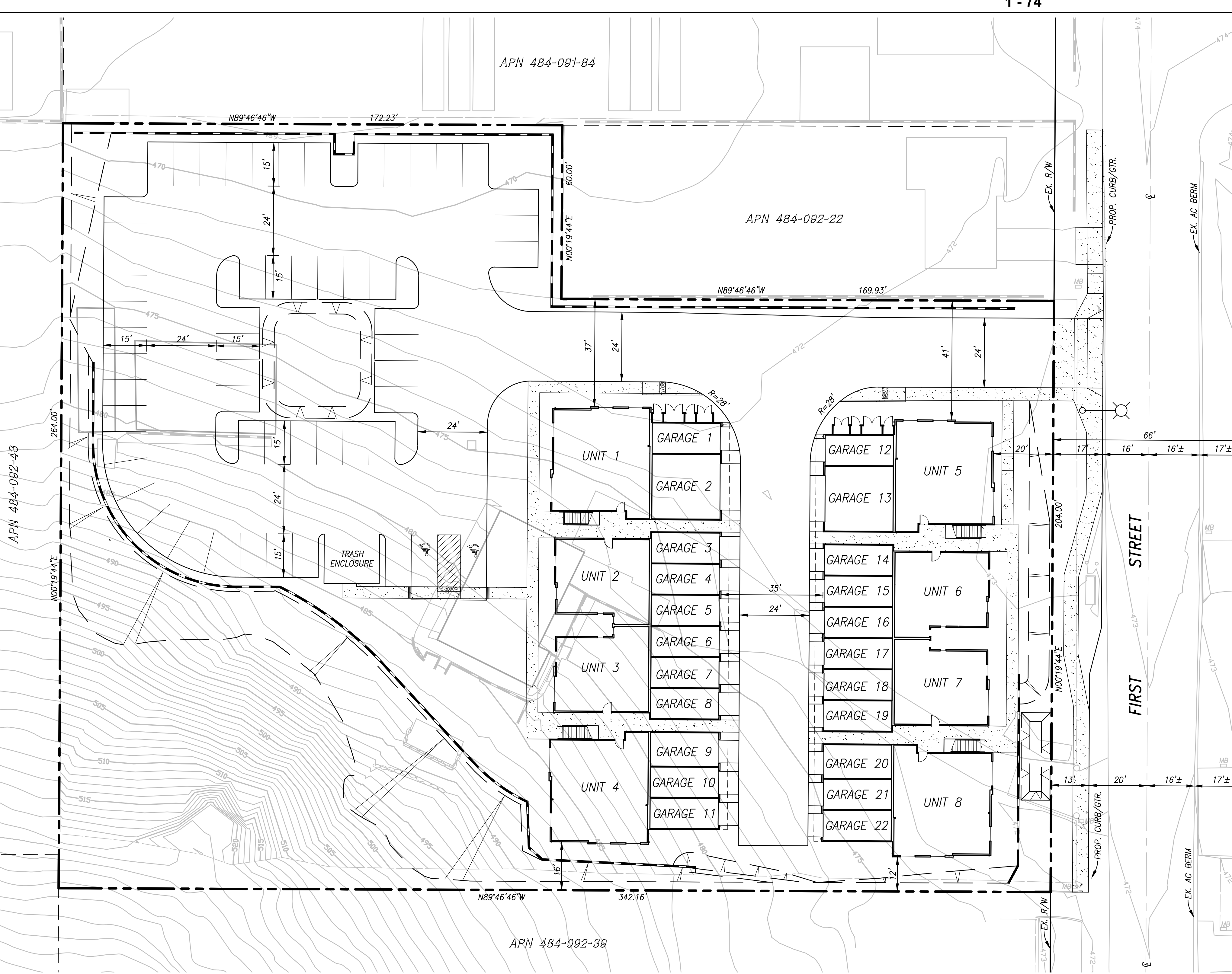
Mark Slovick
Deputy Director

Attachment: Tentative Map

COUNTY OF SAN DIEGO TRACT

1140 FIRST STREET TENTATIVE MAP

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 OF THE STATE OF CALIFORNIA CIVIL CODES. THE MAXIMUM NUMBER OF DWELLING UNITS IS 40.



LEGEND

- SUBDIVISION BOUNDARY
- EXISTING RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING CENTERLINE
- EXISTING AC BERM
- EXISTING RETAINING WALL
- EXISTING ROCKS
- EXISTING CONTOUR
- EXISTING STRUCTURE
- PROPOSED CURB
- PROPOSED SLOPE (2:1 U.O.N.)
- PROPOSED PCC SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED STREET LIGHT

UNIT NO.	NO. OF BEDROOMS	UNIT NO.	NO. OF BEDROOMS
1	3	21	3
2	2	22	2
3	2	23	2
4	3	24	3
5	3	25	3
6	2	26	2
7	2	27	2
8	3	28	3
9	3	29	2
10	2	30	2
11	2	31	2
12	3	32	2
13	2	33	2
14	2	34	2
15	2	35	2
16	2	36	2
17	2	37	3
18	2	38	2
19	2	39	2
20	2	40	3

TOTAL NUMBER OF 2-BEDROOM UNITS: 28
 TOTAL NUMBER OF 3-BEDROOM UNITS: 12
 TOTAL NUMBER OF UNITS: 40

ASSESSOR'S PARCEL NUMBER: 484-092-21

LEGAL DESCRIPTION: A PORTION OF LOT 9 IN BLOCK 3, TRACT 'S' OF THE RANCHO EL CAJON SUBDIVISION, ALONG WITH A PORTION OF FIRST STREET, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

GROSS/NET ACREAGE: 1.840 ACRES

TOTAL NUMBER OF LOTS PROPOSED: 1

MINIMUM LOT SIZE: 1.84 ACRES

EXISTING/PROPOSED ZONING

USE REGULATIONS	RV
ANIMAL REGULATIONS	Q
DENSITY	-
LOT SIZE	6,000sf
BLDG. TYPE	K
MAX. FLOOR AREA	-
FLOOR AREA RATIO	-
HEIGHT	G
COVERAGE	-
SETBACK	J
OPEN SPACE	-
SPECIAL AREA REGULATIONS	C

GENERAL PLAN REGIONAL CATEGORY: VILLAGE

GENERAL PLAN LAND USE DESIGNATION: VILLAGE RESIDENTIAL VR-15

COMMUNITY PLAN: LAKESIDE

SPECIAL ASSESSMENT ACT STATEMENT: NO PROCEEDINGS PROPOSED.

PARK LAND DEDICATION STATEMENT: PARK FEES IN LIEU OF PARK LAND DEDICATION ARE PROPOSED.

STREET LIGHTS: STREET LIGHTS TO BE INSTALLED IN ACCORDANCE WITH COUNTY STANDARDS.

SOLAR ACCESS STATEMENT: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING UNIT ALLOWED BY THIS SUBDIVISION.

TOPOGRAPHY: TOPOGRAPHY PROVIDED BY LUNDSTROM ENGINEERING & SURVEYING, INC., DATED JULY, 2016.

SEWER DISTRICT: SAN DIEGO COUNTY SANITATION DISTRICT

WATER DISTRICT: HELIX WATER DISTRICT

FIRE DISTRICT: SAN MIGUEL FIRE PROTECTION DISTRICT

SCHOOL DISTRICTS: CAJON VALLEY UNION ELEMENTARY DISTRICT
GROSSMONT UNION HIGH SCHOOL DISTRICT

STREET LIGHT DISTRICT: COUNTY SERVICE AREA

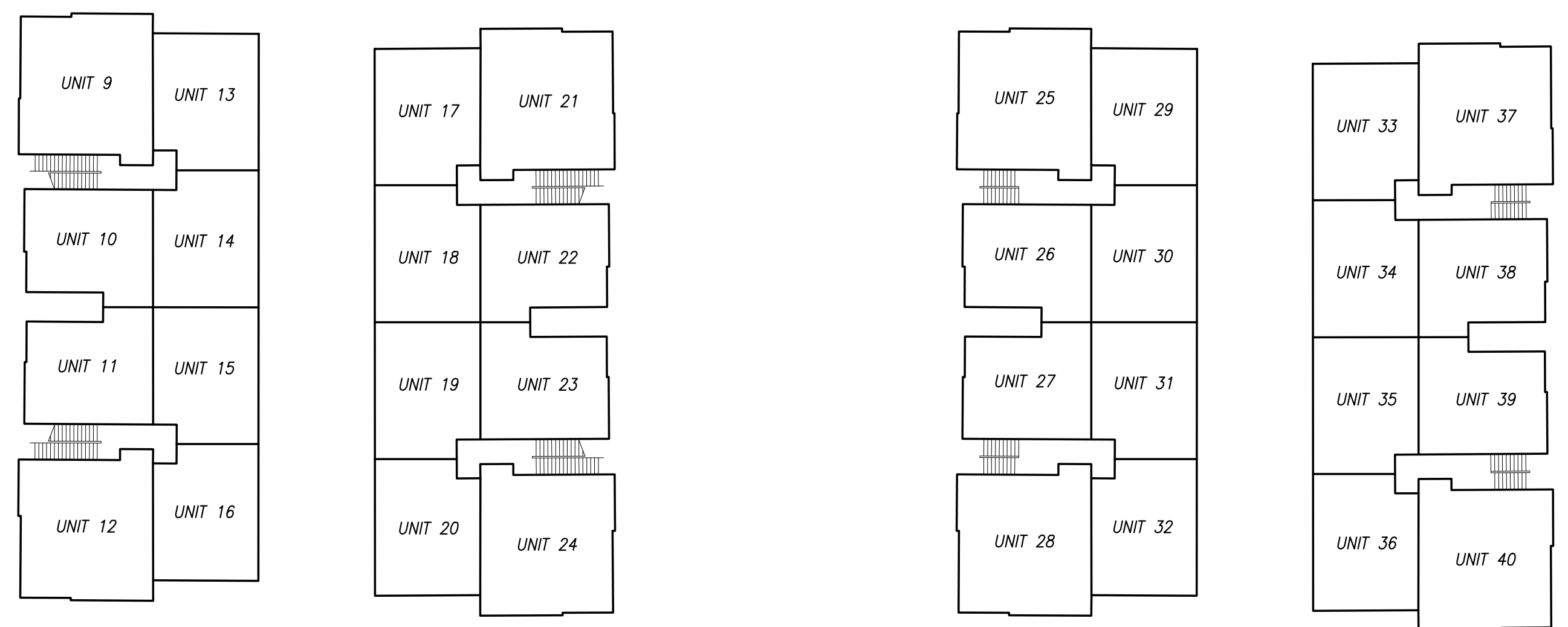
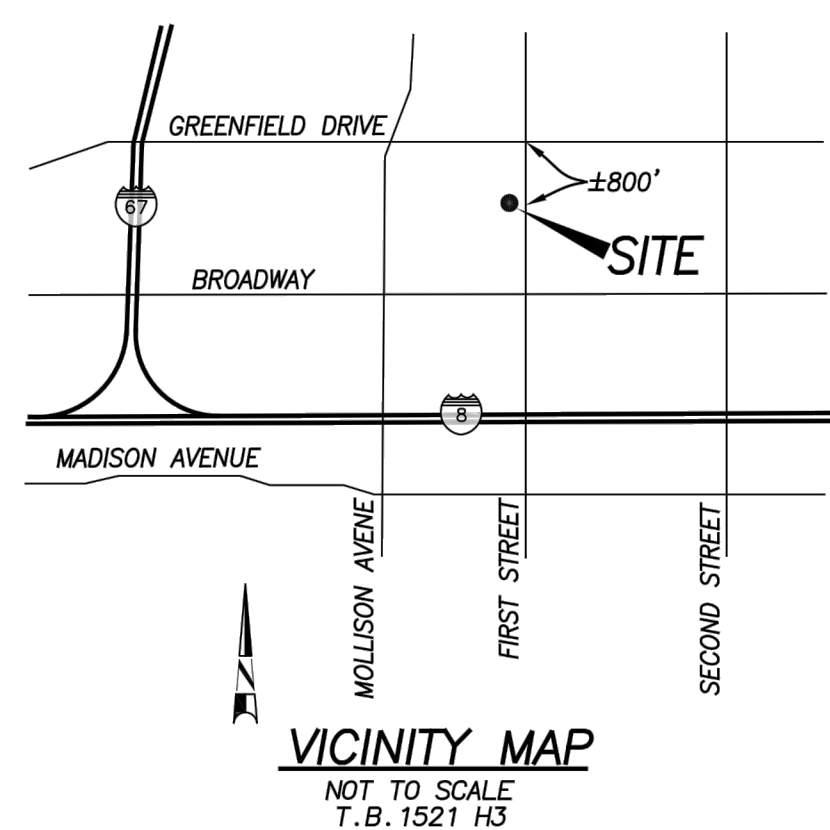
GAS & ELECTRIC: SAN DIEGO GAS & ELECTRIC

EXISTING EASEMENTS

AN EASEMENT TO SDG&E FOR ELECTRICAL TRANSMISSION AND DISTRIBUTION FACILITIES PER DOC. REC. AUGUST 4, 1941 IN BOOK 1214, PAGE 304, O.R. THE ROUTE OF SAID EASEMENT CANNOT BE DETERMINED FROM SAID INSTRUMENT AND IS THEREFORE NOT PLOTTED HERON.

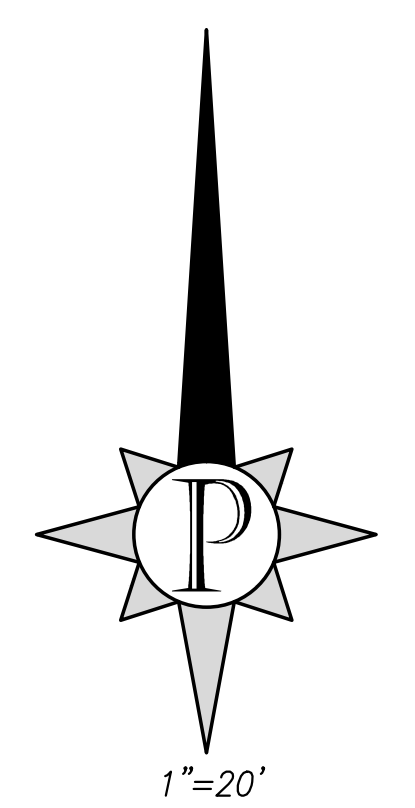
CONSTRUCTION NOTES

- ALL EXISTING STRUCTURES, WALLS AND PAVING ON-SITE TO BE REMOVED.



SECOND FLOOR
1" = 30'

THIRD FLOOR
1" = 30'



JULY 12, 2024

OWNER/SUBDIVIDER
 GREENBUILD PROPERTIES, LLC
 3268 GOVERNOR DRIVE, SUITE 200
 SAN DIEGO, CA 92122
 PHONE: (619) 993-7799

ENGINEER OF WORK
 POLARIS DEVELOPMENT CONSULTANTS, INC.
 2514 JAMACHA ROAD, SUITE 502-31
 EL CAJON, CA 92019
 PHONE: (619) 248-2932



ALEX LISNEVSKY

DATE

JOEL A. WAYMIRE, R.C.E. 56258

DATE

2514 Jamacha Road, Suite 502-31 • El Cajon, CA 92019 • 619-248-2932

Attachment E – Environmental Documentation

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
Attn: James Scott
1600 Pacific Highway, M.S. A33
San Diego, CA 92101

FROM: County of San Diego
Planning & Development Services, M.S. O650
Attn: Project Planning Division Section Secretary

SUBJECT: FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152

Project Name: Record ID: PDS2024-TM-5654, PDS2024-ER-24-14-008
1140 N. 1st Street Condominium Conversion Tentative Map

Project Location: 1140-1142 N. 1st Street, Lakeside, CA 92021
APN: 484-092-21-00

Project Applicant: BC First LLC, c/o Alex Lisnevsky (alex@usacontact.com; 619-993-7799), 8445 Camino Santa Fe, Suite 102, San Diego, CA 92121

Project Description: A Tentative Map for a condominium conversion of 40 existing residential units.

Agency Approving Project: County of San Diego

County Contact Person: Bronwyn Brown, (619) 309-9949

Date Form Completed: October 18, 2024

This is to advise that the County of San Diego Director of Planning & Development Services has approved the above-described project on October 18, 2024, Item #2 and found the project to be exempt from the CEQA under the following criteria:

- 1. Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)
[] Declared Emergency [C 21080(b)(3); G 15269(a)]
[] Emergency Project [C 21080(b)(4); G 15269(b)(c)]
[] Statutory Exemption. C Section:
[X] Categorical Exemption. G Section: 15301(k)
[X] G 15061(b)(3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.
[] G 15182 - Residential Projects Pursuant to a Specific Plan
[] G 15183 - Projects Consistent with a Community Plan, General Plan, or Zoning
[] Activity is exempt from the CEQA because it is not a project as defined in Section 15378.
2. Mitigation measures [] were [X] were not made a condition of the approval of the project.
3. A Mitigation reporting or monitoring plan [] was [X] was not adopted for this project.

Statement of reasons why project is exempt: Section 15301 consists of the operation, repair, maintenance, leasing, licensing, or minor alteration of existing minor public or private structures facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. Section 15301(k) applies to the division of existing multiple family or single-family residences into common interest ownership where no physical changes occur which are not otherwise exempt. The project is to convert 40 residential units into condominiums. No new construction or operational activities would occur as a result of the project. Therefore, the project is exempt pursuant to CEQA guidelines 15301(k).

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature: _____ Telephone: (619) 309-9949

Name (Print): Bronwyn Brown Title: Land Use/Environmental Planner

This Notice of Exemption has been signed and filed by the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.

**REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH
ORDINANCES/POLICIES**

**FOR PURPOSES OF CONSIDERATION OF
1140 N 1ST STREET TENTATIVE MAP CONDOMINIUM CONVERSION
PDS2024-TM-5654; PDS2024-ER-24-14-008**

October 18, 2024

I. HABITAT LOSS PERMIT ORDINANCE – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES NO NOT APPLICABLE/EXEMPT

Discussion:

Although the Project site is located outside the boundaries of the Multiple Species Conservation Program, the scope of the Project will not impact Coastal Sage Scrub and will not require a Habitat Loss Permit. Therefore, conformance to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings is not required.

II. MSCP/BMO – Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance?

YES NO NOT APPLICABLE/EXEMPT

Discussion:

The proposed project and any off-site improvements related to the proposed project are within the boundaries of the Multiple Species Conservation Program. The project conforms with the Multiple Species Conservation Program and the Biological Mitigation Ordinance as discussed in the MSCP Findings dated August 29, 2024.

III. GROUNDWATER ORDINANCE – Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES NO NOT APPLICABLE/EXEMPT

Discussion:

The project will obtain its water supply from the Padre Dam Municipal Water District which obtains water from surface reservoirs and/or imported sources. The project will not use any groundwater for any purpose, including irrigation or domestic supply.

IV. RESOURCE PROTECTION ORDINANCE – Does the project comply with:

The wetland and wetland buffer regulations (Sections 86.604(a) and (b)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Floodways and Floodplain Fringe section (Sections 86.604(c) and (d)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Steep Slope section (Section 86.604(e))?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Sensitive Habitat Lands section (Section 86.604(f)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Significant Prehistoric and Historic Sites section (Section 86.604(g)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>

Discussion:

Wetland and Wetland Buffers:

The site contains no wetland habitats as defined by the San Diego County Resource Protection Ordinance. The site does not have a substratum of predominately undrained hydric soils, the land does not support, even periodically, hydric plants, nor does the site have a substratum that is non-soil and is saturated with water or covered by water at some time during the growing season of each year. Therefore, it has been found that the proposed project complies with Sections 86.604(a) and (b) of the Resource Protection Ordinance.

Floodways and Floodplain Fringe:

A Floodway or Floodplain fringe does not exist on the project sites subject to the proposed Tentative Map. Construction associated with the project will not be located within a Floodway or Floodplain fringe. Therefore, it has been found that the proposed project complies with Sections 86.604(c) and (d) of the Resource Protection Ordinance.

Steep Slopes:

There are no steep slopes on the property. Therefore, it has been found that the proposed project complies with Sections 86.604(e) of the RPO.

Sensitive Habitats:

No sensitive habitat lands were identified on the site. Therefore, it has been found that the proposed project complies with Section 86.604(f) of the RPO.

Significant Prehistoric and Historic Sites:

The property has been surveyed by a County of San Diego staff archaeologist and it has been determined that the property does not contain any archaeological and/or historical

sites. Therefore, it has been found that the proposed project complies with Section 86.604(g) of the RPO.

V. STORMWATER ORDINANCE (WPO) – Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES

NO

NOT APPLICABLE

Discussion:

The project Storm Water Quality Management Plan has been reviewed and has been found to be complete and in conformance with the WPO.

VI. NOISE ORDINANCE – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES

NO

NOT APPLICABLE

Discussion:

The Project is a subdivision of 40 existing residential units. No construction nor additional units are proposed. The Project is constructed and adhered to the allowable limits of the County of San Diego Noise Element of the General Plan, County of San Diego Noise Ordinance, and other applicable local, State, and Federal noise control regulations.

Transportation (traffic, railroad, aircraft) noise levels at the project site are not expected to exceed Community Noise Equivalent Level (CNEL)=60 decibels (dB) limit because review of the project indicates that the project is not in close proximity to a railroad and/or airport. Additionally, the County of San Diego GIS noise model does not indicate that the project would be subject to potential excessive noise levels from circulation element roads either now or at General Plan buildout.

Noise impacts to the proposed project from adjacent land uses are not expected to exceed the property line sound level limits of the County of San Diego Noise Ordinance.

**MULTIPLE SPECIES CONSERVATION PROGRAM
CONFORMANCE STATEMENT
1140 N 1ST STREET TENTATIVE MAP CONDOMINIUM CONVERSION
PDS2024-TM-5654; PDS2024-ER-24-14-008
APN: 484-092-21**

August 30, 2024

Summary

The applicant proposes a major grading plan to develop a multi-residential parcel. The project site is located within the Metro-Lakeside-Jamul segment of the County's Multiple Species Conservation Program (MSCP) Subarea Plan. The project is therefore required to conform to the MSCP and the Biological Mitigation Ordinance.

Statement of Fact

There are no sensitive habitats or species within the proposed project area. The site is entirely urban / developed and does not support native vegetation. As a Tier IV habitat, no on-site preservation is required, and impacts do not require mitigation under the Biological Mitigation Ordinance. No impacts to wildlife corridors or linkages will occur as the project site does not support geological, topographic or habitat features that would function in a corridor capacity. Furthermore, the site is not classified as a Biological Resource Core Area as it is not within the Pre-Approved Mitigation Area, is not within or adjacent to a large block of undisturbed habitat, is not mapped as having high habitat value and does not support sensitive species. Given the current site conditions and the surrounding land uses, development of this project will not hinder the formation of a future preserve system.

Conclusion

After consideration of the above facts, the proposed project is found to be in conformance with the Multiple Species Conservation Program and the Biological Mitigation Ordinance.

Attachment F – Environmental Findings

ENVIRONMENTAL FINDINGS

1140 N. 1st Street Tentative Map Condominium Conversion
PDS2024-TM-5654
PDS2024-ER-24-14-008

October 18, 2024

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines section 15301(k) for the reasons stated in the Notice of Exemption on file with Planning & Development Services as Environmental Review Number PDS2024-ER-24-14-008.
2. Find that the proposed project is consistent with the Resource Protection Ordinance (County Code, section 86.601 et seq.).
3. Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management, and Discharge Control Ordinance (County Code, section 67.801 et seq.).

Attachment G – Public Documentation

LAKESIDE COMMUNITY PLANNING GROUP
P.O. BOX 389
LAKESIDE, CA 92040

CAROL HAKE, CHAIR

August 30, 2024

County of San Diego
Planning & Development Services
5500 Overland Drive, Suite 210
San Diego, CA 92123

Attention Bronwyn Brown, Land Use & Environmental Planner

Re: Project 2024-TM-5654

Dear Bronwyn:

The Lakeside Community Planning Group has received documentation of the above referenced project. At our June 2021 meeting we reviewed and made an affirmative recommendation.

Since the scope of the plan has not changed other than conversion from apartments to condominiums, the CPG does not need to rehear this item.

If you have questions or comments, please feel free to contact me directly.

Best Regards,



Carol Hake, Chair
Lakeside Community Planning Group
(c) 619-922-4253

Visit us on-line at: LCPG.weebly.com

cc: Chris Brown, Alchemy Consulting Group

LAKESIDE COMMUNITY PLANNING GROUP

PO Box 389 Lakeside, CA 92040 / lakesidecpg@gmail.com

***** MEETING MINUTES*****

WEDNESDAY, June 2, 2021 - 6:30 PM

Due to the restrictions on gatherings in response to COVID-19, in-person participation at the Lakeside Community Planning Board meeting on will not be permitted. The public can join the meetings live online using the following link: <https://us02web.zoom.us/j/82949295425> or they may dial into **(669) 900-6833, Meeting ID 876 5719 3074**.

When appropriate, the Chair will ask for public comments. If you wish to speak, you may use the 'raise your hand' function on zoom. When called upon, please unmute your microphone and begin speaking. Unmute on a phone call is *6. If you do not have the raise hand function on Zoom, you may type the word 'speak' into the chat function and wait to be called upon. Please do not use the chat function for comments so that everyone may speak one at a time. Public comments are generally limited to 3 minutes per person. It is recommended that you download the Zoom app in advance of the meeting. If you would like to practice the raise hand function and mute/unmute, you may join the meeting at 6:00 P.M. before the official meeting begins at 6:30 P.M.

When possible the Lakeside Community Planning Group will ask presenters to provide for a public viewing of available project plans received by the Chair for current and upcoming projects. For more information and to view project plans or presentation materials in advance of the meeting please visit <https://lcpq.weebly.com> or email lakesidecpg@gmail.com.

The Lakeside Community Planning Group is an elected body that acts in an advisory capacity to the Department of Planning & Development Services (PDS), the Planning Commission, the Board of Supervisors and other County departments. The Planning Group's recommendations are advisory only and are not binding on the County of San Diego.

1. CALL TO ORDER / ROLL CALL – Quorum reached with 12 present

Seat 1 – Shari Cohen	P	Seat 2 – Liz Higgins	P	Seat 3 – Ron Kasper	P
Seat 4 – Dan Moody	P	Seat 5 – Carol Hake	P	Seat 6 – Josef Kufa	P
Seat 7 – Sarai Johnson	P	Seat 8 – Jeff Spencer	A	Seat 9 – Connie O'Donnell	P
Seat 10 – Vacant	V	Seat 11 – Tony Santo	P	Seat 12 – Steve Robak	P
Seat 13 – Karolyn Smith	P	Seat 14 – Kristen Everhart	A	Seat 15 – Tiffany Maple	A

B. PDS2021-LDPIIP-60101 – ROAD WIDENING – 1140 N. First Street, EC 92021 – Bill Lundstrom

Motion: Steve Robak Second: Dan Moody

Action: Approve widening the road at 1140 N. First Street 92021

Board Comments:

Kathleen Lippitt: Is a bike lane a priority in Lakeside?

Anthony Santo: What is the existing width? (BL) 13' (AS) Why widening? (BL) Due to the incoming development. (AS) What would the cost be? (BL) \$100,000 (AS) Concerned about traffic for entering the property at the "neck down" to a 38 unit complex just for the development and not for the entire area.

Sari Johnson: Motion to not approve the waiver.

Karolyn Smith: Are there any costs to Lakeside residents? (BL) No.

Steve Robak: Is there a cost analysis about putting utilities underground? (BL) Unknown. I do not have that info with me right now. (SR) If the utilities were underground how much additional space would be made? (BL) 4 additional feet.

Shari Cohen: What type of housing? (BL) Apartments (SC) Will there be parking for all? (BL) Striving for that. (SC) Is there adequate turn around area for this development? (BL) Yes (SC) What is being taken down for this development? (BL) One house.

Liz Higgins: Is this project coming back top the Planning Group? (BL) No (LH) What type of homes are in this area? (BL) Single family homes.

Steve Robak: Does not feel like 4' widening is a concern. Motion to approve the project in current form?

Connie O'Donnell: Pepper Drive school has high traffic in the area. Concerned about extra cars and people (Comment Only).

Community Comments:

Jitka Parez: Concerned there is not enough infrastructure to support the 38 units. No sidewalks on the road.

Vote: Aye: 10 Nay: 3 Name(s) S. Johnson, T. Santo, T. Maple

Absent: 2 Abstain: _____

7. GROUP BUSINESS (Discussion & Possible Vote)

A. Announcements

B. Required Training

a. Ethics training

b. Form 700

C. Website Updates

D. Correspondence Review

- a. Road Resurfacing List:** Will be open additional 30-days then submitted.

8. SUBCOMMITTEE REPORTS:

A. Design Review Board (DRB) - Tony Santo: NA

- B. County Service Area 69 (CSA 69) – Steve Robak:** Updated group on the desire for the Joint Power Agreement (JPA) committee to dissolve CSA 69. Noted that all current board members are fire personnel with no non -fire citizen on board. Recommended more participation by board members and will update as to next meeting in about 3 months.

C. Trails – Kristen: NA

- D. Capital Improvement Projects (CIP) – Liz:** Will be asking Jim Boltz from County to present on how to get funding for projects on the list.

E. Park Land Dedication Ordinance (PLDO) – Sarai: NA

F. Highway 67 Corridor (temp until 9/2021) - Tiffany: NA

- G. Homeless Task Force – Shari:** Showed a video on how Sheriff's Department deals with homeless population. Said there was about 10-12 members on the Homeless Task Force (HTF). Ken Discenza advised he is also part of the task force and encouraged LCPG to stay involved. Karolyn Smith: Has a veterans group been contacted to assist? Shari: I believe so. Tiffany: Remember that homeless individuals are still people.

H. Additional Projects for Discussion

9. ADJOURNMENT OF MEETING: at 8:27 pm by Carol Hake, Chair

Note: The next meeting of the LCPG will be on Wednesday, July 7, 2021 at 6:30 p.m. – Location to be determined

Minutes prepared by __Rey Lyyjoki Seat 10_____

Attachment H – Service Availability Forms



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - FIRE
ZONING DIVISION

Please type or use pen

GreenBuild Properties, LLC Owner's Name	619-993-7799 Phone	ORG _____	F
3268 Governor Drive, Suite 200 Owner's Mailing Address	Street	ACCT _____	
San Diego City	CA CA 92122 State Zip	ACT _____	
		TASK _____	
		DATE _____ AMT \$ _____	

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION **TO BE COMPLETED BY APPLICANT**

A. Major Subdivision (TM) Specific Plan or Specific Plan Amendment
 Minor Subdivision (TPM) Certificate of Compliance: _____
 Boundary Adjustment
 Rezone (Reclassification) from _____ to _____ zone.
 Major Use Permit (MUP), purpose: _____
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other _____

B. Residential Total number of dwelling units 40
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____

C. Total Project acreage 1.73 Total lots 1 Smallest proposed lot 1.73

Assessor's Parcel Number(s)
(Add extra if necessary)

484-092-21	

Thomas Guide. Page 1251 Grid H3
 1140 N First Street
 Project address Street
 Lakeside Community Planning Area 92021
 Community Planning Area/Subregion Zip

OWNER/APPLICANT AGREES TO COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: [Signature] Date: 5-31-24
 Address: 2514 Jamacha Road, Suite 502-31, El Cajon, CA 92019 Phone: 619-248-2932
 (On completion of above, present to the district that provides fire protection to complete Section 2 and 3 below.)

SECTION 2: FACILITY AVAILABILITY **TO BE COMPLETED BY DISTRICT**

District Name: SAN MIGUEL CONSOLIDATED FIRE PROTECTION DISTRICT
 Indicate the location and distance of the primary fire station that will serve the proposed project:
STATION 19-727 E BRADLEY AVE, EL CAJON, CA 92021 - 1 MILE

A. Project is in the District and eligible for service.
 Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the District and not within its Sphere of Influence boundary.
 Project is not located entirely within the District and a potential boundary issue exists with the _____ District.

B. Based on the capacity and capability of the District's existing and planned facilities, fire protection facilities are currently adequate or will be adequate to serve the proposed project. The expected emergency travel time to the proposed project is 3 minutes.
 Fire protection facilities are not expected to be adequate to serve the proposed development within the next five years.

C. District conditions are attached. Number of sheets attached: _____
 District will submit conditions at a later date.

SECTION 3. FUELBREAK REQUIREMENTS

Note: The fuelbreak requirements prescribed by the fire district for the proposed project do not authorize any clearing prior to project approval by Planning & Development Services.

Within the proposed project 100 feet of clearing will be required around all structures.
 The proposed project is located in a hazardous wildland fire area, and additional fuelbreak requirements may apply. Environmental mitigation requirements should be coordinated with the fire district to ensure that these requirements will not pose fire hazards.

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

[Signature] John Newman, Fire Marshal (GM) 670-0500 7/31/24
 Authorized Signature Print Name and Title Phone Date

On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Planning & Development Services – Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123





County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SCHOOL
ZONING DIVISION

Please type or use pen

(Two forms are needed if project is to be served by separate school districts)

BC First, LLC 858-427-1450
Owner's Name Phone
8445 Camino Santa Fe, Suite 102
Owner's Mailing Address Street
San Diego CA 92121
City State Zip

ORG
ACCT
ACT
TASK
DATE
ELEMENTARY
HIGH SCHOOL
UNIFIED

Sc

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

A. LEGISLATIVE ACT

- Rezones changing Use Regulations or Development Regulations
General Plan Amendment
Specific Plan
Specific Plan Amendment

Assessor's Parcel Number(s)
(Add extra if necessary)

Table with 2 columns for Assessor's Parcel Number(s) and 4 rows. First row contains 484-092-21.

B. DEVELOPMENT PROJECT

- Rezones changing Special Area or Neighborhood Regulations
Major Subdivision (TM)
Minor Subdivision (TPM)
Boundary Adjustment
Major Use Permit (MUP), purpose:
Time Extension...Case No.
Expired Map...Case No.
Other Certificate of Compliance

Thomas Guide Page 1251 Grid H3
1140 North First Street
Project address Street
Lakeside Community Planning Area 92021
Community Planning Area/Subregion Zip

- Residential Total number of dwelling units 40
Commercial Gross floor area
Industrial Gross floor area
Other Gross floor area

- Total Project acreage 1.84 Total number lots 1

Applicant's Signature: [Signature] Date: 5-30-24

Address: 2514 Jamacha Road, Suite 502-31, El Cajon, CA 92019 Phone: 619-248-2932

(On completion of above, present to the district that provides school protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

Cajon Valley USD
District Name:

If not in a unified district, which elementary or high school district must also fill out a form?
Grossmont High USD

Indicate the location and distance of proposed schools of attendance.

Elementary: Magnolia miles: 0.9
Junior/Middle: Greenfield miles: 1.2
High school: N/A miles: n/a

- This project will result in the overcrowding of the elementary junior/school high school. (Check)
Fees will be levied or land will be dedicated in accordance with Education Code Section 17620 prior to the issuance of building permits.
Project is located entirely within the district and is eligible for service.
The project is not located entirely within the district and a potential boundary issue may exist with the school district.

[Signature]
Authorized Signature
Planning Technician
Print Title

Joshua Dale Lunn
Print Name
619-588-3676
Phone

On completion of Section 2 by the district, applicant is to submit this form with application to:
Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123





County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SCHOOL
ZONING DIVISION

Please type or use pen
(Two forms are needed if project is to be served by separate school districts)
BC First, LLC 858-427-1450
Owner's Name Phone
8445 Camino Santa Fe, Suite 102
Owner's Mailing Address Street
San Diego CA 92121
City State Zip
ORG _____
ACCT _____
ACT _____
TASK _____
DATE _____
ELEMENTARY _____
HIGH SCHOOL _____
UNIFIED _____
DISTRICT CASHIER'S USE ONLY

Sc

SECTION 1. PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

A. LEGISLATIVE ACT
Rezones changing Use Regulations or Development Regulations
General Plan Amendment
Specific Plan
Specific Plan Amendment
Assessor's Parcel Number(s)
(Add extra if necessary)
484-092-21
B. DEVELOPMENT PROJECT
Rezones changing Special Area or Neighborhood Regulations
Major Subdivision (TM)
Minor Subdivision (TPM)
Boundary Adjustment
Major Use Permit (MUP), purpose:
Time Extension...Case No.
Expired Map...Case No.
Other Certificate of Compliance
Thomas Guide Page 1251 Grid H3
1140 North First Street
Project address Street
Lakeside Community Planning Area 92021
Community Planning Area/Subregion Zip
C. Residential Total number of dwelling units 40
Commercial Gross floor area
Industrial Gross floor area
Other Gross floor area
D. Total Project acreage 1.84 Total number lots 1
Applicant's Signature: [Signature] Date: 5-30-24
Address: 2514 Jamacha Road, Suite 502-31, El Cajon, CA 92019 Phone: 619-248-2932
(On completion of above, present to the district that provides school protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

WILSON MOUNTAIN UNION HIGH SCHOOL DISTRICT
District Name:
Indicate the location and distance of proposed schools of attendance.
Elementary: _____ miles: _____
Junior/Middle: _____ miles: _____
High school: EL CAJON VALLEY HIGH SCHOOL 1035 E. MADISON, EL CAJON, CA 92021 miles: _____
This project will result in the overcrowding of the elementary junior/school high school. (Check)
Fees will be levied or land will be dedicated in accordance with Education Code Section 17620 prior to the issuance of building permits.
Project is located entirely within the district and is eligible for service.
The project is not located entirely within the district and a potential boundary issue may exist with the school district.
Authorized Signature: [Signature] Print Title: FACILITIES CONTROL SPEC
Print Name: Kimberle Deane Phone: 619 644 8137

On completion of Section 2 by the district, applicant is to submit this form with application to:
Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123





County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SEWER
ZONING DIVISION

Please type or use pen

BC First, LLC 858-427-1450
Owner's Name Phone
8445 Camino Santa Fe, Suite 102
Owner's Mailing Address Street
San Diego CA 92121
City State Zip

ORG _____
ACCT _____
ACT _____
TASK _____
DATE _____ AMT \$ _____
DISTRICT CASHIER'S USE ONLY

S

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. Major Subdivision (TM) Certificate of Compliance:
Minor Subdivision (TPM) Boundary Adjustment
Specific Plan or Specific Plan Amendment
Rezone (Reclassification) from to zone
Major Use Permit (MUP), purpose:
Time Extension... Case No.
Expired Map... Case No.
Other
B. Residential Total number of dwelling units 40
Commercial Gross floor area
Industrial Gross floor area
Other Gross floor area
C. Total Project acreage 1.84 Total lots 1 Smallest proposed lot 1.84
D. Is the project proposing its own wastewater treatment plant? Yes No
Is the project proposing the use of reclaimed water? Yes No

Assessor's Parcel Number(s)
(Add extra if necessary)

Table with 2 columns and 4 rows for Assessor's Parcel Number(s). Cell 1,1 contains 484-092-21.

Thomas Guide Page 1251 Grid H3
1140 North First Street
Project address Street
Lakeside Community Planning Area 92021
Community Planning Area/Subregion Zip

Owner/Applicant agrees to pay all necessary construction costs and dedicate all district required easements to extend service to the project.
OWNER/APPLICANT MUST COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: [Signature] Date: 5-30-24
Address: 2514 Jamacha Road, Suite 502-31, El Cajon, CA 92019 Phone: 619-248-2932

(On completion of above, present to the district that provides sewer protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District name San Diego County Sanitation District Service area Winter Gardens

- A. Project is in the District.
Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.
Project is not in the District and is not within its Sphere of Influence boundary.
Project is not located entirely within the District and a potential boundary issue exists with the District.
B. Facilities to serve the project ARE ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached. Number of sheets attached: NA
Project will not be served for the following reason(s): NA
C. District conditions are attached. Number of sheets attached:
District has specific water reclamation conditions which are attached. Number of sheets attached:
District will submit conditions at a later date.
D. How far will the pipeline(s) have to be extended to serve the project? As required by the District

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Adrian Chipres
Authorized Signature Adrian Chipres ET3 (619)510-7104 05/30/2024
Print Name and Title Phone Date

THIS DOCUMENT IS NOT A COMMITMENT OF FACILITIES OR SERVICE BY THE DISTRICT On completion of Section 2 by the district, applicant is to submit this form with application to: Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123





County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - WATER
ZONING DIVISION

Please type or use pen

BC First, LLC 858-427-1450
Owner's Name Phone
8445 Camino Santa Fe, Suite 102
Owner's Mailing Address Street
San Diego CA 92121
City State Zip

ORG
ACCT
ACT
TASK
DATE
AMT \$

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DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. Major Subdivision (TM)
Minor Subdivision (TPM)
Boundary Adjustment
Rezone (Reclassification) from to zone.
Major Use Permit (MUP), purpose:
Time Extension...Case No.
Expired Map...Case No.
Other

- B. Residential Total number of dwelling units
Commercial Gross floor area
Industrial Gross floor area
Other Gross floor area

C. Total Project acreage Total number of lots

- D. Is the project proposing the use of groundwater?
Is the project proposing the use of reclaimed water?

Assessor's Parcel Number(s)
(Add extra if necessary)

Table with 2 columns for Assessor's Parcel Number(s) and 4 rows. First row contains 484-092-21.

Thomas Guide Page 1251 Grid H3
1140 North First Street
Project address Street
Lakeside Community Planning Area 92021
Community Planning Area/Subregion Zip

Owner/Applicant agrees to pay all necessary construction costs, dedicate all district required easements to extend service to the project and COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: [Signature] Date: 5-30-24
Address: 2514 Jamacha Road, Suite 502-31, El Cajon, CA 92019 Phone: 619-248-2932

(On completion of above, present to the district that provides water protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District Name: Helix Water District Service area: West El Cajon Gravity - 656

- A. Project is in the district.
Project is not in the district but is within its Sphere of Influence boundary, owner must apply for annexation.
Project is not in the district and is not within its Sphere of Influence boundary.
The project is not located entirely within the district and a potential boundary issue exists with the District.
B. Facilities to serve the project ARE ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached. (Number of sheets)
Project will not be served for the following reason(s):
C. District conditions are attached. Number of sheets attached: 3
District has specific water reclamation conditions which are attached. Number of sheets attached:
District will submit conditions at a later date.
D. How far will the pipeline(s) have to be extended to serve the project?

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized Signature: [Signature] Print Name: Kevin Cano-Koscelek
Print Title: Engineering Technician Phone: 619-667-6239 Date: 5/30/2024

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF SERVICE OR FACILITIES BY THE DISTRICT
On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
Planning & Development Services - Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123



**HELIX WATER DISTRICT'S
CONDITIONS BEFORE APPROVAL OF A PROJECT**

- W01 The plans and specifications for the installation of a water system to serve each lot independently with public water must be approved by Helix Water District (HWD).
- W02 The developer shall install the water system according to the San Diego Water Agencies' Standards (SDWAS), and dedicate to HWD the portion of the water system which is to be public water.
- W03 The developer shall comply with the County, SDWAS, HWD policies, and conditions contained in a secured agreement to install the water system concurrent with project need.
- W04 The developer shall dedicate to HWD all necessary easements for that portion of the water system which is to be public water.
- W05 Adequate water service shall be committed for this project prior to final approval/map recordation of the subdivision map and shall be available concurrent with project need.
- W06 All buildings in this project shall be connected to public water according to the water permit and approval process of HWD.
- W07 The developer shall apply for and pay the costs of annexing all the land within the project to HWD for operation and maintenance of the public water system.
- W08 Water and sewer lines shall not be laid in the same trench in any part of this project development.
- W09 Water and sewer lines must have 11-foot horizontal separation in this project.
- W10 8" PVC water main required and _____ -6" fire hydrants with _____ -2 1/2" and _____ -4" outlets as required by the _____.
- W11 Upgrade existing fire hydrant with new head with _____ -2 1/2" and _____ -4" outlets as required by the _____.
- W12 Install 1 -6" fire hydrant(s) with _____ -2 1/2" and _____ -4" outlets as required by the _____.
- W13 Backflow prevention will be required on all water meters, properties with fire sprinkler systems, properties served by a well, and/or on landscape irrigation water meters.

HELIX WATER DISTRICT POLICIES AND PROCEDURES MANUAL

SECTION 4.11 WATER CONSERVATION AND DEVELOPMENT/REDEVELOPMENT PROCEDURE FOR WATER EFFICIENCY

SECTION 4.11 WATER CONSERVATION AND DEVELOPMENT/REDEVELOPMENT PROCEDURE FOR WATER EFFICIENCY

4.11-1 GENERAL

Helix Water District hereby establishes a comprehensive water conservation and water efficiency program for new development or redevelopment within the district.

The district finds that water conservation and water efficiency in all new residential or commercial development or redevelopment is essential to the district's continued ability to provide water to new and redeveloped areas and to avoid or minimize the effects of any future shortage.

4.11-2 REQUIREMENTS

All new commercial and residential developments or redevelopments shall install only high-efficiency appliances, use only high-efficiency watering technologies and landscape using water-wise principles as follows:

- A. Install the following indoor fixtures in all residential (houses, condominiums, apartments) and commercial areas (if applicable):
 - 1. High-efficiency toilets (1.28 gallons or less per flush).
 - 2. High-efficiency dishwashers (Energy Star, WaterSense or equivalent).
 - 3. High-efficiency clothes washers (meets or exceeds the CEE Tier 1 standard).
 - 4. Low-flow shower heads (1.8 gallons per minute or less).
- B. Design and install landscaping in all parks, common areas, commercial, industrial, multi-family and residential landscapes in compliance with the most recent Department of Water Resources model ordinance or the water efficient landscape ordinance and the Maximum Applied Water Allowance set forth by the local land use agency, as applicable.
- C. Install dedicated meters for outdoor water use:
 - 1. In single-family residences with one or more acre(s) of irrigated landscape.
 - 2. In all parks and common areas.
 - 3. In commercial/government/multi-family sites with 5,000 square feet or more of irrigated landscape.

HELIX WATER DISTRICT POLICIES AND PROCEDURES MANUAL

SECTION 4.11 WATER CONSERVATION AND DEVELOPMENT/REDEVELOPMENT PROCEDURE FOR WATER EFFICIENCY

- D. Enroll all new irrigation meters (except those at single-family residences) in the district's water budget program and provide documentation of irrigated landscape area at the time of meter purchase.
- E. Install automatic irrigation controllers with automatic rain delay that utilize either evapotranspiration (weather-based) or soil moisture data at all homes (residential areas), common areas, parks and commercial landscapes.
- F. If using overhead spray to irrigate, high-efficiency, matched-precipitation rate sprinkler nozzles are required at all homes (residential landscapes), common areas, parks and commercial landscapes.

Any project that requires a permit, plan check or design review by local planning agencies is considered a redevelopment.

4.11-3 PROCEDURE

Executive Order B-29-15 required the Department of Water Resources to update the existing model water efficient landscape ordinance established pursuant to the Water Conservation in Landscaping Act (California Government Code Section 65591 and following) and AB 1881. The updated Department of Water Resources model ordinance serves as a model ordinance for all cities and counties to adopt mandatory water efficient landscape ordinances for new and rehabilitated landscaping projects. EB B-29-15 makes the DWR model ordinance automatically applicable within the jurisdiction of each city and county that has not adopted its own water efficient landscape ordinance or the DWR model ordinance. Effective December 1, 2015, new and rehabilitated landscape projects shall comply with the provisions of the most recent DWR model ordinance or the water efficient landscape ordinance as adopted or implemented by the applicable local land use agency.

Attachment I – Ownership Disclosure



1 103

County of San Diego, Planning & Development Services
APPLICANT'S DISCLOSURE OF OWNERSHIP
INTERESTS ON APPLICATION FOR ZONING
PERMITS/ APPROVALS
ZONING DIVISION

Record ID(s) _____

Assessor's Parcel Number(s) _____

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. **NOTE:** Attach additional pages if necessary.

A. List the names of all persons having any *ownership interest* in the property involved.

_____	_____
_____	_____
_____	_____
_____	_____

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

_____	_____
_____	_____
_____	_____
_____	_____

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

_____	_____
_____	_____
_____	_____
_____	_____

NOTE: Section 1127 of The Zoning Ordinance defines Person as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

Signature of Applicant _____

 Print Name Alex Lisnevsky

----- OFFICIAL USE ONLY -----

5510 OVERLAND AVE, SUITE 110, SAN DIEGO, CA 92123
 For any questions, please email us at: PDSZoningPermitCounter@sdcounty.ca.gov
<http://www.sdcounty.ca.gov/pds>