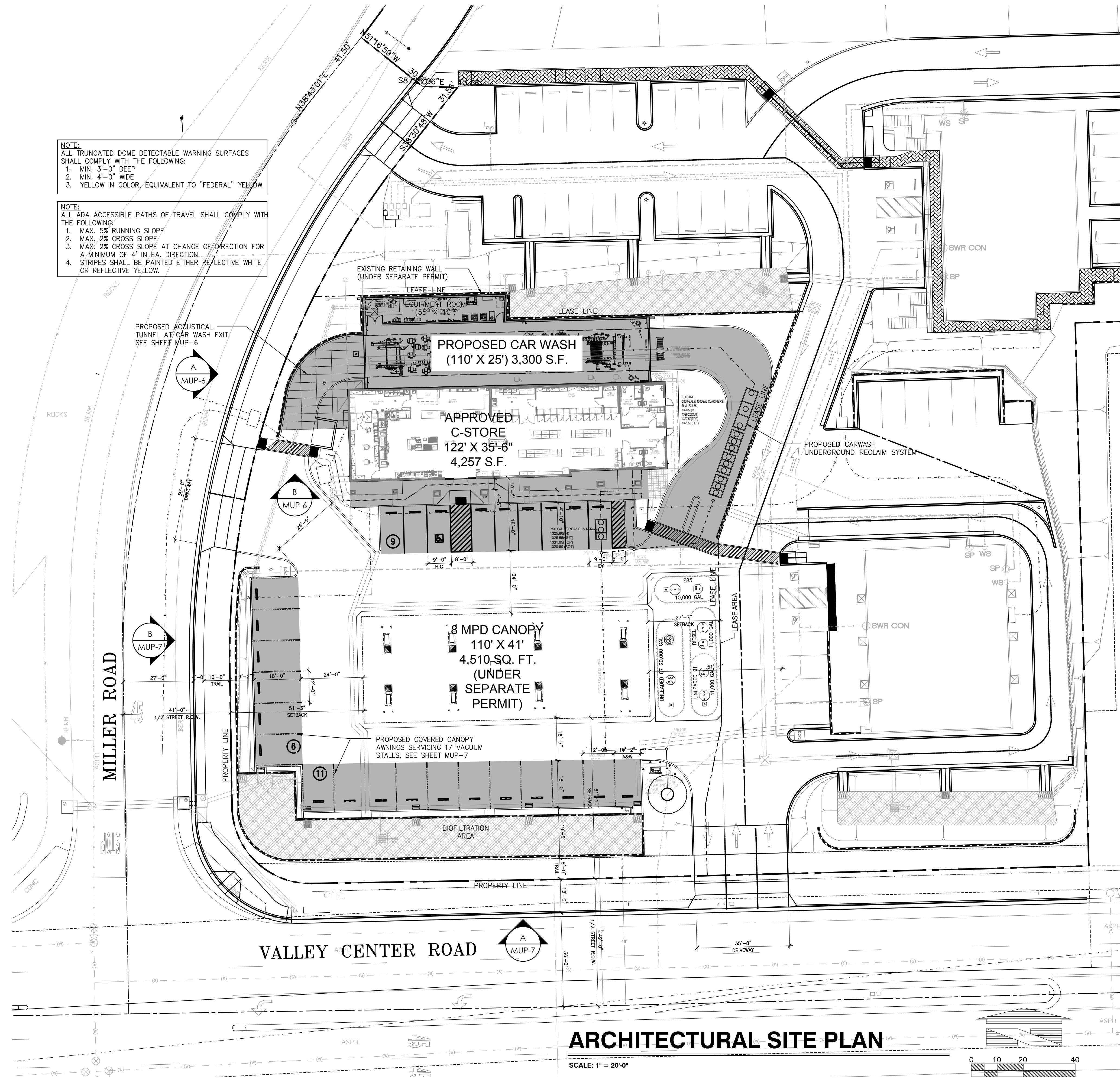


MAJOR USE PERMIT EXXONMOBIL & CIRCLE K W/ 6 CARAT ENTERPRISE INC.



NOTE:
ALL TRUNCATED DOME DETECTABLE WARNING SURFACES SHALL COMPLY WITH THE FOLLOWING:
1. MIN. 3'-0" DEEP
2. MIN. 4'-0" WIDE
3. YELLOW IN COLOR, EQUIVALENT TO "FEDERAL" YELLOW.

NOTE:
ALL ADA ACCESSIBLE PATHS OF TRAVEL SHALL COMPLY WITH THE FOLLOWING:
1. MAX. 5% RUNNING SLOPE
2. MAX. 2% CROSS SLOPE
3. MAX. 2% CROSS SLOPE AT CHANGE OF DIRECTION FOR A MINIMUM OF 4' IN EA. DIRECTION.
4. STRIPES SHALL BE PAINTED EITHER REFLECTIVE WHITE OR REFLECTIVE YELLOW.

SITE DATA

ADDRESS: 28874 VALLEY CENTER ROAD, BUILDING C VALLEY CENTER, CA 92082

PERMIT NUMBERS: TBD

A.P.N.: 188-231-36-00

LOT SIZE: LEASE GROSS AREA: 41,182 S.F. (0.95 ACRES)

COUNTY: SAN DIEGO

EXISTING ZONE: GENERAL COMMERCIAL

PROPOSED ZONE: GENERAL COMMERCIAL

EXISTING LAND USE: COMMERCIAL / RETAIL

PROPOSED LAND USE: COMMERCIAL / RETAIL

BUILDING AREA: CAR WASH: 3,300 S.F.

CONSTRUCTION TYPE: V-B/SPRINKLERED

OCCUPANCY: M

OCCUPANT LOAD: MAX OCCUPANTS: 86

HEIGHTS: 32'-6" T.O. HIGH PARAPET

STORIES: ONE

PARKING REQUIREMENTS: 1 SPACE / 250 S.F. (4,257 S.F./250)
TOTAL REQUIRED: 17 SPACES
TOTAL PROVIDED: 26 SPACES (1 H.C. & 1 E.V. & 15 VACUUM)

LOT COVERAGE: BUILDING: 12,067 S.F. (29%)
LANDSCAPING: 10,699 S.F. (26%)
IMPERVIOUS: 18,416 S.F. (45%)
TOTAL LEASED AREA: 41,182 S.F. (100%)

CODE INFORMATION

ALL CONSTRUCTION TO COMPLY WITH:
BUILDING CODE: 2019 CALIFORNIA BUILDING CODE
PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE
ELECTRICAL CODE: 2019 CALIFORNIA ELECTRIC CODE
MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE
ENERGY CODE: 2019 CALIFORNIA ENERGY CODE
GREEN BUILDING: 2019 CALIFORNIA GREEN BUILDING CODE
FIRE CODE: 2019 CALIFORNIA FIRE CODE (2015 IFC)

PROJECT OWNER / APPLICANT

6 CARAT ENTERPRISE INC.
DAVID CARATTINI
270 NORTH EL CAMINO REAL #523
ENCINITAS, CA 92024
PHONE: 760-822-0004
E-MAIL: davidcarattini@gmail.com

APPLICANT'S REP.

VANCE AND ASSOCIATES - PLANNING
LEE VANCE
224 SEEMAN DRIVE
ENCINITAS, CA 92024
PHONE: 760-492-2147
E-MAIL: vanceplan@cox.net

ARCHITECT

EMPIRE DESIGN GROUP, INC.
511 N MAIN STREET
LAKE ELSINORE, CA 92530
CONTACT: GREGORY HANN, ARCHITECT
PHONE: (951) 696-1490
CELL PHONE: (951) 809-7601
E-MAIL: ghann@empiredg.biz

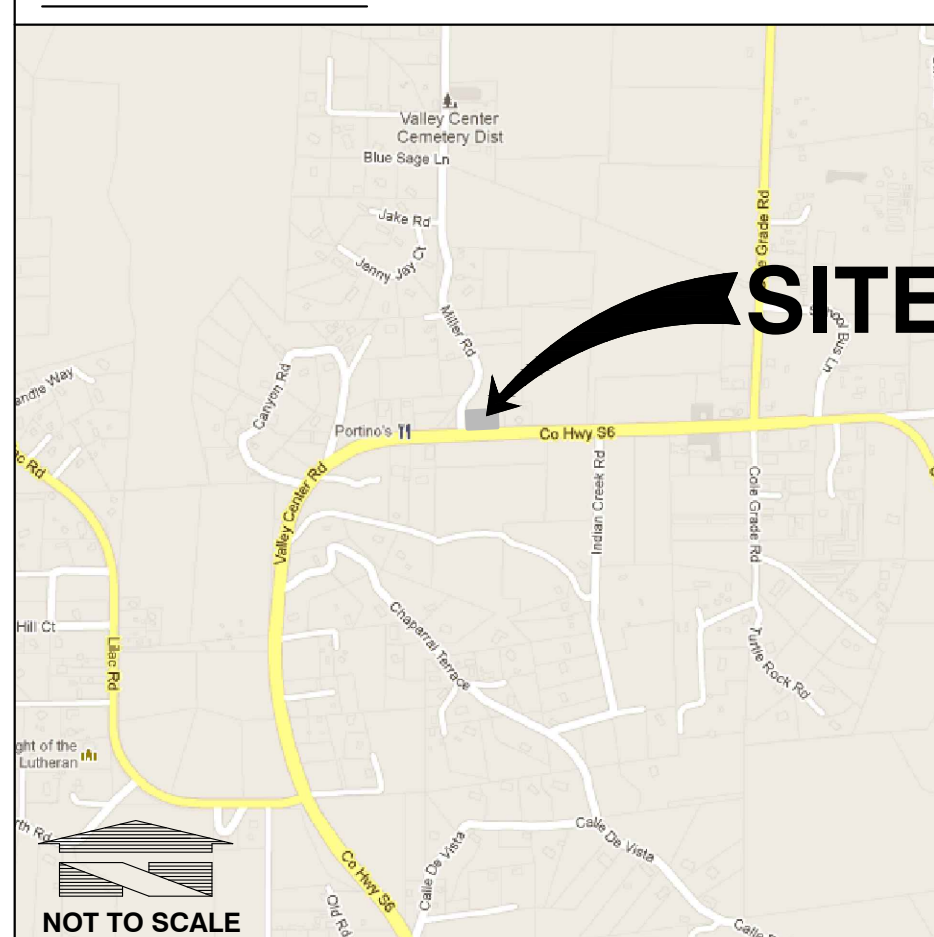
SCOPE OF WORK

1. MAJOR USE PERMIT APPLICATION IS TO ALLOW FOR A CAR WASH FACILITY TO BE ADDED TO THE APPROVED USE ON APN 188-231-36-00. EXISTING APPROVED SITE PLAN PDS 3500-08-013 ALLOWS FOR OTHER USES SHOWN ON THIS PLOT PLAN.

DRAWING INDEX

- MUP-1 COVER SHEET & ARCHITECTURAL SITE PLAN
- MUP-2 ARCHITECTURAL OVERALL SITE PLAN
- MUP-3 PROPOSED FLOOR PLAN
- MUP-4 PROPOSED BUILDING EXTERIOR ELEVATIONS
- MUP-5 PROPOSED BUILDING EXTERIOR ELEVATIONS
- MUP-6 PROPOSED EXIT TUNNEL EXTERIOR ELEVATIONS
- MUP-7 PROPOSED VACUUM AWNING EXTERIOR ELEVATIONS

VICINITY MAP



EMPIRE DESIGN GROUP Inc.

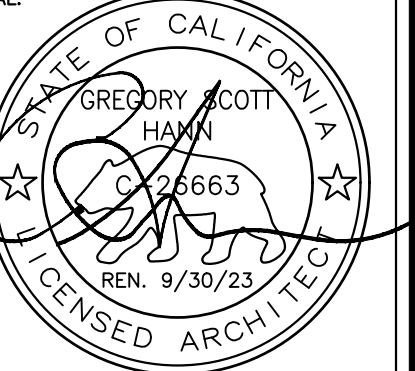
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951-696-1490
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6 CARAT ENTERPRISE INC.

MUP FOR CAR WASH @ EXXONMOBIL & CIRCLE K
28874 VALLEY CENTER ROAD, BLDG. C
VALLEY CENTER, CA 92082

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
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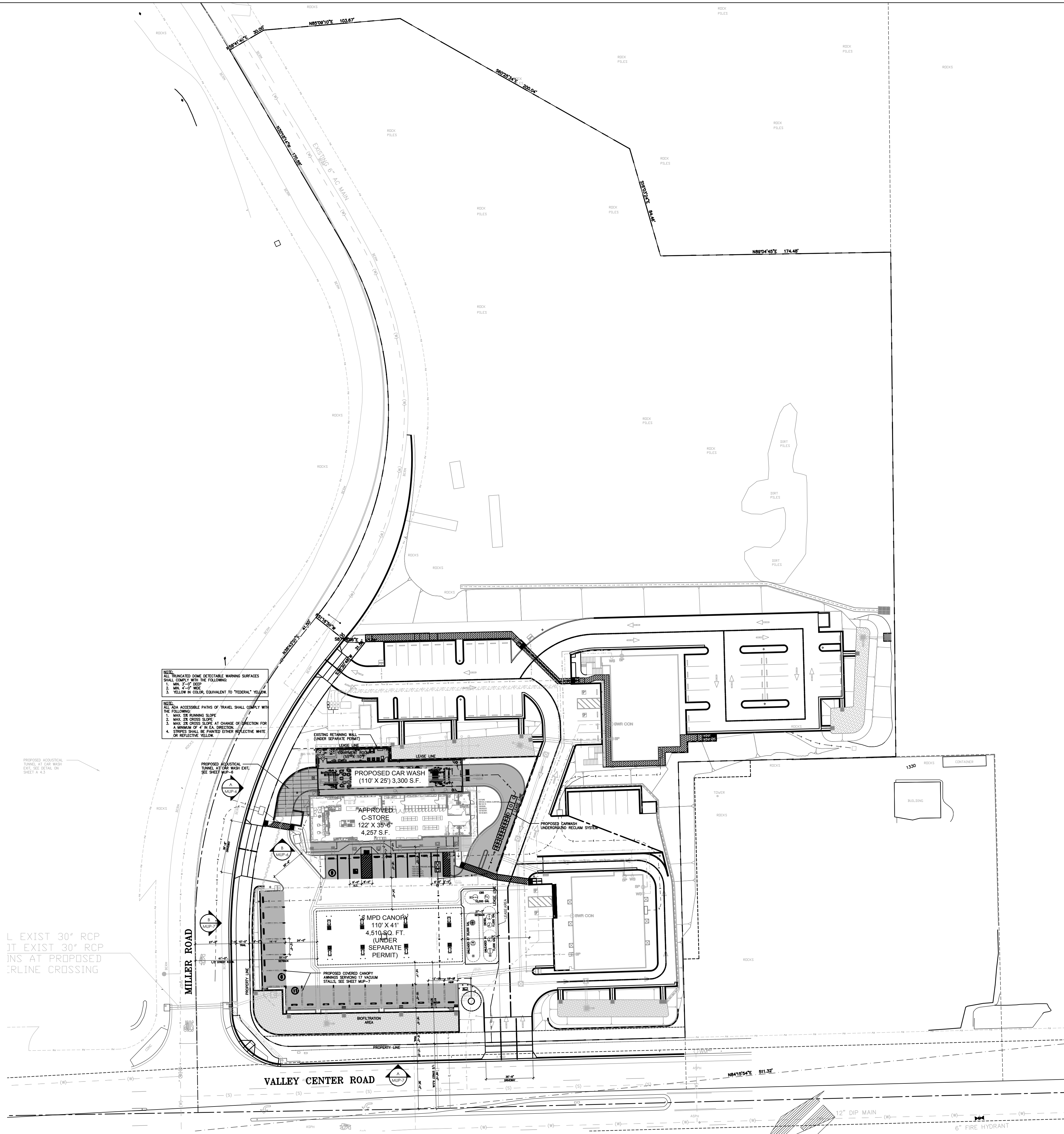
Date:	FEBRUARY 8, 2022	
Project Number:	EDG#04548	
NO.	DATE	REVISION DESCRIPTION
1	6-20-22	1ST MUP REVISIONS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

COVER SHEET & ARCHITECTURAL SITE PLAN

SHEET NO:

MUP-1



NOTES:
 1. EXISTING APPROVED SITE PLAN PDS 3500-08-013 ALLOWS FOR OTHER USES SHOWN ON THIS PLOT PLAN.

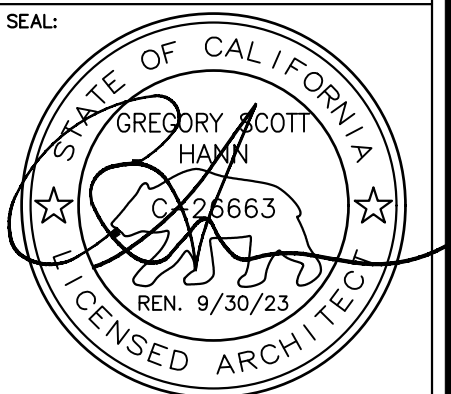
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 511 N Main St.
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 EmpireDesignGroup.biz

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CLIENT:
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Date: FEBRUARY 8, 2022
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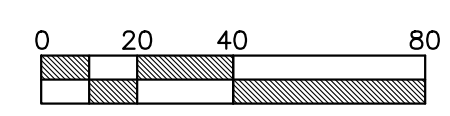
DESIGNED BY: GH
 CHECKED BY: GH
 DRAWN BY: AH

DRAWING TITLE:
ARCHITECTURAL OVERALL SITE PLAN

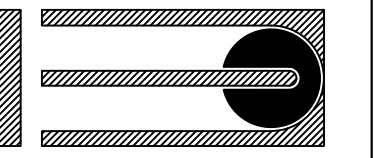
SHEET NO:
MUP-2

ARCHITECTURAL OVERALL SITE PLAN

SCALE: 1" = 40'-0"



L EXIST 30" RCP
 JT EXIST 30" RCP
 INS AT PROPOSED
 INLINE CROSSING



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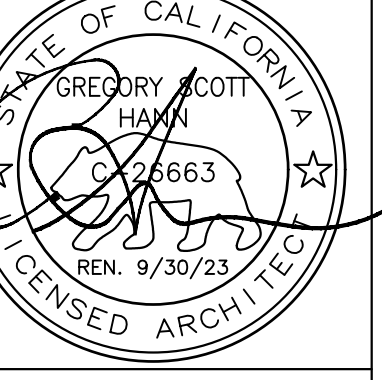
CLIENT:

**6 CARAT
ENTERPRISE
INC.**

**MUP FOR CAR WASH @
EXXONMOBIL & CIRCLE K
28874 VALLEY CENTER ROAD, BLDG. C
VALLEY CENTER, CA 92082**

ARCHITECT OF RECORD:
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TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz

SEAL:



Date: FEBRUARY 8, 2022

Project Number: EDG#04548

NO.	DATE	REVISION DESCRIPTION
1	6-20-22	1ST MUP REVISIONS

DESIGNED BY: GH

CHECKED BY: GH

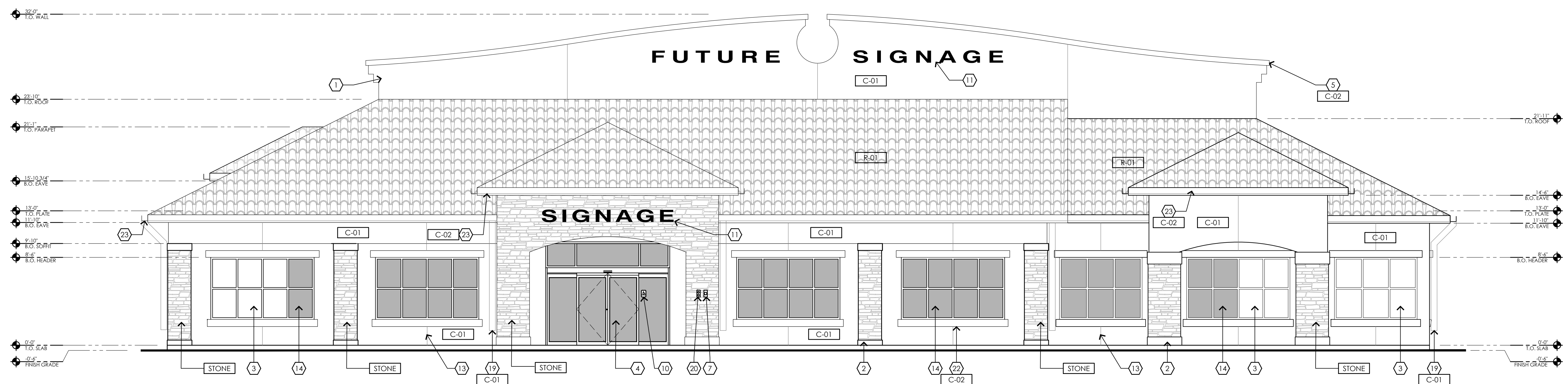
DRAWN BY: AH

DRAWING TITLE:

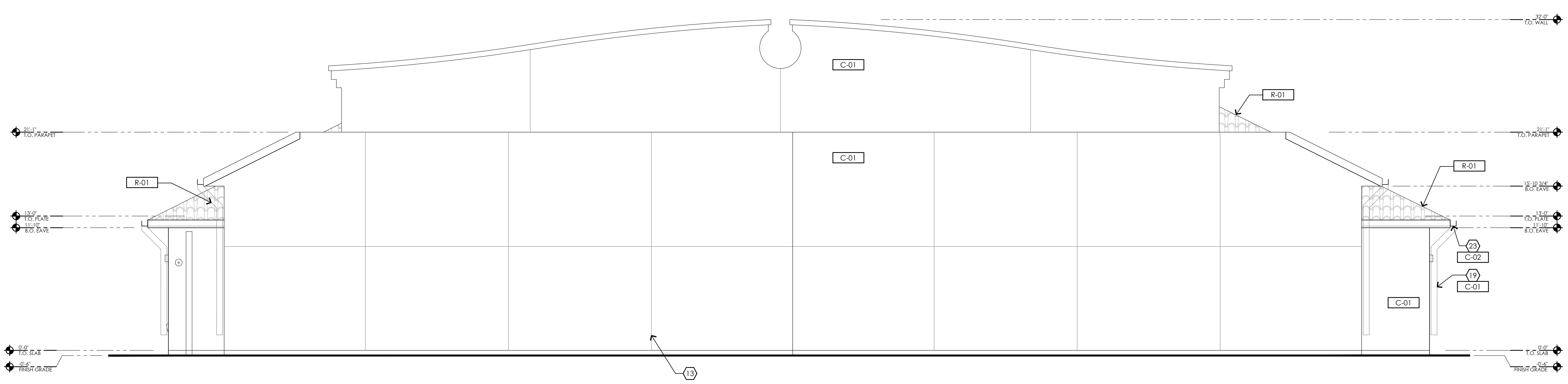
PROPOSED BUILDING
EXTERIOR ELEVATIONS

SHEET NO:

MUP-4



A SOUTH ELEVATION
SCALE: 3/16"=1'-0"



B NORTH ELEVATION
SCALE: 3/16"=1'-0"

KEYED NOTES:

- 1 APPROVED BUILDING ADDRESS EACH CHARACTER SHALL BE A MINIMUM 12" HIGH AND A MINIMUM OF .5" WIDE. THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND AND TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- 2 SMOOTH BRUSHED CONCRETE BASE, TYP.
- 3 SPANDREL GLASS WINDOWS AT NON HATCHED LOCATIONS AS SHOWN
- 4 STANLEY DURA GLIDE 2000 AUTOMATIC SLIDE ENTRANCE DOOR
- 5 PARAPET WALL WITH 22 GAUGE FLASHING ABOVE, PAINT C-02 (TYP.)
- 6 OPEN BEYOND, CAR WASH TUNNEL
- 7 EMERGENCY SHUTOFF VALVES REFER TO MECHANICAL AND TANK DRAWINGS FOR DETAILS (TYP. OF 1 ON BUILDING)
- 8 NOT USED
- 9 NOT USED
- 10 ADA ACCESSIBILITY SIGN
- 11 FUTURE SIGNAGE LOCATION UNDER SEPERATE PERMIT

- 12 5-1/2" Z199 POLISHED BRONZE DOWNSPOUT NOZZLE NO-BUB (TYP.) MANUFACTURE TO BE ZURN OR EQUAL
- 13 CONTROL JOINTS AS SHOWN
- 14 STOREFRONT 1/4" BLUE-GREEN GLAZING WITH ANODIZED ALUMINUM 2" HOLLOW METAL FRAMES, TYP.
- 15 SINGLE HUNG WINDOW AT THIS LOCATION (TYP. OF 1)
- 16 EXTERIOR FIRE RISER LOCATION, SEE CIVIL, FIRE BELL ABOVE
- 17 ELECTRICAL SWITCH GEAR LOCATION, PAINT C-01
- 18 LSI - XLCW WALL PACKS (TYP. OF 3) MOUNTED AT 10'-0" A.F.F. O.C.
- 19 GUTTER DOWNSPOUT LOCATIONS, (TYP.), PAINT C-01
- 20 RECESSED RAPID ENTRY KNOX BOX AND TAMPER SWITCH PER MANUF. SPECIFICATIONS, INSTALL AT 60" A.F.F.
- 21 HOLLOW METAL DOOR TYP. SEE DOOR SCHEDULE, PAINT C-01 (TYP.)
- 22 8" WIDE, 2" DEEP FOAM ARCHITECTURAL ACCENT, PAINT C-02 (TYP.)
- 23 4" STEEL GALVANIZED GUTTER SYSTEM SURROUNDING ROOF, BY SAN DIEGO RAIN GUTTERS OR EQUAL, PAINT C-02 (TYP.)

EXTERIOR PAINTS:

- C-01 OMEGA PRODUCTS - COLORTEK STUCCO #437, ROUGH KHAKI
- C-02 OMEGA PRODUCTS - COLORTEK STUCCO #437, TOFFEE CRUNCH

EXTERIOR FINISHES:

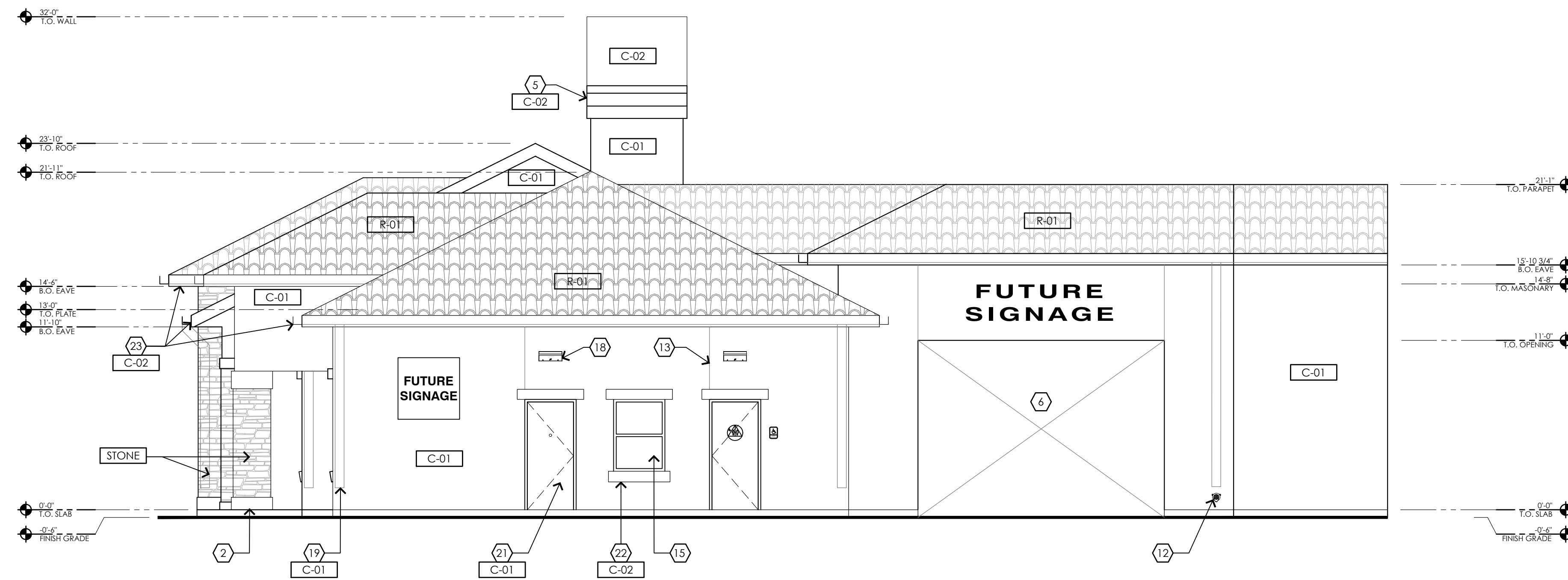
- STUCCO LAHABRA ACRYLIC ELECTROMETRIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- STONE KONI STONE SERIES: CANYON STONE COLOR: MONTANA

ROOFING:

- R-01 1-PIECE "S" TILE - FIRE FLASH US TILE BY BORAL SKU:1USDU6074 ASTM C1167

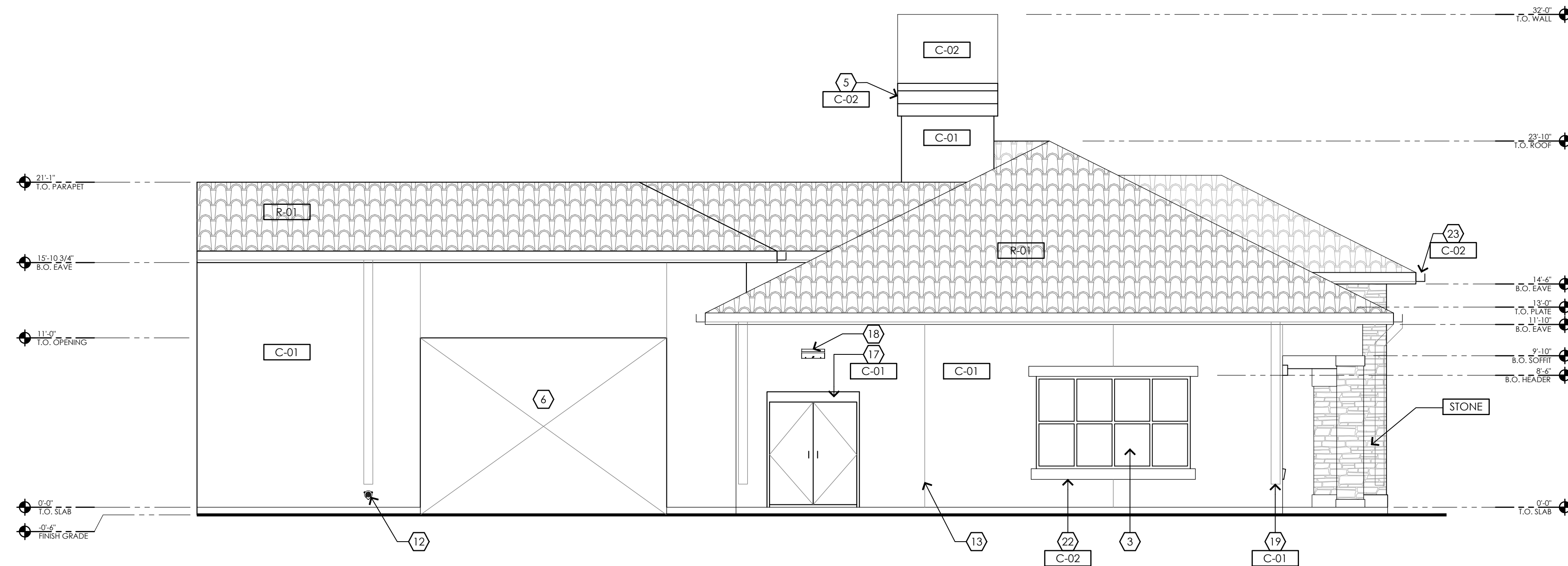
GENERAL NOTES:

- 1. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



EAST ELEVATION

C SCALE: 3/16"=1'-0"



WEST ELEVATION

D SCALE: 3/16"=1'-0"

KEYED NOTES:

- 1 APPROVED BUILDING ADDRESS EACH CHARACTER SHALL BE A MINIMUM 12" HIGH AND A MINIMUM OF .5" WIDE. THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND AND TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- 2 SMOOTH BRUSHED CONCRETE BASE, TYP.
- 3 SPANDREL GLASS WINDOWS AT THIS LOCATIONS SHOWN
- 4 STANLEY DURA GLIDE 2000 AUTOMATIC SLIDE ENTRANCE DOOR
- 5 PARAPET WALL WITH 22 GAUGE FLASHING ABOVE, PAINT C-02 (TYP.)
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- 7 EMERGENCY SHUTOFF VALVES REFER TO MECHANICAL AND TANK DRAWINGS FOR DETAILS
- 8 NOT USED
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- 11 FUTURE SIGNAGE UNDER SEPERATE PERMIT
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- 23 6" STEEL GALVANIZED GUTTER SYSTEM SURROUNDING ROOF, BY SAN DIEGO RAIN GUTTERS OR EQUAL, PAINT C-02 (TYP.)

EXTERIOR PAINTS:

- C-01 OMEGA PRODUCTS - COLORTEK STUCCO #437, ROUGH KHAKI
- C-02 OMEGA PRODUCTS - COLORTEK STUCCO #437, TOFFEE CRUNCH

EXTERIOR FINISHES:

- STUCCO LAHABRA ACRYLIC ELECTROMETRIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- STONE KONI STONE SERIES: CANYON STONE COLOR: MONTANA

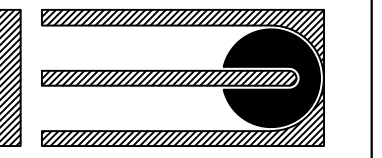
ROOFING:

- R-01 1-PIECE "S" TILE - FIRE FLASH US TILE BY BORAL SKU:1USDU6074 ASTM C1167

GENERAL NOTES:

1. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

EMPIRE DESIGN GROUP Inc.



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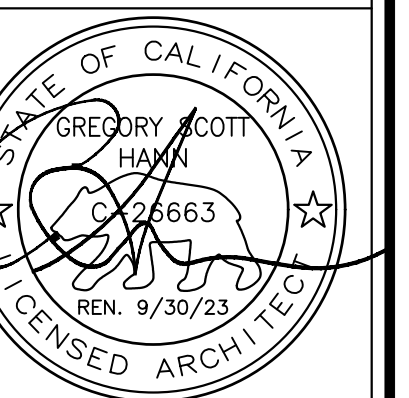
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CLIENT:

6 CARAT ENTERPRISE INC.

**MUP FOR CAR WASH @
EXXONMOBIL & CIRCLE K
28874 VALLEY CENTER ROAD, BLDG. C
VALLEY CENTER, CA 92082**

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
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TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date:	FEBRUARY 8, 2022	
Project Number:	EDG#04548	
NO.	DATE	REVISION DESCRIPTION
1	6-20-22	1ST MUP REVISIONS

DESIGNED BY:	GH
CHECKED BY:	GH
DRAWN BY:	AH

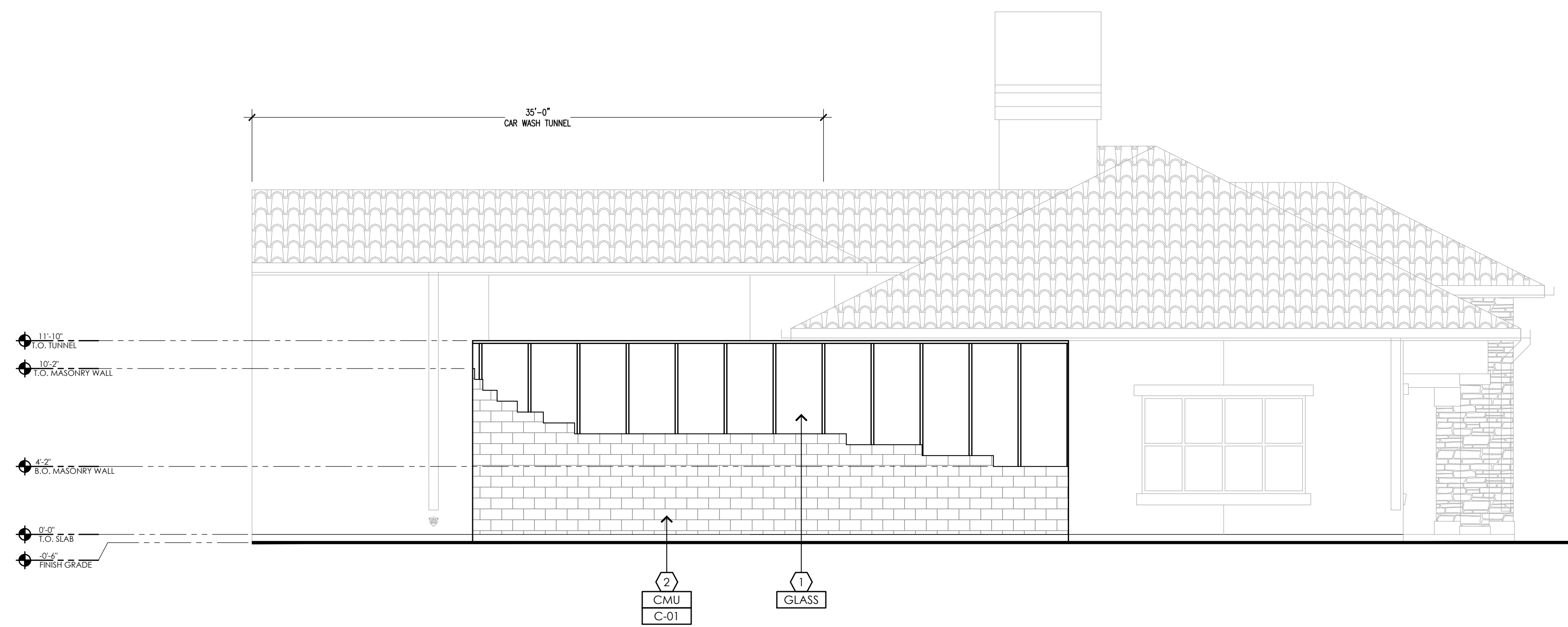
DRAWING TITLE:

PROPOSED BUILDING EXTERIOR ELEVATIONS

SHEET NO:

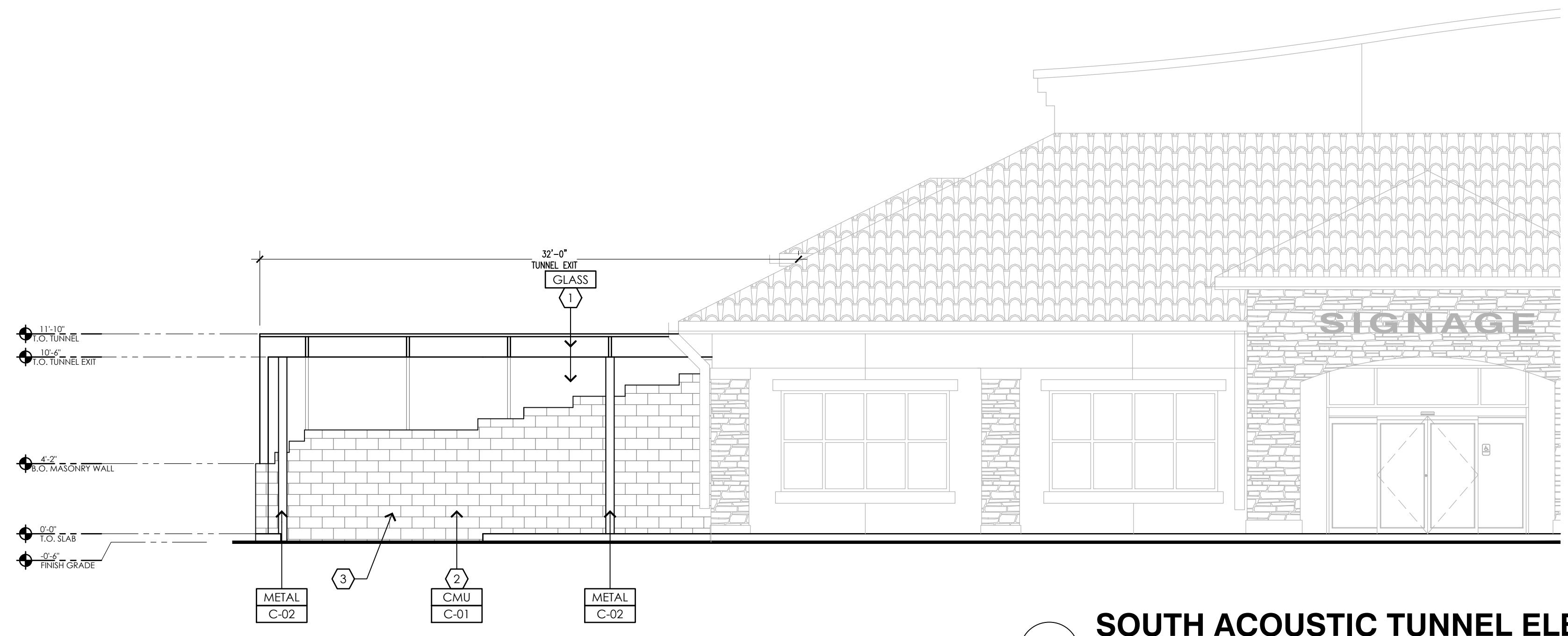
MUP-5

6/23/2022 10:58:44 AM



A WEST ACOUSTIC TUNNEL ELEVATION
SCALE: 3/16"=1'-0"

"AS VIEWED FROM MILLER RANCH ROAD"



B SOUTH ACOUSTIC TUNNEL ELEVATION
SCALE: 3/16"=1'-0"

"AS VIEWED FROM VALLEY CENTER ROAD"

KEYED NOTES:

- ① SPANDREL GLASS WINDOWS AT LOCATIONS SHOWN BY CALCRAFT
- ② CMU RETAINING WALL BY CIVIL ENGINEER
- ③ CAR WASH TUNNEL EXIT LOCATION

EXTERIOR PAINTS:

- C-01 OMEGA PRODUCTS - COLORTEK STUCCO #437, ROUGH KHAKI
- C-02 OMEGA PRODUCTS - COLORTEK STUCCO #437, TOFFEE CRUNCH

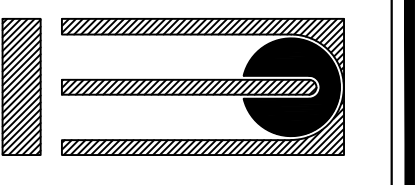
EXTERIOR FINISHES:

- CMU CONCRETE MASONRY UNIT
- METAL PREFABRICATED METAL SUPPORT POST
- GLASS SUNPAL POLYCARBONATE PANELS SUPPORT CLIPS PER MFG.

GENERAL NOTES:

- 1. INSTALLATION OF EXIT TUNNEL SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

EMPIRE DESIGN GROUP Inc.



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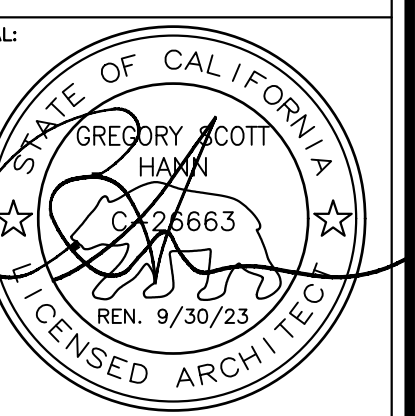
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Date: FEBRUARY 8, 2022

Project Number: EDG#04548

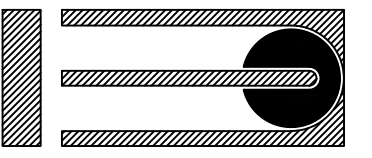
NO.	DATE	REVISION DESCRIPTION
1	6-20-22	1ST MUP REVISIONS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

PROPOSED EXIT TUNNEL EXTERIOR ELEVATIONS

SHEET NO:

MUP-6



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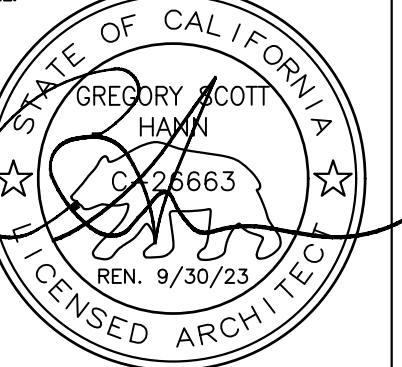
CLIENT:

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E-MAIL: ghann@empiregr.biz

SEAL:



Date: FEBRUARY 8, 2022

Project Number: EDG#04548

NO.	DATE	REVISION DESCRIPTION
1	6-20-22	1ST MUP REVISIONS

DESIGNED BY:	GH
CHECKED BY:	GH
DRAWN BY:	AH

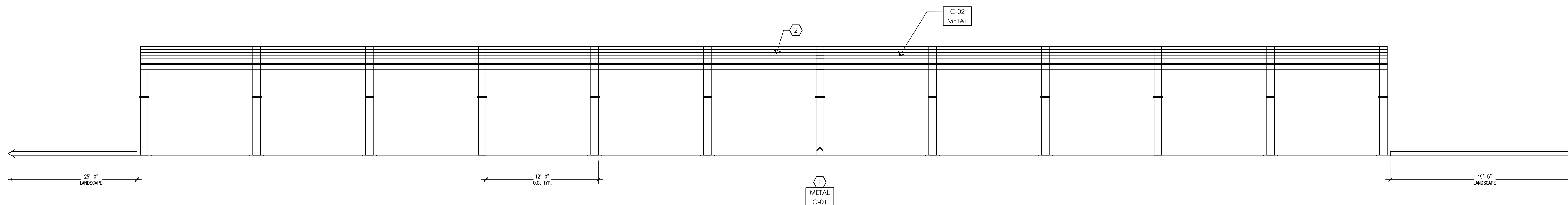
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**PROPOSED VACUUM AWNING
EXTERIOR ELEVATIONS**

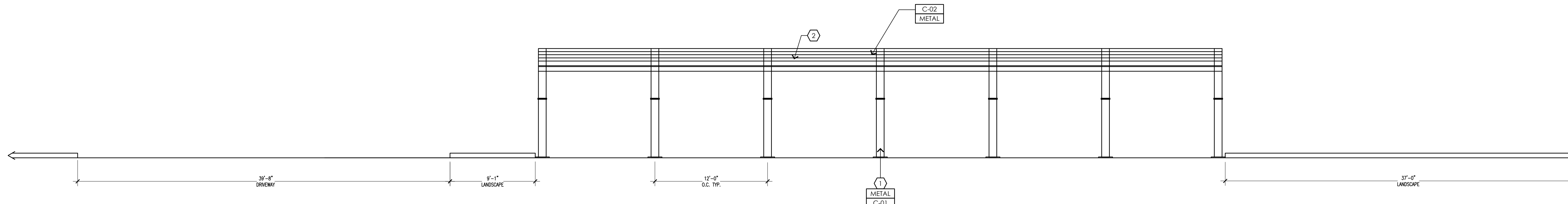
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MUP-7

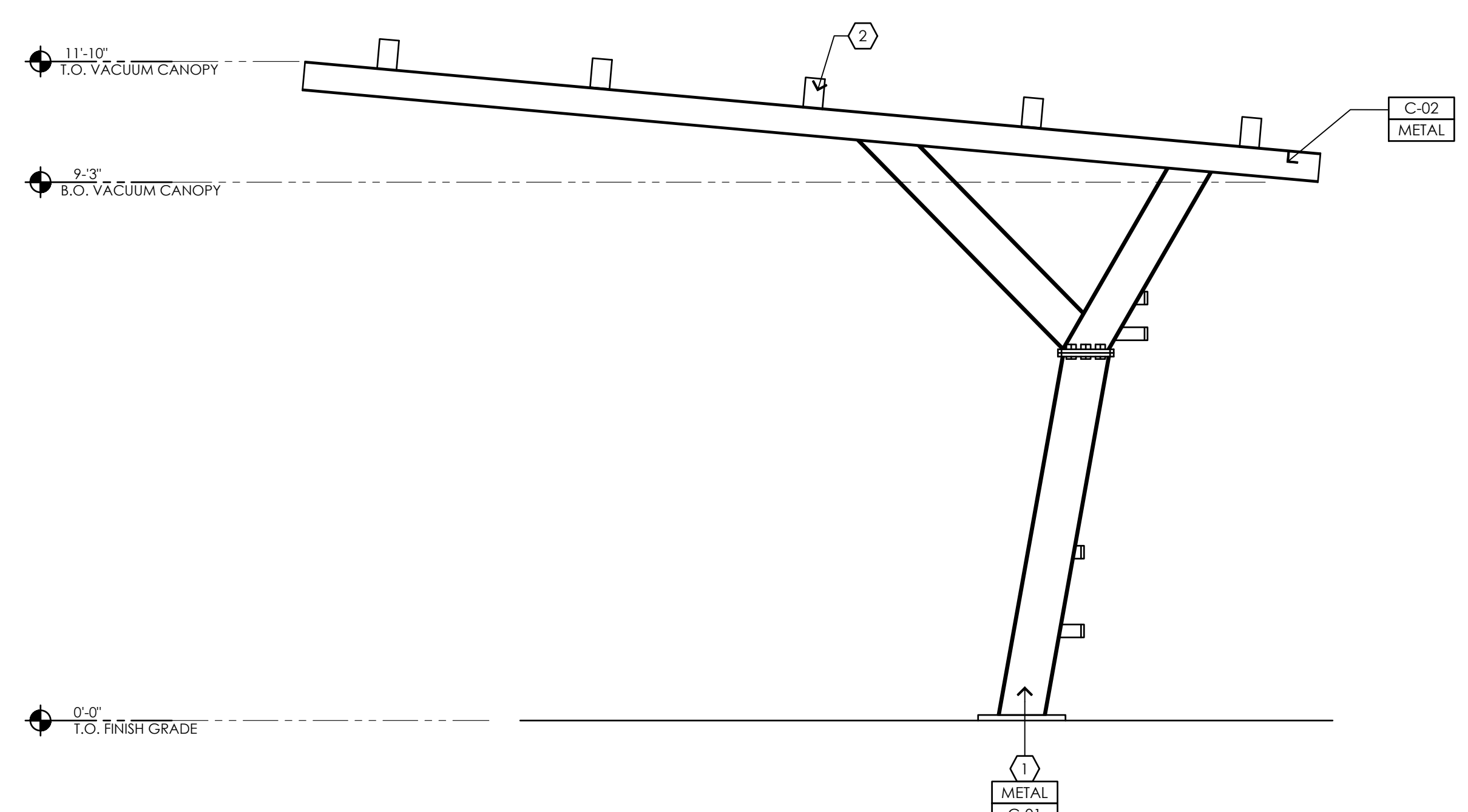
8/23/2022 16:05:01



A VALLEY CENTER ROAD VACUUM ELEVATIONS
SCALE: 3/16"=1'-0"



B MILLER ROAD VACUUM ELEVATIONS
SCALE: 3/16"=1'-0"



1 VACUUM SIDE ELEVATION
SCALE: N/A

KEYED NOTES:

- 1 METAL VACUUMS AWNING BY VACUTECH
- 2 MOUNTS FOR SOLAR PANELS

EXTERIOR PAINTS:

- C-01 OMEGA PRODUCTS - COLORTEK STUCCO #437, ROUGH KHAKI
- C-02 OMEGA PRODUCTS - COLORTEK STUCCO #437, TOFFEE CRUNCH

EXTERIOR FINISHES:

- METAL PREFABRICATED METAL VACUUM EQUIPMENT AND COVER

GENERAL NOTES:

1. INSTALLATION OF AWNING & VACUUMS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.