

**EASEMENTS:**

- ⑩ EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF LAKESIDE IRRIGATION DISTRICT RECORDED 4/6/1949 IN BOOK 3163 PAGE 412, OF OFFICIAL RECORDS.
- ⑪ EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF LAKESIDE SANITATION DISTRICT PER 1/16/1959 IN BOOK 7450 PAGE 39, OF OFFICIAL RECORDS.
- ⑫ EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES IN FAVOR OF THE COUNTY OF SAN DIEGO RECORDED 9/30/1966 AS INSTRUMENT NO. 1966-158808, OF OFFICIAL RECORDS.
- ⑬ EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES IN FAVOR OF THE COUNTY OF SAN DIEGO RECORDED 11/6/1967 AS INSTRUMENT NO. 1967-173544, OF OFFICIAL RECORDS.
- ⑭ EASEMENT AGREEMENT FOR UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF LAKESIDE IRRIGATION DISTRICT RECORDED 6/6/1968, AS INSTRUMENT NO. 1968-95017, OF OFFICIAL RECORDS
- ⑮ EASEMENT FOR RIGHT OF WAY AND INCIDENTAL PURPOSES IN FAVOR OF SDGE RECORDED 4/1/1969 AS INSTRUMENT NO. 1969-56087, OF OFFICIAL RECORDS.
- ⑯ EASEMENT AND PARKING AREA AGREEMENT RECORDED 7/11/1971, AS INSTRUMENT NO. 1971-122650, OF OFFICIAL RECORDS
- ⑰ EASEMENT FOR DRAINAGE PURPOSES IN FAVOR OF THE SAN DIEGO COUNTY FLOOD CONTROL DISTRICT RECORDED 9/19/1985, AS INSTRUMENT NO. 1985-346720, OF OFFICIAL RECORDS
- ⑱ EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF SDGE RECORDED 8/14/1992 AS INSTRUMENT NO. 1992-514072, OF OFFICIAL RECORDS. THE LOCATION OF SAID EASEMENT IS NOT SPECIFICALLY STATED IN THE DOCUMENTS BUT INCLUDES 3' ON EVERY SIDE OF THE EXISTING FACILITIES. THE APPROXIMATE LOCATION OF THE REFERENCED TRANSFORMER IS SHOWN HEREOF.
- ⑳ DEDICATION PER RECORD OF SURVEY MAP NO. 23996 RECORDED IN BOOK 487, PAGE 9 DECEMBER 17, 1910 OF OFFICIAL RECORDS
- ㉑ A 2'-WIDE PORTION OF BENEDICT AVENUE, NOW VACATED AND CLOSED TO PUBLIC USE, DOES NOT APPEAR TO BE COVERED BY AN EASEMENT FOR CHANNEL ROAD.

**ABBREVIATIONS:**

AC	ASPHALT CONCRETE	LSCAPE	LANDSCAPE
ARCH	ARCHITECTURAL	MH	MANHOLE
B	BOLLARD	N	NORTH
BFP	BACK FLOW PREVENTER	P	PAVEMENT
BLDG	BUILDING	PIV	POST INDICATOR VALVE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
C.B.	CATCH BASIN	POC	POINT OF CONNECTION
CONC	CONCRETE	PP	POWER POLE
CRB	CURB	PROP	PROPOSED
E	EAST	PVT	PRIVATE
ELEC	ELECTRICAL UTILITIES	RIM	RIM ELEVATION
E-OH	ELECTRICAL OVERHEAD	R/W	RIGHT-OF-WAY
EX	EXISTING	S	SOUTH
FDIC	FIRE DEPARTMENT CONNECTION	SD	STORM DRAIN UTILITIES
FF	FINISH FLOOR	SDMH	STORM DRAIN MANHOLE
FG	FINISH GRADE	SMH	SEWER MANHOLE
FH	FIRE HYDRANT	SWR	SEWER
FL	FLOW LINE	SWK	SIDEWALK
FS	FIRE SERVICE	TC	TOP OF CURB
G	GAS FACILITIES	TW	TOP OF WALL
GTR	GUTTER	W	WEST
IE	INVERT ELEVATION	WM	WATER METER BOX
IRR	IRRIGATION	WTR	WATER
LP	LIGHT POLE	WV	WATER VALVE

**TITLE INFORMATION:**

TITLE INFORMATION FOR THIS SURVEY BASED ON A PRELIMINARY REPORT PREPARED BY CALIFORNIA TITLE COMPANY AS ORDER NO. 400-2307842-37, DATED: JANUARY 24, 2022.

**VERTICAL BENCHMARK:**

DESCRIPTION: SAN DIEGO COUNTY REAL TIME NETWORK (SDCRTN) CONTINUOUSLY OPERATING REFERENCE STATION (CORS) "7473", (NSRS2007) 2011.00 EPOCH.

ELEVATION: 732.17' (NAVD88)

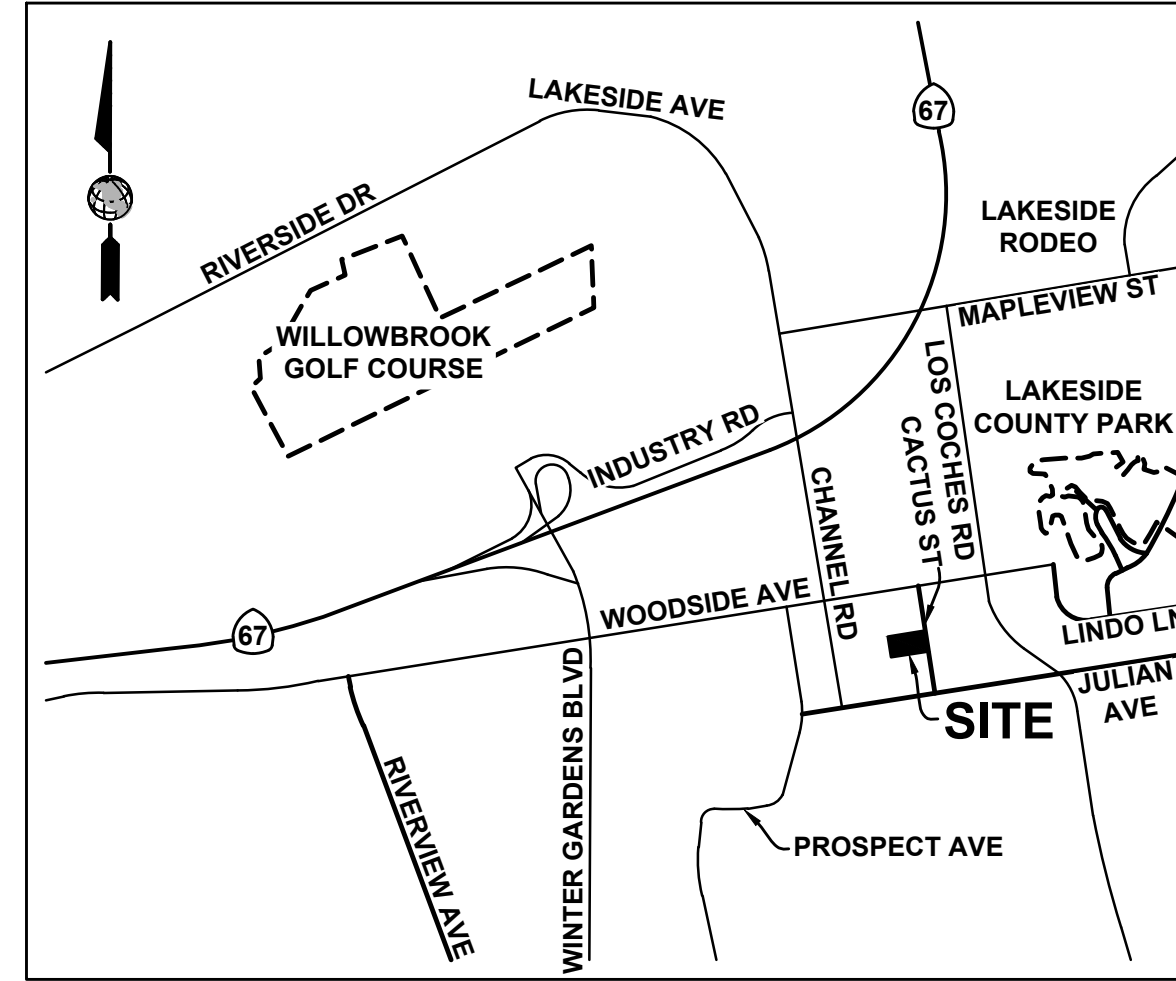
**LEGAL DESCRIPTION:**

PARCEL 1:  
 THAT PORTION OF LOT 150 AND THAT PORTION OF THE EAST HALF OF BENEDICT AVENUE, NOW VACANT AND CLOSED TO PUBLIC USE, IN EL CAJON VALLEY COMPANY'S LAND, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 289, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 30, 1886, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT 150; THENCE ALONG THE SOUTHERLY LINE 11'-THEREOF SOUTH 81°07'00" WEST, 250.00 FEET; THENCE PARALLEL WITH THE EASTERLY LINE OF SAID LOT, NORTH 09°06'15" WEST, 125.00 FEET; THENCE SOUTH 81°07'00" WEST 240.00 FEET; THENCE SOUTH 09°06'15" EAST, 125.00 FEET TO SAID SOUTHERLY LOT-LINE; THENCE ALONG SAID SOUTHERLY LINE AND THE WESTERLY PROLONGATION THEREOF, SOUTH 81°07'00" WEST, 242.95 FEET TO THE CENTER LINE OF SAID BENEDICT AVENUE; THENCE ALONG SAID CENTER LINE NORTH 80°57'50" WEST 756.60 FEET TO THE WESTERLY PROLONGATION OF THE NORTHERLY LINE OF SAID LOT 150; THENCE ALONG SAID WESTERLY PROLONGATION AND SAID NORTHERLY LINE NORTH 81° 07' 00" EAST, 731.10 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT; THENCE ALONG THE EASTERLY LINE OF SAID LOT, SOUTH 09° 06'15" EAST, 756.69 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PORTION OF SAID LAND DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF CHANNEL ROAD, DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO, RECORDED SEPTEMBER 30, 1966 AS INSTRUMENT NO. 158808, OF OFFICIAL RECORDS, WITH A LINE WHICH IS PARALLEL AND 140 FEET SOUTHERLY AT RIGHT ANGLES FROM THE NORTHERLY LINE OF LOT 150; THENCE EASTERLY ALONG SAID PARALLEL LINE 165.00 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO SAID PARALLEL LINE, 177.00 FEET; THENCE WESTERLY PARALLEL TO SAID PARALLEL LINE 158.18 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO SOUTHEAST WHOSE RADIUS IS 20.00 FEET; THENCE ALONG THE ARC OF SAID CURVE 34.47 FEET TO A POINT OF TANGENCY ( WITH THE EASTERLY LINE OF CHANNEL ROAD; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF CHANNEL ROAD; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF CHANNEL ROAD 44.53 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE WEST, WHOSE RADIUS IS 842.00 FEET; THENCE ALONG THE ARC OF SAID CURVE 50.32 FEET TO THE POINT OF BEGINNING.  
 ALSO EXCEPTING THEREFROM THE EASTERLY 180.00 FEET TO THE NORTHERLY 195.00 FEET OF SAID LOT 150, AND ALSO EXCEPTING THEREFROM THAT PORTION LYING SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 150; THENCE ALONG EASTERLY LINE OF SOUTH 08°37'22" EAST, 430.00 FEET TO THE SOUTHERLY LINE OF THE NORTHERLY 430.00 FEET OF SAID LOT AND BEING THE TRUE POINT OF BEGINNING; THENCE ALONG SAID SOUTHERLY LINE, AND THE WESTERLY PROLONGATION OF SAID SOUTHERLY LINE, SOUTH 81°31'38" WEST; 731.10 FEET TO THE CENTER LINE OF SAID BENEDICT AVENUE.

PARCEL 2:  
 NON-EXCLUSIVE EASEMENTS FOR INGRESS, EGRESS AND PARKING AS PROVIDED IN THAT CERTAIN GRANTS OF EASEMENTS AND PARKING AGREEMENT RECORDED JUNE 11, 1971 AS INSTRUMENT NO. 122650 OF OFFICIAL RECORDS.

**GRADING QUANTITIES:**

GRADED AREA	1.11 [ACRES]
MAX FILL	4.28 [FT]
MAX CUT	10.45 [FT]
FILL QUANTITIES	486 [CY]
CUT QUANTITIES	8,131 [CY]
UNDERCUT QUANTITIES	826 [CY]
EXPORT CONDITION	8,471 [CY]



**VICINITY MAP:**

NO SCALE

**OWNER:**

21ST CENTURY LAKESIDE HOLDINGS, LLC.

**SITE ADDRESS:**

12407-13 WOODSIDE AVE  
 LAKESIDE, CA 92040

**ASSESSOR'S PARCEL NUMBER:**

394-122-09, 394-122-10, 394-122-11, 394-122-13, 394-122-16

**SOURCE OF TOPOGRAPHY:**

TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMMETRIC MAPPING CONDUCTED BY PRECISION UAV, AS PHOTOGRAPHED ON NOVEMBER 22, 2022. HORIZONTAL AND VERTICAL GROUND CONTROL WERE ESTABLISHED BY OMEGA LAND SURVEYING, INC. ON NOVEMBER 18, 2022 WITH SUPPLEMENTAL DATA COLLECTED ON NOVEMBER 30, 2022.

**BASIS OF BEARINGS:**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF WOODSIDE AVE AS SHOWN ON ROS 23996, SAID BEARING BEING "N 81°08'42" E"

**SHEET INDEX:**

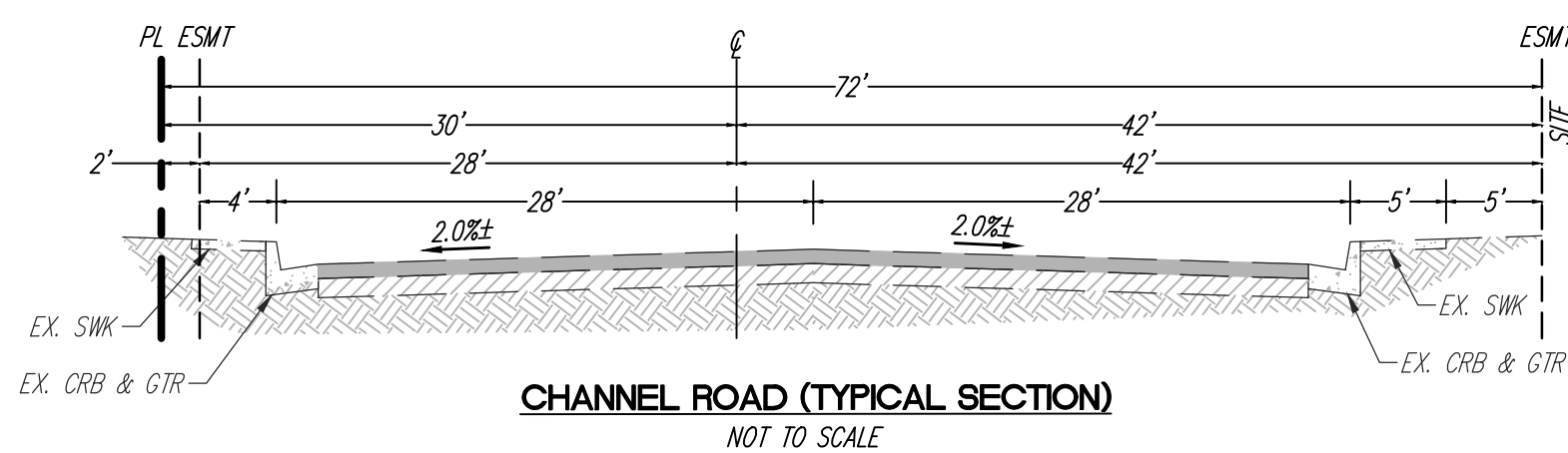
NO.	DESCRIPTION
C1	TITLE SHEET
C2	CONCEPTUAL GRADING PLAN
C3	DMA MAP
C4	BMP DETAILS
C5	CONSTRAINTS MAP

**EXISTING LEGEND:**

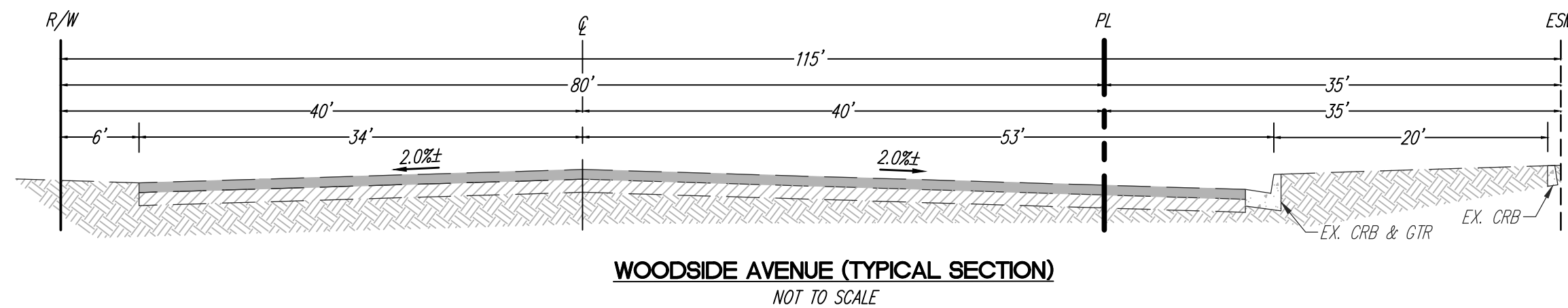
ITEM	SYMBOL
CENTERLINE	---
RIGHT-OF-WAY	----
EX. PROPERTY LINE	----
EX. CONTOUR	.....
EX. SPOT ELEVATION	• 965.8'
EX. ELECTRICAL OR COMMUNICATIONS MANHOLE	⊕
EX. SANITARY SEWER & MANHOLE	⊙
EX. WATER	—○—
EX. FIRE HYDRANT ASSEMBLY	⊕
EX. CURB & GUTTER	=====
EX. TREE	⊙
EX. POWER POLE	⊕
EX. AC BEAM	—○—

**PROPOSED LEGEND:**

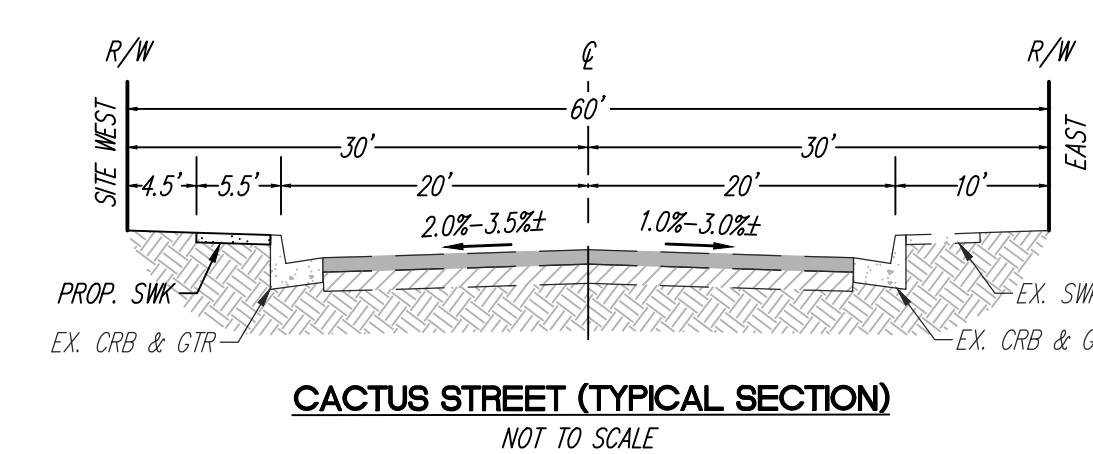
ITEM	SYMBOL
PROPOSED CONTOUR	..... 38
PROPOSED PROPERTY LINE	----
PROPOSED FINISH FLOOR ELEVATION	FF=52.00
PROPOSED TOP OF CURB ELEVATION	374.00TC
PROPOSED PAVEMENT ELEVATION	374.00P
PROPOSED FLOWLINE ELEVATION	374.00FL
PROPOSED FINISHED GRADE ELEVATION	374.00FG
PROPOSED GRADIENT	1.75%
PROPOSED CURB (PVT)	=====
PROPOSED CURB & GUTTER (PVT)	=====
PROPOSED ROLLED CURB & GUTTER (PVT)	=====
PROPOSED PCC SIDEWALK (PUB)	=====
PROPOSED AC PAVEMENT (PVT)	=====
PROPOSED GRIND & OVERLAY (PVT)	=====
PROPOSED DRIVEWAY (PUBLIC)	=====
PROPOSED STORM DRAIN (PVT)	=====
PROPOSED WATER LATERAL (PVT)	=====
PROPOSED BFP (PVT)	=====
PROPOSED BFP W/ FDC (PVT)	=====
PROPOSED DOMESTIC WATER POINT OF CONNECTION	⊕
PROPOSED FIRE POINT OF CONNECTION	⊕
PROPOSED IRRIGATION POINT OF CONNECTION	⊕
PROPOSED SEWER POINT OF CONNECTION	⊕
PROPOSED SEWER LATERAL (PVT)	=====
PROPOSED SEWER CLEANOUT (PVT)	⊕
PROPOSED BUILDING FOOTPRINT	=====
PROPOSED STORM DRAIN STRUCTURE (PVT)	=====
PROPOSED 4' WIDE RIBBON GUTTER (PVT)	=====
PROPOSED ALLEY APRON (PUB)	=====
PROPOSED CMU WALL (PVT)	=====
PROPOSED BIORETENTION BASIN (PVT)	=====



CHANNEL ROAD (TYPICAL SECTION)  
 NOT TO SCALE



WOODSIDE AVENUE (TYPICAL SECTION)  
 NOT TO SCALE

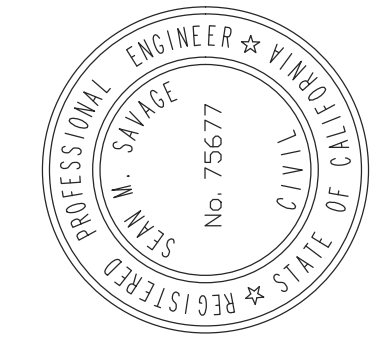


CACTUS STREET (TYPICAL SECTION)  
 NOT TO SCALE

**OMEGA**  
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 SAN DIEGO, CA 92123  
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12/21/23

DATE



FILENAME: P:\DWG\OMEGA\0899 LAKESIDE SELF-STORAGE\ACAD\DISCRETIONARY\0899-COP-01-TITLE.DWG

DATE: 12/21/2023 1:36:04 PM BY: NICK SIRACUSA

# 21ST CENTURY LAKESIDE HOLDINGS, LLC WOODSIDE SELF STORAGE SAN DIEGO COUNTY, CA

# C-1 JORDAN ARCHITECTS TITLE SHEET

JOB NUMBER: 21-528

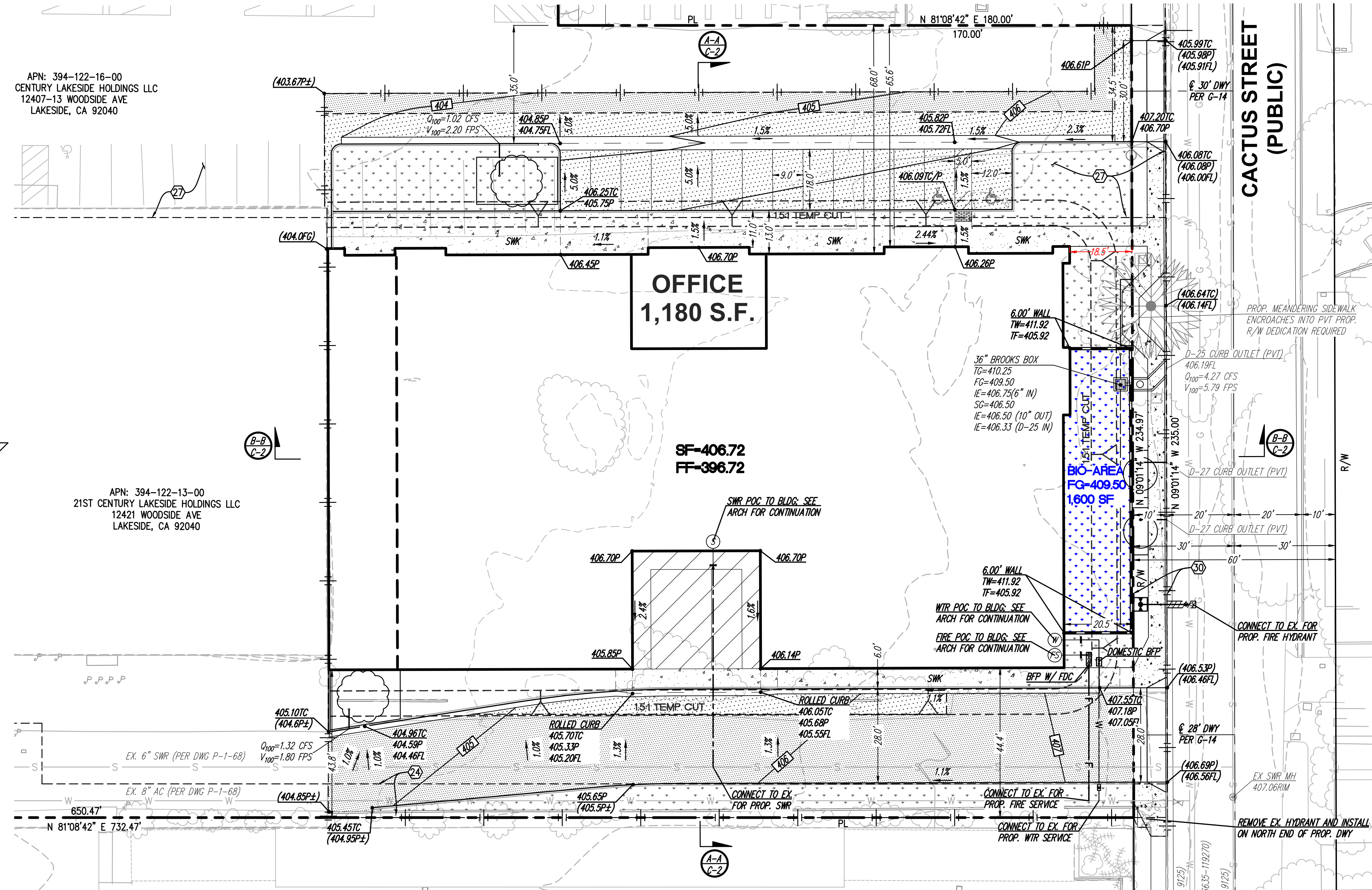
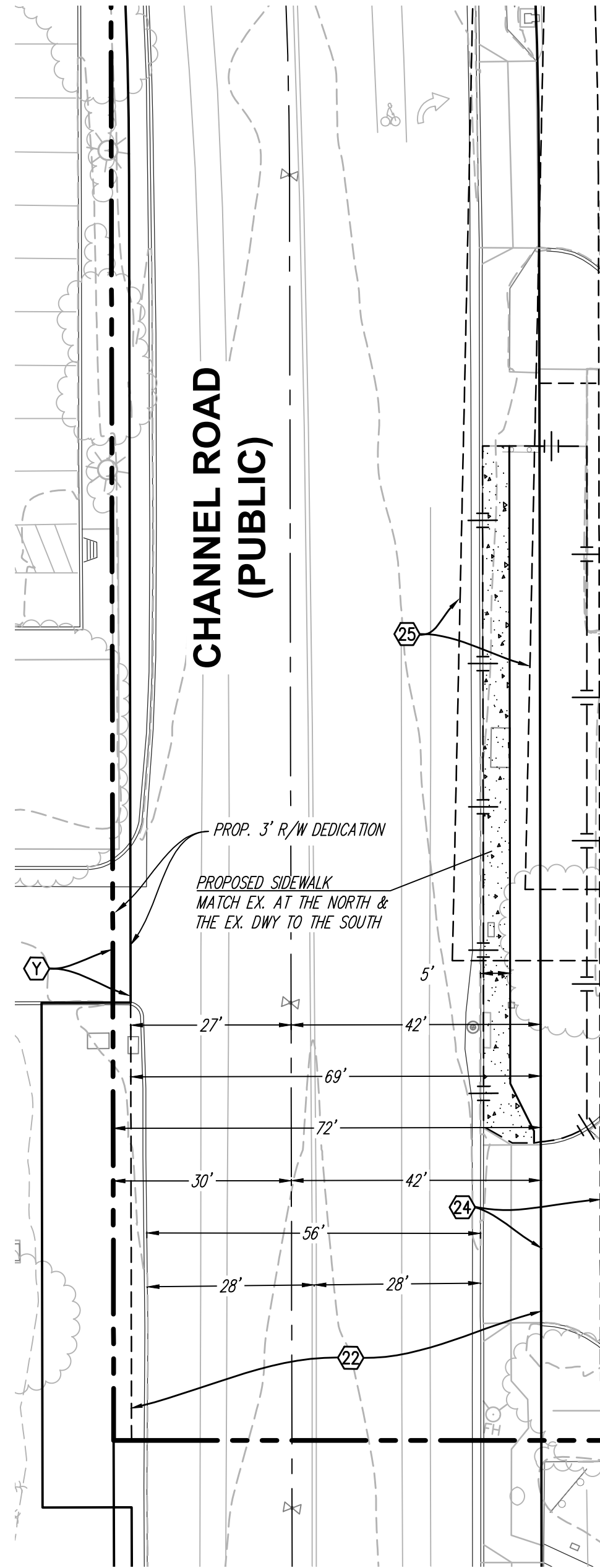
DATE: 12/21/2023

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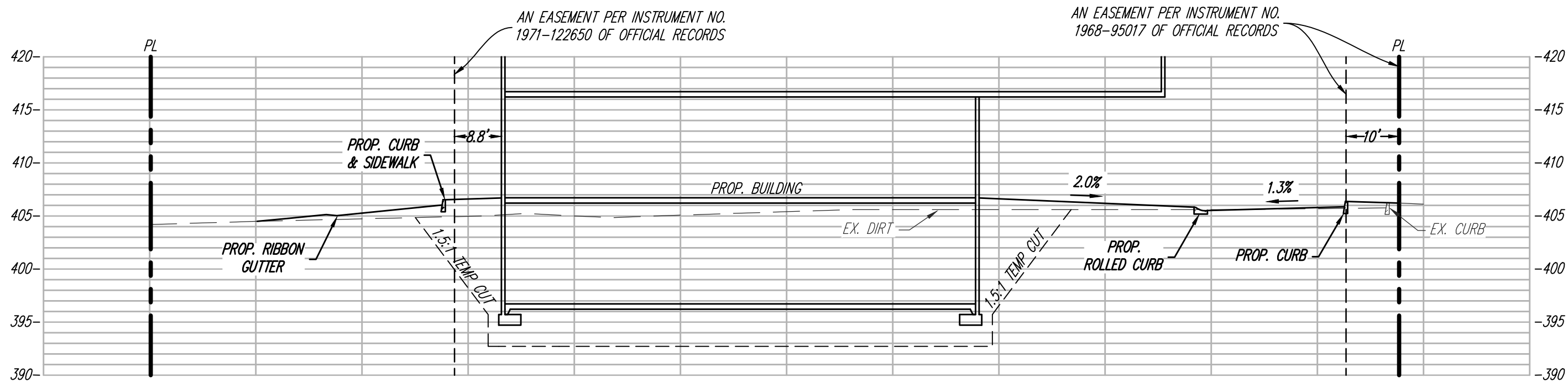
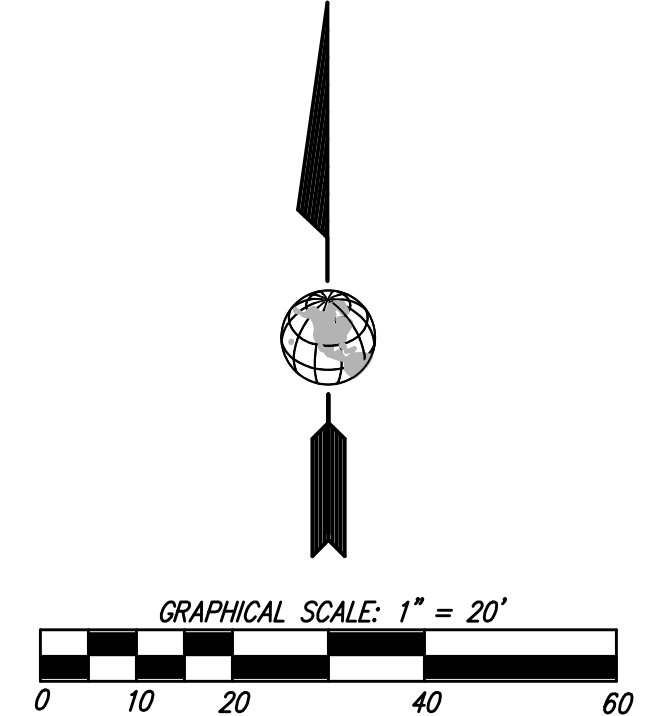
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 949.388.8090

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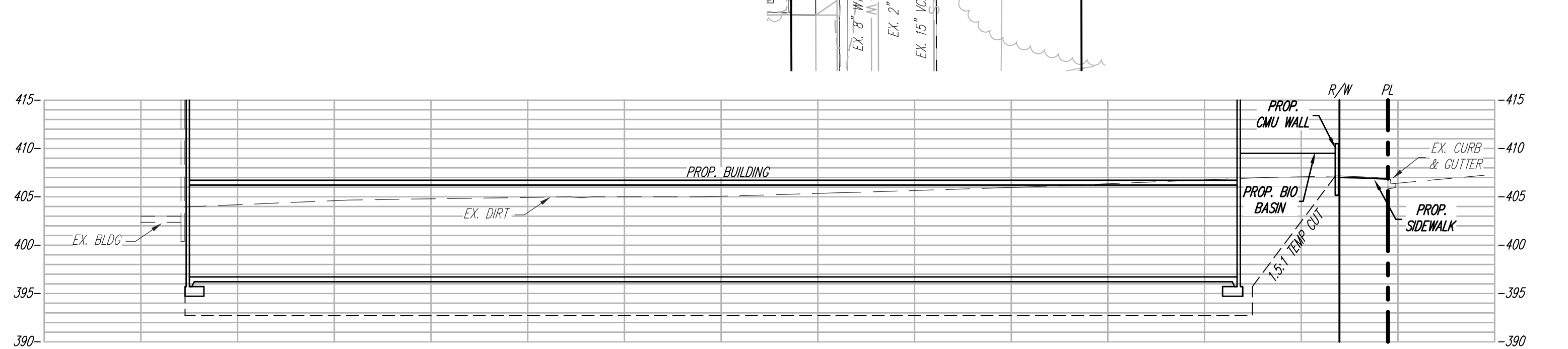
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EASEMENT NOTE:  
FOR EASEMENT DESCRIPTIONS SEE SHEET C-1.



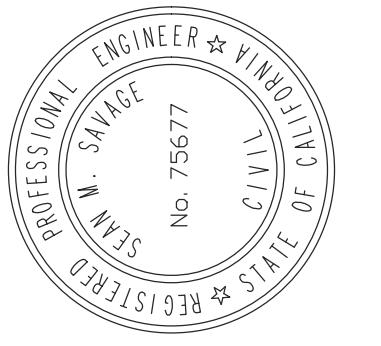
SECTION A-A  
HORIZONTAL SCALE 1"=20'  
VERTICAL SCALE 1"=10'



SECTION B-B  
HORIZONTAL SCALE 1"=20'  
VERTICAL SCALE 1"=10'

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12/21/23  
DATE  
SEAN M. SAVAGE R.G.E. 75677



# 21ST CENTURY LAKESIDE HOLDINGS, LLC WOODSIDE SELF STORAGE SAN DIEGO COUNTY, CA

# CONCEPTUAL GRADING

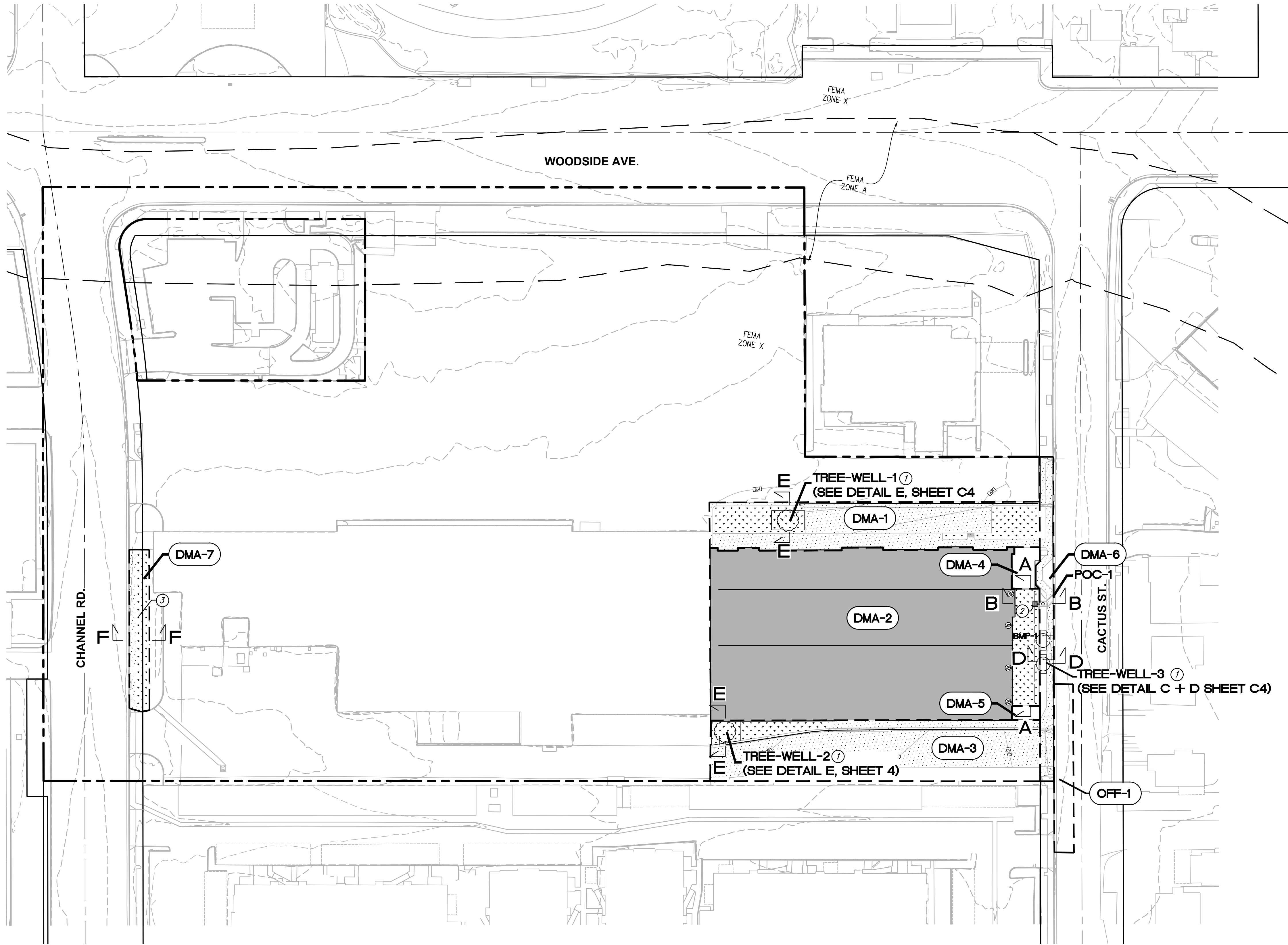
C-2 *ja*  
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JOB NUMBER: 21-528  
DATE: 12/21/2023

FILENAME: P:\DWG\OMEGA\10899 LAKESIDE SELF-STORAGE\ACAD\DISCRETIONARY\10899-03P-02-04-DMA.DWG

DATE: 12/21/2023 1:27:07 PM BY: NICK SIRACUSA



**LEGEND:**

- DMA BOUNDARY: - - - - -
- DRAINAGE ARROWS: - - - - -
- POINT OF COMPLIANCE: POC-#
- DRAINAGE MANAGEMENT AREA: DMA-#
- IMPERVIOUS AREA: [Grey Shaded Box]
- ROOF AREA: [Dark Grey Shaded Box]
- ENGINEERED PERVIOUS AREAS: [Dotted Box]
- NATURAL 'D' SOIL AREAS: [White Box]
- ROOF DRAIN LOCATION: (RD)

- SOURCE CONTROL BMP NOTES**
- ALL APPLICABLE SOURCE CONTROL BMPs SHALL BE UTILIZED
- A. ALL ON-SITE INLETS TO BE MARKED "NO DUMPING" OR SIMILAR AND ALL OPERATIONAL PRECAUTIONS TO AVOID NON-STORM WATER DISCHARGE SHALL BE FOLLOWED PER THE CITY'S BMP DESIGN MANUAL.
  - B. PROPOSED REFUSE AREA WILL REMAIN COVERED AND PROTECTED FROM WIND DISPERSAL. SIGNS SHALL BE PLACED WITH WORDS "DO NOT DUMP HAZARDOUS MATERIALS OR LIQUIDS HERE" OR SIMILAR. OWNER SHALL BE RESPONSIBLE TO KEEP THE AREA CLEAN OF LITTER AND SPILLS.
  - C. OWNER TO BE RESPONSIBLE FOR SHEEPING PLAZAS, SIDEWALKS, AND PARKING LOTS. THIS IS TO BE DONE REGULARLY AND AS NEEDED TO PREVENT ACCUMULATION OF LITTER AND DEBRIS.
  - D. FIRE SPRINKLER TEST WATER SHALL BE DRAINED TO THE BIOFILTRATION BASIN.
  - E. CONDENSATE DRAIN LINES INCLUDING AIR CONDITIONING SHALL BE ROUTED TO LANDSCAPE.
  - F. ROOFING, GUTTERS, AND TRIM SHALL NOT BE MADE OF COPPER OR OTHER UNPROTECTED METALS THAT MAY LEACH INTO RUNOFF MUST BE AVOIDED.

- NOTES**
1. UNDERLYING NRCS HYDROLOGIC SOIL GROUP FOR SITE IS TYPE D
  2. PER THE GEOTECHNICAL EVALUATION PERFORMED BY LGC GEOTECHNICAL INC. ON MARCH 29, 2022, GROUNDWATER DEPTH WAS ENCOUNTERED AT APPROXIMATELY 20 FEET BELOW EXISTING GROUND SURFACE
  3. NO EXISTING NATURAL HYDROLOGIC FEATURES
  4. NO CRITICAL COARSE SEDIMENT YIELD AREAS ON SITE
  5. AVOID USING COPPER WHEN SELECTING ROOF DRAINAGE AND ROOFING TRIM MATERIALS

**DMA DATA TABLE**

DMA-NO.	TOT. AREA (SF)	IMPERVIOUS (%)	DESIGN DCV (CF)	TYPE/TREATED BY
DMA-1	8,177	70	220	TREE WELL-1
DMA-2	28,787	94	999	BMP-1
DMA-3	10,555	71	289	TREE WELL-2
DMA-4	555	0	-	SELF-MITIGATING
DMA-5	205	0	-	SELF-MITIGATING
DMA-6	2,419	67	63	TREE WELL-3
DMA-7	1,689	32	63	IMPERVIOUS AREA DISPERSION
OFF-1	1705	100	63	DMA-6, TREE WELL 3 *

\* NOTE: THE OFFSITE AREA SHOWN HEREON HAS AN EQUIVALENT DCV TO DMA-6.

**TREATMENT BMP DATA TABLE**

BMP-#	TREATING	PROPOSED FOOTPRINT	DESCRIPTION
BMP-1	DMA-1	1,600 SF	FULLY LINED BIOFILTRATION BASIN

**TREE WELL DATA TABLE**

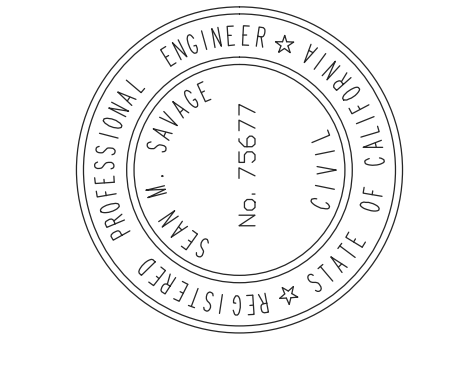
TREE WELL #	TRIBUTARY BASIN	TOTAL DCV REDUCTION	AMENDED SOIL DEPTH	PROVIDED SOIL AREA (PER TREE)	# OF TREES	CANOPY DIAMETER
1	DMA-1	290 CF	3 FT	336 SF	1	25 FT
2	DMA-3	290 CF	3 FT	336 SF	1	25 FT
3*	DMA-6	80 CF	2.5 FT	63 SF	2	10 FT

\* NOTE: THE PROPOSED OFFSITE IMPROVEMENTS WILL BE MITIGATED BY THE PROPOSED TREE WELL # 3.

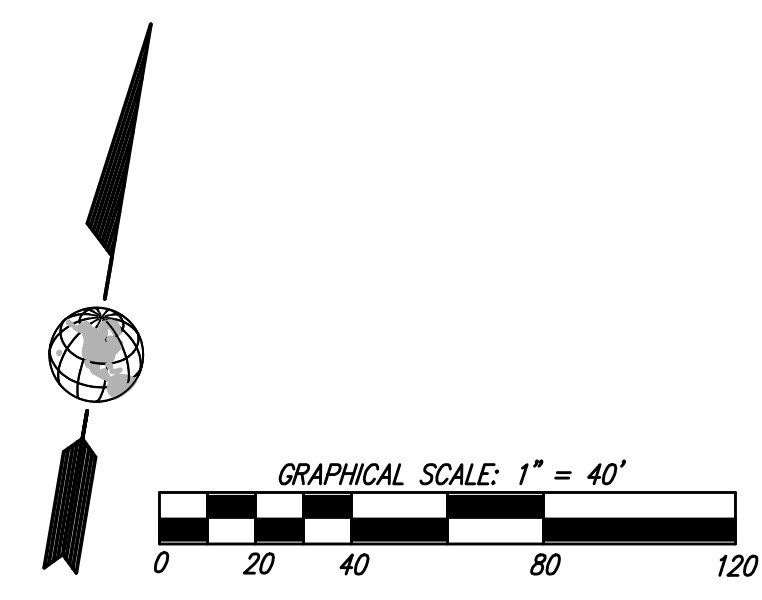
- SOURCE CONTROL BMPs**
- TREE WELL, SIZED PER DATA TABLE: ①
  - STORM DRAIN STENCILING: ②
  - IMPERVIOUS AREA DISPERSION: ③

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**WOODSIDE SELF STORAGE**  
 SAN DIEGO COUNTY, CA

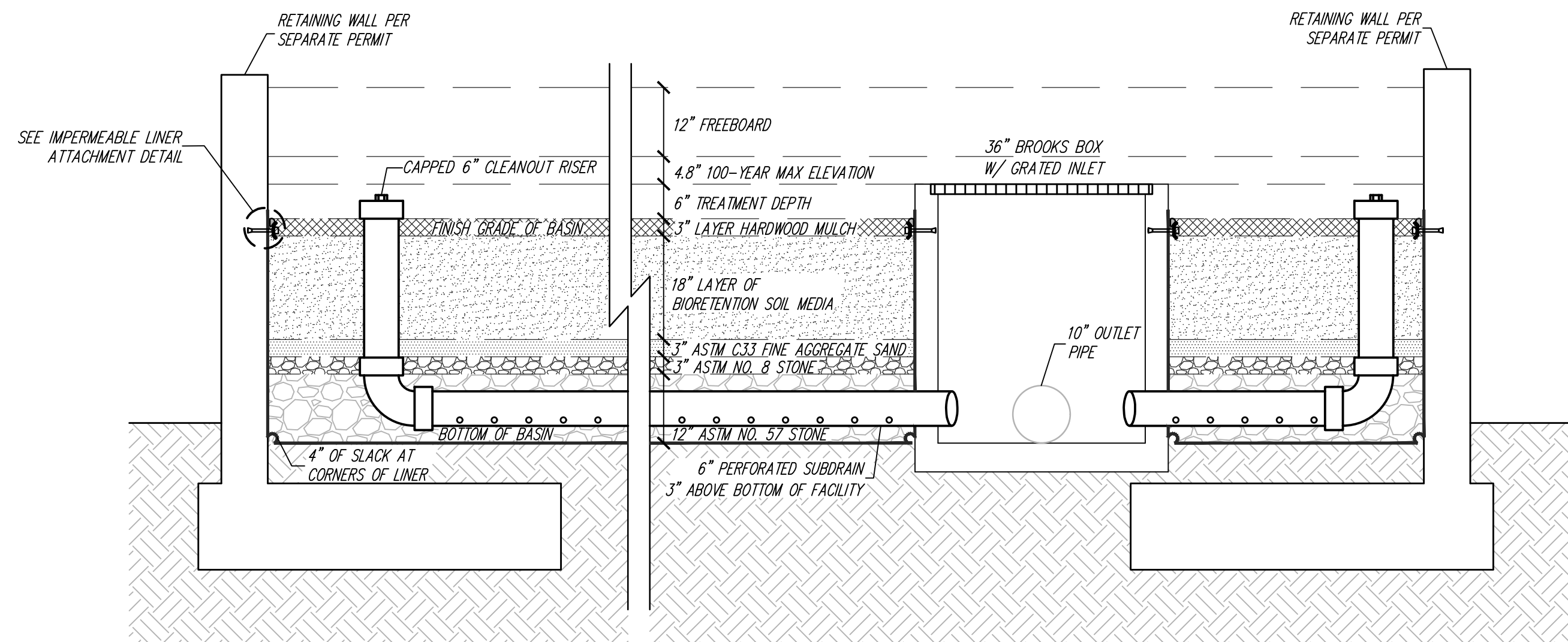


**DMA MAP**

JOB NUMBER: 21-528  
 DATE: 12/21/2023

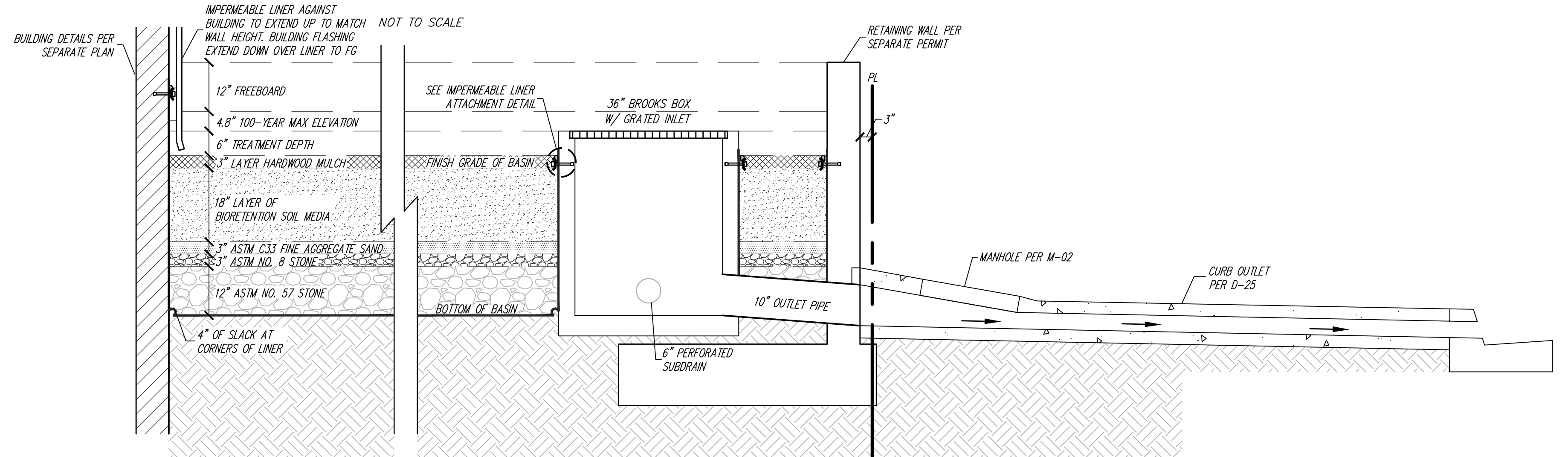
**Jordan Architects**  
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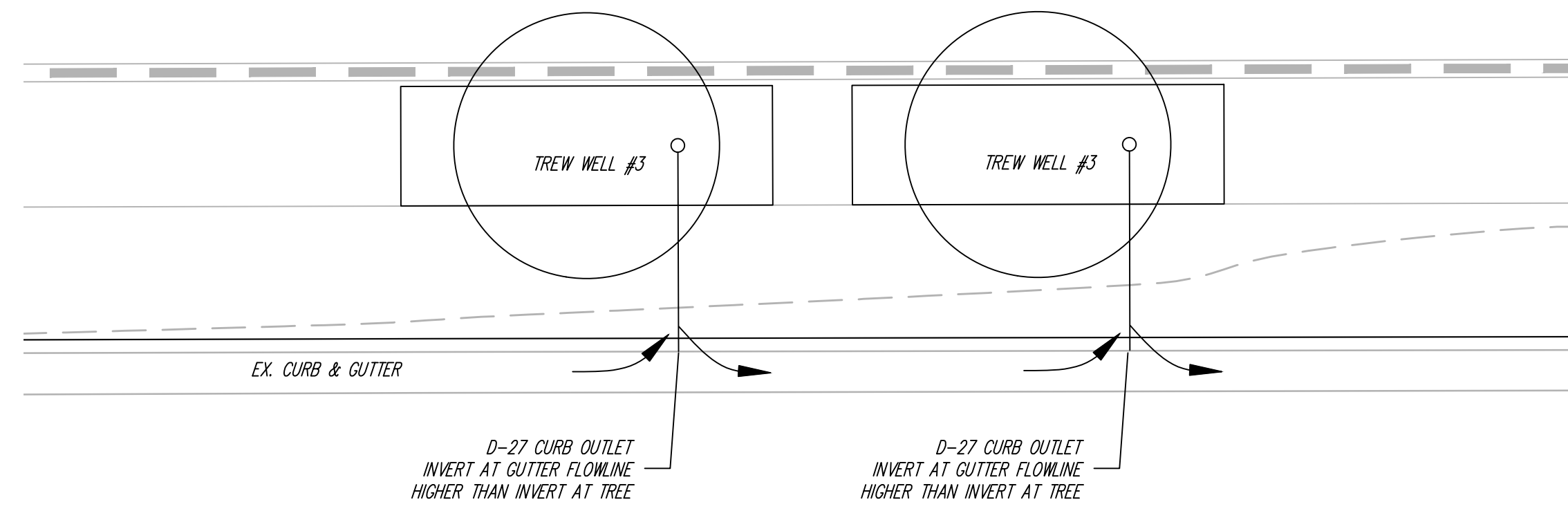
**BIOFILTRATION BASIN CROSS SECTION**

**A**



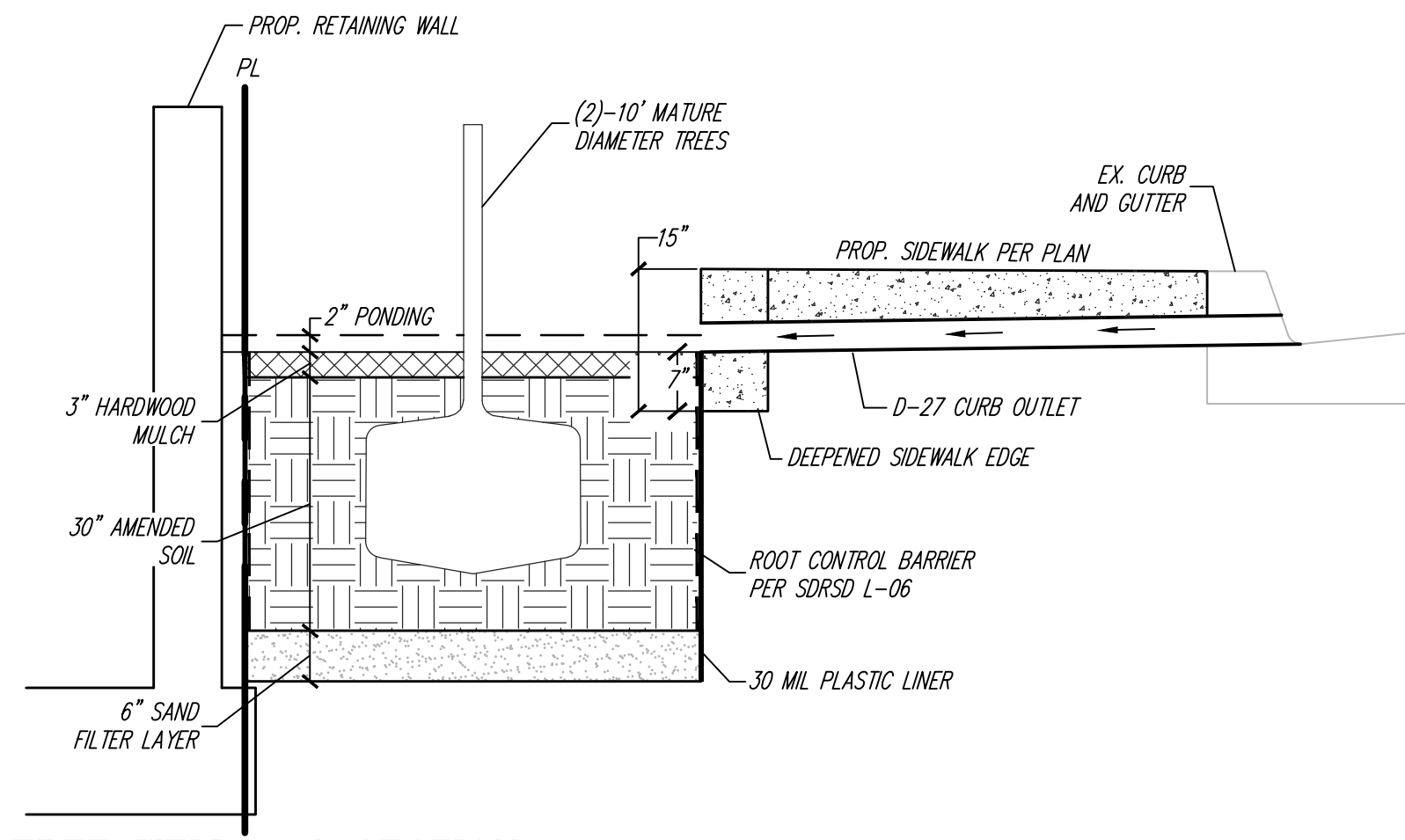
**BIOFILTRATION BASIN CROSS SECTION BMP-1**

**B**



**TREE WELL #3 PLAN VIEW**

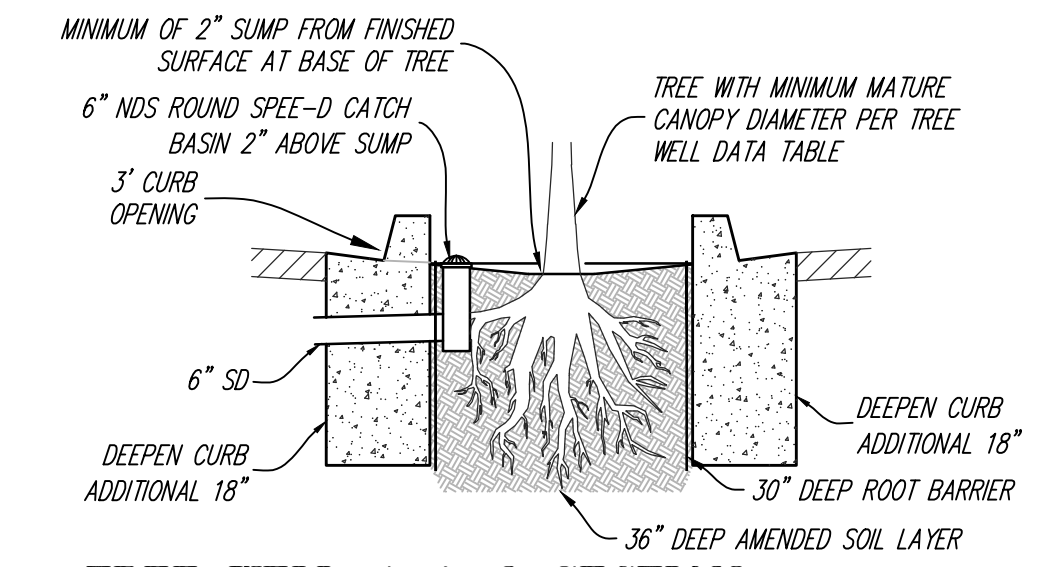
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**TREE WELL #3 SECTION**

NOT TO SCALE

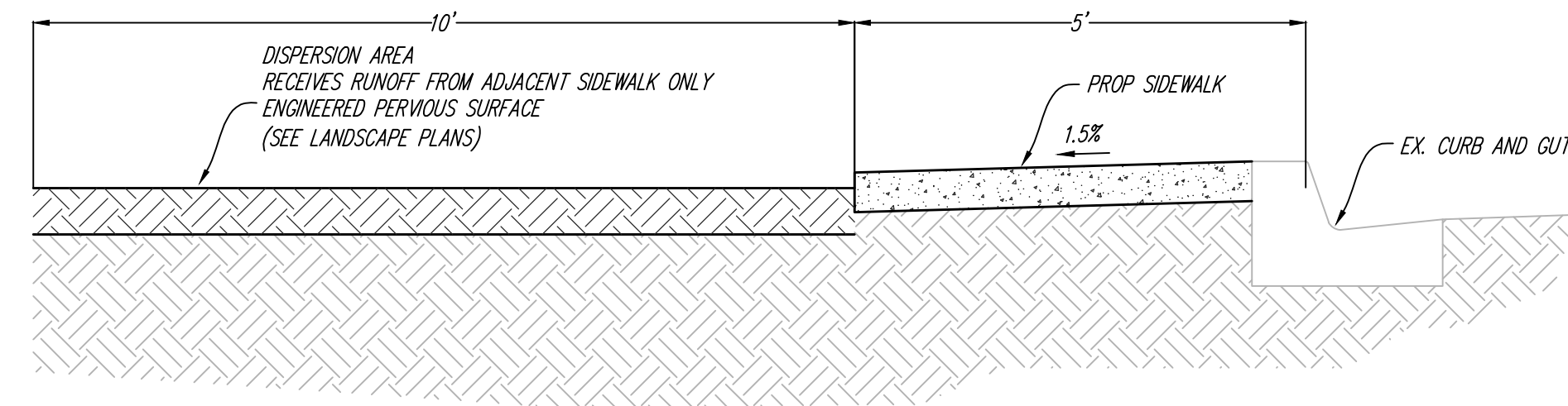
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**TREE WELL-1 & 2 SECTION**

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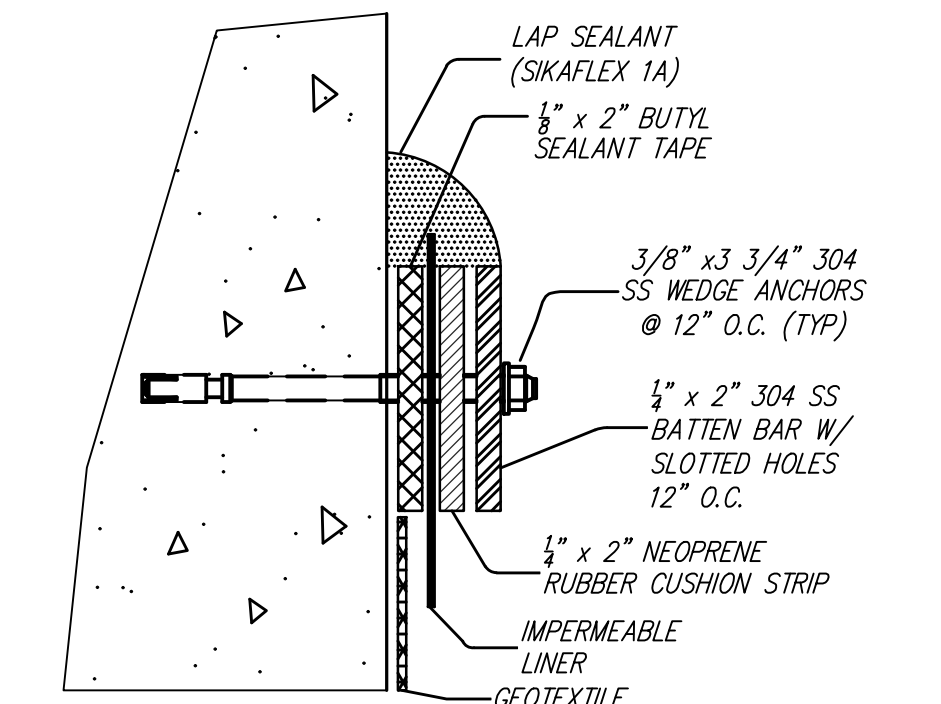
**E**



**TREE WELL #3 SECTION**

NOT TO SCALE

**F**



**IMPERMEABLE LINER ATTACHMENT DETAIL**

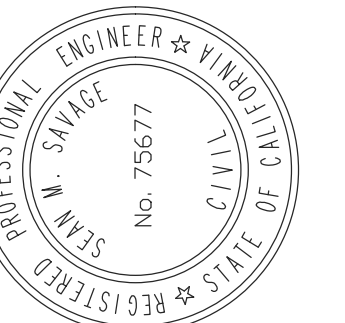
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DATE

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FILENAME: P:\DWG\OMEGA\0899 LAKESIDE SELF-STORAGE\ACAD\DISCRETIONARY\0899-CSP-02-04-IMA.DWG

DATE: 12/21/2023 1:27:07 PM BY: NICK SIRACUSA

21ST CENTURY LAKESIDE HOLDINGS, LLC  
**WOODSIDE SELF STORAGE**  
SAN DIEGO COUNTY, CA

**C4** *ja* **JORDAN ARCHITECTS**  
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**BMP DETAILS**

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JOB NUMBER: 21-528  
DATE: 12/21/2023

**GRADING PLAN NOTES:**

**PRIOR TO PRECONSTRUCTION MEETING**

**NOTICE:** IN THE EVENT THAT ANY ACTIVITY, INCLUDING EARTHMOVING OR CONSTRUCTION, DISCOVERS THE PRESENCE OF UNDERGROUND STORAGE TANKS, SEPTIC TANKS, WELLS, SITE DEBRIS, AND/OR CONTAMINATED SOILS ON-SITE, THE CONTRACTOR AND/OR PROPERTY OWNER SHALL NOTIFY THE COUNTY OF SAN DIEGO PLANNING & DEVELOPMENT SERVICES DEPARTMENT AND THE DEPARTMENT OF ENVIRONMENTAL HEALTH AND QUALITY. THE PRESENCE OF CONTAMINATED SOILS WILL REQUIRE SOIL TESTING AND REMEDIATION IN ACCORDANCE WITH STANDARD COUNTY PROCEDURES. THIS PROCESS WILL BE DETERMINED ONCE THE COUNTY IS NOTIFIED OF THE PRESENCE OF CONTAMINATED SOILS.

**CHARACTER CONDITIONS**

**PRIOR TO THE APPROVAL OF ANY PLAN**

**DEMO/RE-WELL DESTRUCTION**  
**INTENT:** IN ORDER TO ENSURE THAT THE WATER WELL LOCATED ON THE PROPERTY IS REMOVED, AND TO COMPLY WITH THE COUNTY REGULATORY CODE SECTION 67.431, ALL UNUSED AND NON-OPERATIONAL WELLS SHALL BE PROPERLY DESTROYED. DESCRIPTION OF REQUIREMENT: ALL UNUSED WELLS SHALL BE PROPERLY DESTROYED BY A CALIFORNIA C-57 LICENSED WELL DRILLER. A WELL DESTRUCTION PERMIT SHALL BE OBTAINED FROM THE [DEHQ, LWO] AND ALL APPLICABLE INSPECTION FEES SHALL BE PAID. **DOCUMENTATION:** THE APPLICANT SHALL PROVIDE COPIES OF THE WELL DESTRUCTION LOGS TO [DEHQ, LWO] UPON COMPLETION OF THE WELL DESTRUCTION. **TIMING:** PRIOR TO THE APPROVAL OF ANY PLAN, ISSUANCE OF ANY PERMIT (EXCLUDING WELL DESTRUCTION PERMIT), AND PRIOR TO OCCUPANCY OR USE OF THE PREMISES IN RELIANCE OF THIS PERMIT, THE APPLICANT SHALL DESTROY THE WELL. **MONITORING:** UPON SUBMITTAL OF THE WELL DESTRUCTION LOGS, [DEHQ, LWO] SHALL PERFORM A FIELD INSPECTION TO VERIFY THAT THE WELL HAS BEEN PROPERLY DESTROYED.

**HAZARDOUS STRUCTURE AND DEBRIS REMOVAL [PDS, FEE X 2]**

**INTENT:** IN ORDER TO COMPLY WITH THE PROPOSED PROJECT DESIGN FOR PDS2021-STP-21-010, STRUCTURE(S) TO BE REMOVED AND DEBRIS PILE(S) IDENTIFIED ON THE APPROVED PLAN SET SHALL BE REMODELED/DEMOLISHED/REMOVED, AS APPLICABLE. ADDITIONAL DEBRIS LOCATED THROUGHOUT THE PROJECT SITE SHALL ALSO BE PROPERLY DISPOSED OF. **DESCRIPTION OF REQUIREMENT:** THE STRUCTURE(S)/DEBRIS PILE(S) SHOWN ON THE APPROVED PLAN SET SHALL BE REMOVED OR DEMOLISHED. **DOCUMENTATION:** THE APPLICANT SHALL SUBMIT TO THE [PDS, PPD] A SIGNED STATEMENT FROM A REGISTERED PROFESSIONAL ENGINEER, SURVIVOR, CONTRACTOR, WHICH STATES THAT THE STRUCTURE(S)/DEBRIS PILE(S) HAVE BEEN REMODELED/DEMOLISHED/REMOVED. THE LETTER REPORT SHALL ALSO INCLUDE BEFORE AND AFTER PICTURES OF THE AREA AND STRUCTURE. **TIMING:** PRIOR TO THE APPROVAL OF ANY PLAN, ISSUANCE OF ANY PERMIT (EXCLUDING DEMOLITION PERMIT), AND PRIOR TO APPROVAL OF THE MAP THE APPLICANT SHALL COMPLY WITH THIS CONDITION. **MONITORING:** THE [PDS, PPD] SHALL REVIEW THE STATEMENT AND, PHOTOS, AND ANY ADDITIONAL EVIDENCE FOR COMPLIANCE WITH THIS CONDITION.

**HAZARDOUS ASBESTOS SURVEY [PDS, FEE X 2]**

**INTENT:** IN ORDER TO AVOID HAZARDS ASSOCIATED WITH ASBESTOS CONTAINING MATERIALS (ACMS) AND TO MITIGATE BELOW LEVELS OF SIGNIFICANCE AS ESTABLISHED BY THE COUNTY OF SAN DIEGO HAZARDOUS MATERIALS AND EXISTING CONTAMINATION GUIDELINES FOR DETERMINING SIGNIFICANCE, THE STRUCTURES IDENTIFIED ON THE APPROVED [RECORD ID] PLAN SET FOR DEMOLITION SHALL BE SURVEYED FOR THE PRESENCE OF ACMS IN ACCORDANCE WITH DISTRICT RULE 1206. **DESCRIPTION OF REQUIREMENT:** A FACILITY SURVEY SHALL BE PERFORMED TO DETERMINE THE PRESENCE OR ABSENCE OF ACMS IN THE STRUCTURES IDENTIFIED FOR DEMOLITION OR REMOVAL ON THE APPROVED PLAN SET. SUSPECT MATERIALS THAT WILL BE DISTURBED BY THE DEMOLITION ACTIVITIES SHALL BE SAMPLED AND ANALYZED FOR ASBESTOS CONTENT, OR ASSUMED TO BE ASBESTOS CONTAINING. THE SURVEY SHALL BE CONDUCTED BY A PERSON CERTIFIED BY CAL/OSHA PURSUANT TO APPLICABLE REGULATIONS AND SHALL HAVE TAKEN AND PASSED AN EPA-APPROVED BUILDING INSPECTOR COURSE.

- A. IF ACMS ARE FOUND PRESENT, THEY SHALL BE HANDLED AND REMEDIATED IN COMPLIANCE WITH APPLICABLE SAN DIEGO COUNTY AIR POLLUTION CONTROL DISTRICT REGULATIONS.
- B. ACMS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.

**DOCUMENTATION:** THE APPLICANT SHALL COMPLETE THE HAZARDOUS MATERIAL QUESTIONNAIRE AND SUBMIT TO THE [APCD], IF REQUIRED BY APCD, THE APPLICANT SHALL SUBMIT FURTHER DOCUMENTATION TO APCD. **TIMING:** PRIOR TO GRADING OR IMPROVEMENT PERMIT (EXCLUDING DEMOLITION PERMIT), THE APPLICANT SHALL COMPLY WITH THIS CONDITION. **MONITORING:** THE [APCD] SHALL REVIEW THE HAZARDOUS MATERIAL QUESTIONNAIRE AND ANY ADDITIONAL EVIDENCE REQUIRED BY APCD. THE [PDS, PCC] SHALL REVIEW THE DOCUMENTATION APPROVED AND STAMPED BY APCD FOR COMPLIANCE WITH THIS CONDITION.

**HAZARDOUS LEAD SURVEY [PDS, FEE X 2]**

**INTENT:** IN ORDER TO AVOID HAZARDS ASSOCIATED WITH LEAD BASED PAINT (LBP) AND LEAD CONTAINING MATERIALS (LCM) TO MITIGATE BELOW LEVELS OF SIGNIFICANCE AS ESTABLISHED IN THE COUNTY OF SAN DIEGO HAZARDOUS MATERIALS AND EXISTING CONTAMINATION GUIDELINES FOR DETERMINING SIGNIFICANCE, THE STRUCTURES IDENTIFIED ON THE APPROVED PLOT PLAN DESIGNATED FOR DEMOLITION SHALL BE SURVEYED FOR THE PRESENCE OF LBP/LCM BECAUSE THE STRUCTURES MAY HAVE BEEN BUILT PRIOR TO 1980. **DESCRIPTION OF REQUIREMENT:** A FACILITY SURVEY SHALL BE PERFORMED TO DETERMINE THE PRESENCE OR ABSENCE OF LBP/LCM IN THE STRUCTURES IDENTIFIED FOR DEMOLITION ON THE APPROVED PLOT PLAN SET. THE SURVEY SHALL BE COMPLETED BY A CALIFORNIA DEPARTMENT OF HEALTH SERVICES (DHS) CERTIFIED LEAD INSPECTOR/RISK ASSESSOR TO DETERMINE THE PRESENCE OR ABSENCE OF LBP AND LCM LOCATED IN THE STRUCTURE. THE FOLLOWING CONDITIONS ONLY APPLY IF LBP AND LCM ARE PRESENT:

- A. ALL LBP AND LCM SHALL BE MANAGED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- B. ALL LBP AND LCM SCHEDULED FOR DEMOLITION OR DISTURBED DURING REMODELING MUST COMPLY WITH APPLICABLE REGULATIONS FOR DEMOLITION METHODS AND DUST SUPPRESSION.
- C. DISPOSAL SHALL BE IN COMPLIANCE WITH APPLICABLE REGULATIONS.

**DOCUMENTATION:** THE APPLICANT SHALL SUBMIT A LETTER OR REPORT PREPARED BY A CALIFORNIA DHS CERTIFIED LEAD INSPECTOR/RISK ASSESSOR TO THE [DEHQ HAZ MAT] WHICH CERTIFIES THAT THERE WAS NO LBP/LCM PRESENT, OR ALL LEAD CONTAINING MATERIALS HAVE BEEN REMEDIATED PURSUANT TO APPLICABLE REGULATIONS. **TIMING:** PRIOR TO GRADING OR IMPROVEMENT PERMIT (EXCLUDING DEMOLITION PERMIT), THE APPLICANT SHALL COMPLY WITH THIS CONDITION. **MONITORING:** THE [DEHQ HAZ MAT] SHALL REVIEW THE REPORT AND ANY ADDITIONAL EVIDENCE FOR COMPLIANCE WITH THIS CONDITION. THE [PDS, PCC] SHALL REVIEW THE COMPLETED

**AND STAMPED REPORT AND ANY ADDITIONAL EVIDENCE FOR COMPLIANCE WITH THIS CONDITION.**

**PRIOR TO GRADING OR IMPROVEMENT PLANS**

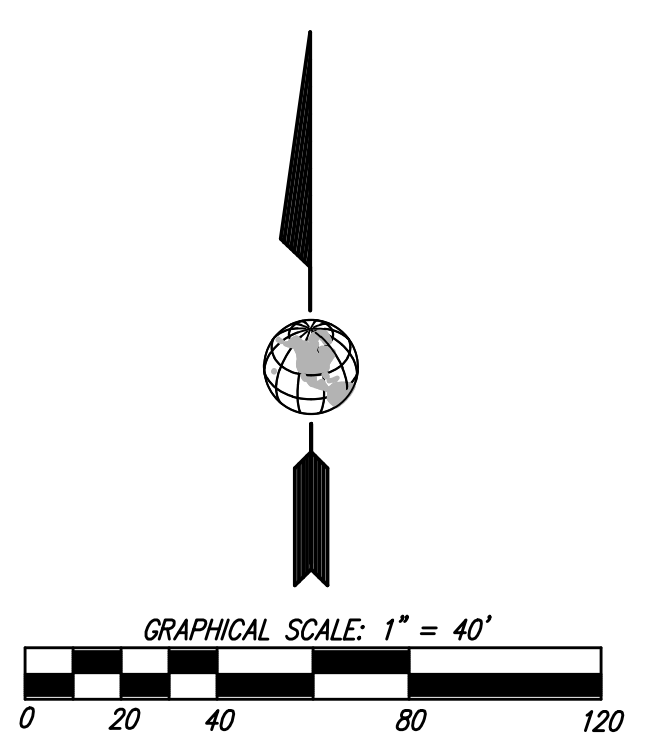
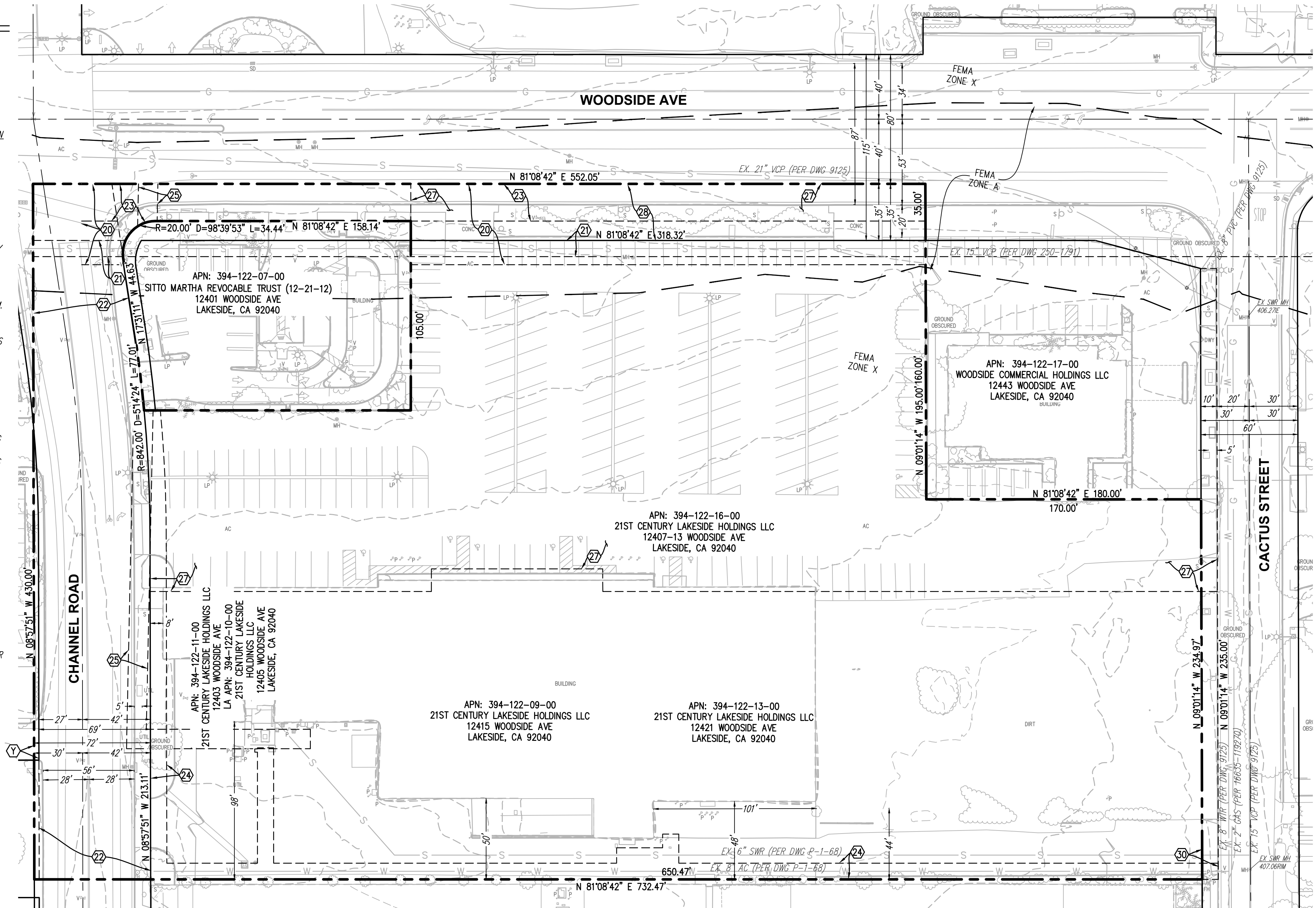
**HAZARDOUS STORAGE TANK REMOVAL, SOIL TESTING AND REMEDIATION [PDS, FEE X 2]**

**INTENT:** IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO HAZARDOUS MATERIALS AND EXISTING CONTAMINATION GUIDELINES FOR DETERMINING SIGNIFICANCE, ANY ABOVEGROUND OR BELOWGROUND STORAGE TANKS LOCATED ON THE PROJECT SITE, WHICH ARE TO BE REMOVED, MUST BE TESTED AND REMEDIATED. REMEDIATION COMPLETED UNDER THE SUPERVISION OF THE DEPARTMENT OF ENVIRONMENTAL HEALTH AND QUALITY (DEHQ). **SITE ASSESSMENT AND MITIGATION PROGRAM (SAM)** IS REQUIRED. THE EXCAVATED SOIL SHOULD BE STOCKPILED, TESTED, CHARACTERIZED FOR DISPOSAL AND TRANSPORTED OFF-SITE TO AN APPROPRIATE DISPOSAL FACILITY. **DESCRIPTION OF REQUIREMENT:** FOR SOIL TESTING, A SIGNED, STAMPED ADDENDUM TO THE PHASE I ESA SHALL BE PREPARED BY A REGISTERED CIVIL ENGINEER OR PROFESSIONAL GEOLOGIST. THE ADDENDUM SHALL INCLUDE THE FOLLOWING INFORMATION OR AS MODIFIED BY DEHQ:

- A. DOCUMENTATION THAT THE SOIL SAMPLING OCCURRED BETWEEN SIX INCHES TO 2-3 FEET IN DEPTH.
- B. FINDINGS WHICH IDENTIFY WHETHER ON-SITE SOILS IN THIS LOCATION EXCEED REGULATORY SCREENING LEVELS FOR SOIL VAPORS, PETROLEUM, HEAVY METALS, OR OTHER CONTAMINANTS (TPH).
- C. IF CONTAMINATED SOILS ARE DETECTED, PROVIDE A COPY OF THE CONTRACT AND A SIGNED SEALED STATEMENT FROM THE REGISTERED CIVIL ENGINEER OR PROFESSIONAL GEOLOGIST, WHICH STATES THAT THEY IMPLEMENTED THE WORK PLAN APPROVED BY SAM. GRADING REQUIRED TO IMPLEMENT THE SITE REMEDIATION ACTIVITIES IS PERMITTED. FOR REMEDIATION, A CALIFORNIA LICENSED ENVIRONMENTAL CONSULTANT COMPANY SHALL PREPARE A SOIL MANAGEMENT PLAN (SMP), FOR THE REMEDIATION OF HAZARDOUS MATERIALS AS IDENTIFIED ABOVE. THE PLAN SHALL BE PREPARED AND IMPLEMENTED PURSUANT TO THE DEHQ SAM MANUAL UNDER DIRECTION FROM THE DEHQ SAM.
- D. ENROLLMENT IN THE DEHQ VOLUNTARY ASSISTANCE PROGRAM (VAP) IS REQUIRED. IF CONTAMINATION IS FOUND TO BE FROM AN UNDERGROUND STORAGE TANK (UST) THEN ENROLLMENT IN THE RWOCB, UST CLEANUP PROGRAM IS REQUIRED IN LIEU OF ENROLLMENT IN THE VAP. ALL SOIL REMEDIATION SHALL BE COMPLETED UNDER SUPERVISION OF THE SAM OR RWOCB AS REQUIRED.
- E. ALL REQUIRED GRADING WORK SHALL COMPLY WITH THE COUNTY OF SAN DIEGO GRADING ORDINANCE 87.101 ET. AL.
- F. IF THE DIRECTOR OF PDS DETERMINES THE REMEDIATION WORK WILL TAKE AN ENORMOUS AMOUNT OF TIME THAT WOULD BE DETRIMENTAL TO ULTIMATE PROJECT IMPLEMENTATION, APPROVAL OF OTHER ENGINEERING PLANS AND/OR ISSUANCE OF OTHER PROJECT PERMITS MAY BE PERMITTED AS LONG AS THERE IS NO RISK OF EFFECTS TO PUBLIC HEALTH AND SAFETY. CONCURRENCE FROM THE [DEHQ, SAM OR RWOCB] IS REQUIRED, AND THE APPLICANT SHALL ENTER INTO A SECURED AGREEMENT FOR THE COMPLETION OF THE REMEDIATION WORK.

**DOCUMENTATION:** THE APPLICANT SHALL CONTRACT WITH A CALIFORNIA LICENSED ENVIRONMENTAL CONSULTANT TO PREPARE THE SMP AND IMPLEMENT ANY REQUIRED WORK PLAN FOR SOIL REMEDIATION. THE APPLICANT SHALL ALSO ENROLL IN THE VAP OR UST CLEANUP PROGRAM AND PAY ALL APPLICABLE FEES FOR REVIEW AND COMPLETION OF THIS REQUIREMENT. UPON COMPLETION OF THE VAP OR UST CLEANUP PROGRAM, A "CLOSURE LETTER" FROM [DEHQ, SAM OR RWOCB] SHALL BE SUBMITTED TO THE [PDS, PPD] FOR APPROVAL. **TIMING:** PRIOR TO APPROVAL OF ANY GRADING AND/OR IMPROVEMENT PLANS, THE APPLICANT SHALL COMPLY WITH THIS CONDITION. **MONITORING:** THE [DEHQ, SAM OR RWOCB] SHALL OVERSEE THE PROGRESS OF THE REMEDIATION PROJECT. UPON COMPLETION OF THE REMEDIATION PROJECT THE [DEHQ, SAM OR RWOCB] SHALL ISSUE A "CLOSURE LETTER" TO THE APPLICANT. THE [PDS, PPD] SHALL REVIEW THE CLOSURE LETTER FOR COMPLIANCE WITH THIS CONDITION.

**EASEMENT NOTE:**  
 FOR EASEMENT DESCRIPTIONS SEE SHEET C-1.



DATE: 12/21/2023 1:34:29 PM BY: NICK STRACIUSA FILENAME: P:\DWG\OMEGA\0899\0899-03P-05-CONSTRAINTS.DWG

# 21ST CENTURY LAKESIDE HOLDINGS, LLC WOODSIDE SELF STORAGE SAN DIEGO COUNTY, CA

# CONSTRAINTS MAP

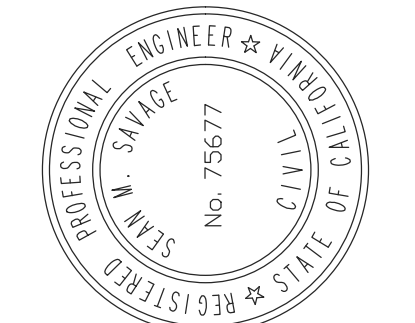
**C-5**

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