

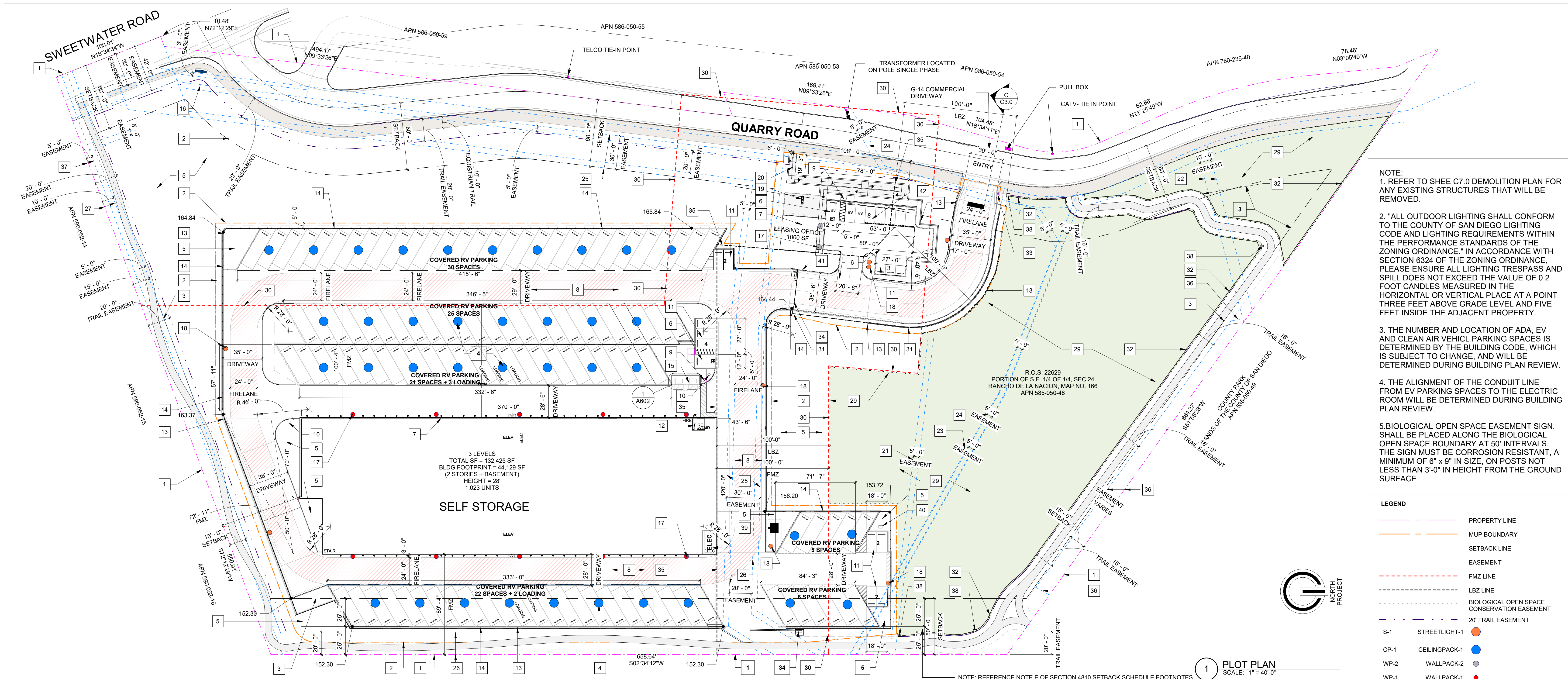
VICINITY MAP NTS
T.G. PAGE 1291-A6

SITE VICINITY MAP

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C3.0	QUARRY ROAD SECTIONS
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C5.0	EXISTING SLOPE ANALYSIS PLAN
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E101	LIGHTING LAYOUT

PROJECT TEAM					
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PROJECT SUMMARY	
PROJECT ADDRESS:	5780 QUARRY RD BONITA CA
PARCEL NUMBER(S):	586-050-36-00 586-050-44-00 586-050-48-00
REGIONAL CATEGORY	VILLAGE
GENERAL PLAN LAND USE	VILLAGE RESIDENTIAL VR-2
ZONING:	RR
TOTAL MUP AREA	4.99 ACRES (217,364.4 SF)
TOTAL SITE AREA:	10.742 ACRES (467,921.5 SF)
TOTAL DISTURBED AREA	9.04 ACRES (393,782.4 SF)
TOTAL BUILDING AREA:	133,425 SF
MAX BUILDING HEIGHT:	35'(G)
BUILDING HEIGHT	28'
SETBACKS:	B
FRONT:	60'
SIDE:	15'-0
REAR:	50'-0"



NOTE:

1. REFER TO SHEET C7.0 DEMOLITION PLAN FOR ANY EXISTING STRUCTURES THAT WILL BE REMOVED.
2. "ALL OUTDOOR LIGHTING SHALL CONFORM TO THE COUNTY OF SAN DIEGO LIGHTING CODE AND LIGHTING REQUIREMENTS WITHIN THE PERFORMANCE STANDARDS OF THE ZONING ORDINANCE." IN ACCORDANCE WITH SECTION 6324 OF THE ZONING ORDINANCE, PLEASE ENSURE ALL LIGHTING TRESPASS AND SPILL DOES NOT EXCEED THE VALUE OF 0.2 FOOT CANDLES MEASURED IN THE HORIZONTAL OR VERTICAL PLACE AT A POINT THREE FEET ABOVE GRADE LEVEL AND FIVE FEET INSIDE THE ADJACENT PROPERTY.
3. THE NUMBER AND LOCATION OF ADA, EV AND CLEAN AIR VEHICL. PARKING SPACES IS DETERMINED BY THE BUILDING CODE, WHICH IS SUBJECT TO CHANGE, AND WILL BE DETERMINED DURING BUILDING PLAN REVIEW.
4. THE ALIGNMENT OF THE CONDUIT LINE FROM EV PARKING SPACES TO THE ELECTRIC ROOM WILL BE DETERMINED DURING BUILDING PLAN REVIEW.
5. BIOLOGICAL OPEN SPACE EASEMENT SIGN. SHALL BE PLACED ALONG THE BIOLOGICAL OPEN SPACE BOUNDARY AT 50' INTERVALS. THE SIGN MUST BE CORROSION RESISTANT, A MINIMUM OF 6" x 9" IN SIZE, ON POSTS NOT LESS THAN 3'-0" IN HEIGHT FROM THE GROUND SURFACE

LEGEND

	PROPERTY LINE
	MUP BOUNDARY
	SETBACK LINE
	EASEMENT
	FMZ LINE
	LBZ LINE
	BIOLOGICAL OPEN SPACE CONSERVATION EASEMENT
	20' TRAIL EASEMENT
S-1	STREETLIGHT-1
CP-1	CEILINGPACK-1
WP-2	WALLPACK-2
WP-1	WALLPACK-1

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ZONE BOX

USE REGULATIONS	RR
ANIMAL DESIGNATION	(J)
DENSITY	(-)
LOT SIZE	.5 ACRES
BUILDING TYPE	C
MAXIMUM FLOOR AREA	(-)
FLOOR AREA RATIO	NA
HEIGHT	G (35')
LOT COVERAGE	NA
SETBACK	B
OPENSACE	NA
SPECIAL REGULATIONS	C

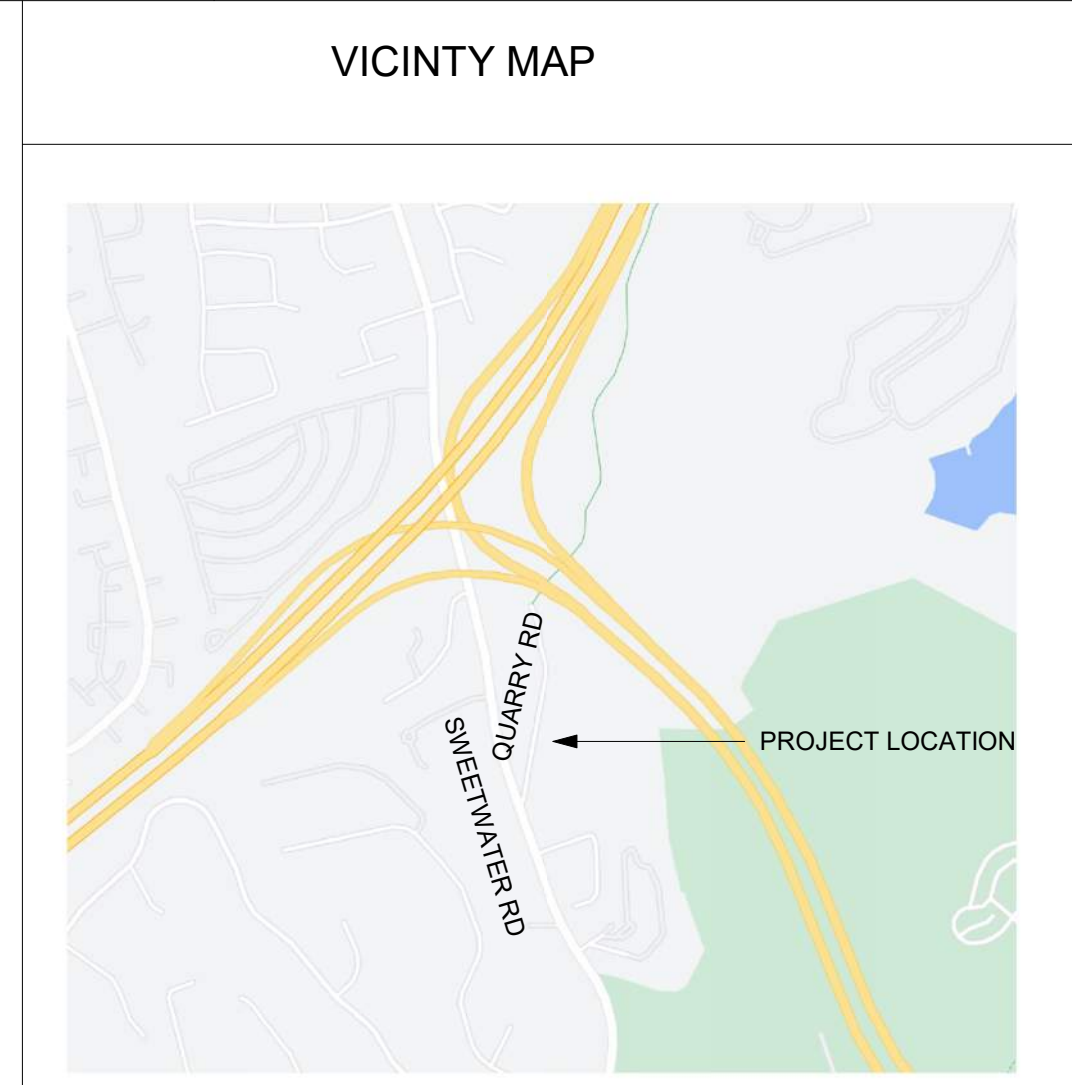
BUILDING AREA

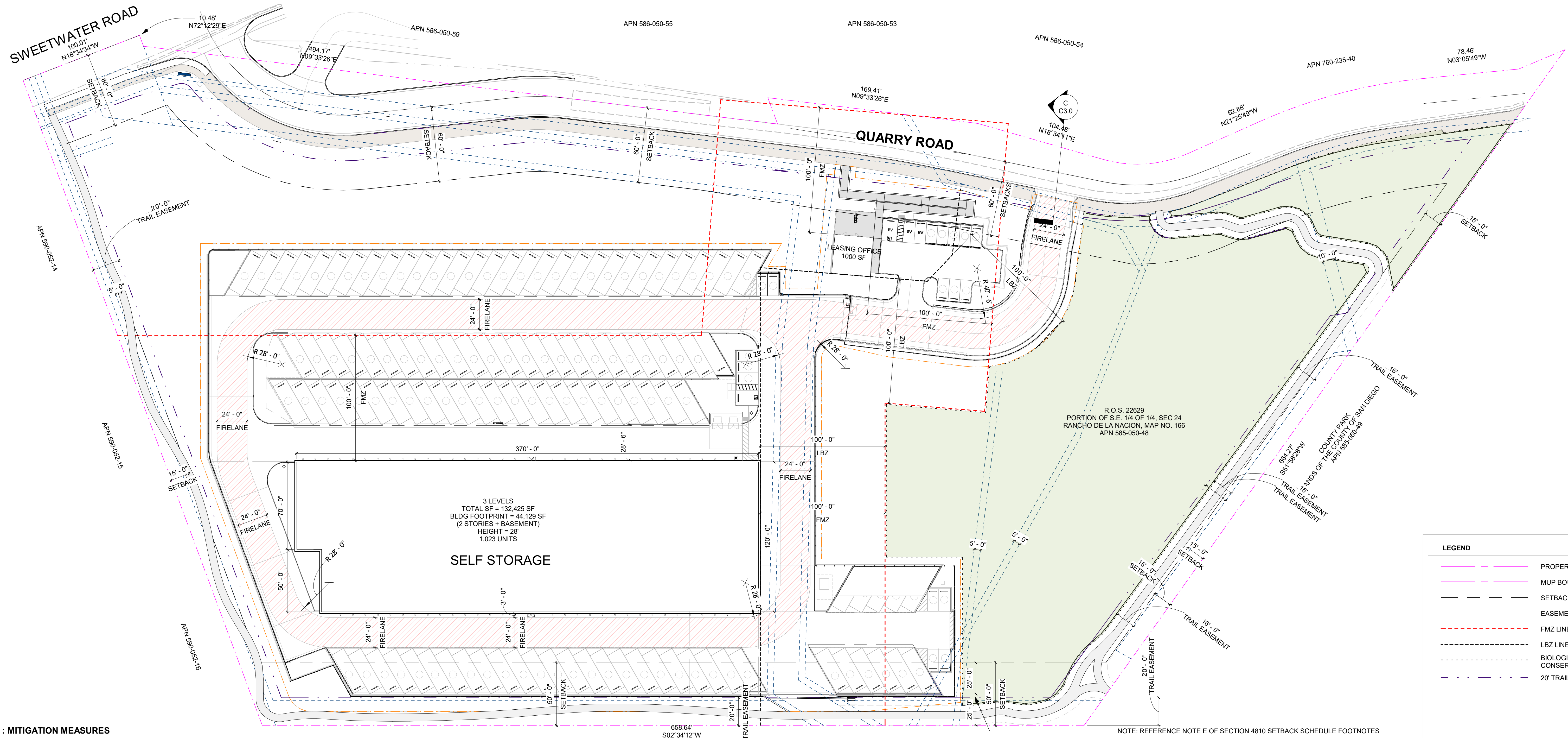
2 STORY + BASEMENT BUILDING	
BASEMENT STORAGE AREA:	44,219 SF
LEVEL 1 STORAGE AREA	44,077 SF
LEVEL 2 SOTRAGE AREA	44,129 SF
TOTAL GROSS STORAGE AREA	132,425 SF
OFFICE AREA	1,000 SF
TOTAL GROSS BUILDING AREA	133,425 SF
2 STORY + BASEMENT BUILDING	
BASEMENT STORAGE AREA:	34,400 SF
LEVEL 1 STORAGE AREA	35,950 SF
LEVEL 2 SOTRAGE AREA	34,250 SF
TOTAL NET STORAGE AREA	104,600 SF
NET OFFICE AREA	883 SF
TOTAL NET BUILDING AREA	105,483 SF
PARKING:	
015 /1132 =	17
(1132 UNITS = 1023 STORAGE + 109 RV)	
4 SPACES PER 1,000 SF OF OFFICE	4
TOTAL PARKING :	21
* SEE NOTE 3 & 4	
BICYCLE:	
.01 PER CAR SPACE = 1 (3 MIN)	
TOTAL PARKING REQUIRED: 21 VEHICLE SPACES, 3 BICYCLE	
TOTAL PARKING PROVIDED: 21 VEHICLE SPACES, 6 BICYCLE	

- 1 PROPERTY LINE.
- 2 MUP BOUNDARY.
- 3 SETBACK LINE.
- 4 LIGHT FIXTURE, SEE LEGEND AND LIGHTING PLAN.
- 5 LANDSCAPE AREA, SEE LANDSCAPE SHEETS.
- 6 PROPOSED ACCESSIBLE PARKING.
- 7 BUILDING FOOTPRINT.
- 8 24' FIRE ACCESS DRIVE AISLE.
- 9 TRUNCATED DOMES, SEE CIVIL.
- 10 PROPOSED FIRE HYDRANT, SEE UTILITIES.
- 11 PROPOSED STANDARD PARKING TO MEET MIN. REQUIREMENT OF 9'x18' STALL.
- 12 FIRE RISER.
- 13 RETAINING WALL, SEE SHEET A11 & A401
- 14 6'-0" WROUGHT IRON FENCING, SEE SHEET A111.
- 15 TRASH ENCLOSURE, SEE SHEET A602.
- 16 MONUMENT SIGN, SEE SIGNAGE ON SHEET A903.

- 17 EXTERIOR WALL PACK LIGHT FIXTURES, SEE LEGEND AND LIGHTING PLAN
- 18 EXTERIOR POLE LIGHTING, SEE LEGEND AND LIGHTING PLAN
- 19 BICYCLE RACK FOR 3 BICYCLES.
- 20 ADA RAMP FROM QUARRY ROAD, SEE CIVIL FOR FINAL SLOPES.
- 21 SPRING VALLEY SANTIATION DISTRICT SEWER EASEMENT.
- 22 10' WATER PIPE LINE EASEMENT
- 23 5' WATER PIPE LINE EASEMENT.
- 24 5' WATER PIPE LINE EASEMENT.
- 25 30' SOUTH BAY IRRIGATION WATER MAIN EASEMENT.
- 26 20' SPRING VALLEY SANITATION DISTRICT ACCESS EASEMENT.
- 27 10' CALIFORNIA WATER AND TELEPHONE COMPANY SEWER MAIN EASEMENT.
- 28 42' PUBLIC HIGHWAY EASEMENT.
- 29 BIOLOGICAL OPEN SPACE EASEMENT
- 30 100' FUEL MANAGEMENT ZONE (FMZ)
- 31 6' WOOD FENCING, SEE SHEET A111.
- 32 4' LODGE POLE FENCING AT BIOLOGICAL OPEN SPACE EASEMENT.

- 33 WAYFINDING SIGN, SEE SIGNAGE ON SHEET A903.
- 34 LIFT GATE, SEE SHEET A111 FOR DETAILS.
- 35 LIMITED BUILDING ZONE (LBZ).
- 36 SAN DIEGO COUNTY GAS AND ELECTRIC COMPANY PUBLIC UTILITES EASEMENT.
- 37 5' WIDE EASEMENT FOR WATER PIPE LINE PURPOSES PER SURVEY (NOTE15)
- 38 BIOLOGICAL OPEN SPACE EASEMENT SIGN. (SEE NOTES)
- 39 ELECTRICAL TRANSFORMER.
- 40 SOLAR BATTERY.
- 41 KEY BOX FOR SWEETWATER AUTHORITY AND SANITATION.
- 42 EV CAPABLE STANDARD PARKING, TO MEET MIN. REQUIREMENT OF 9'x18' STALL.





LEGEND	
	PROPERTY LINE
	MUP BOUNDARY
	SETBACK LINE
	EASEMENT
	FMZ LINE
	LBZ LINE
	BIOLOGICAL OPEN SPACE CONSERVATION EASEMENT
	20' TRAIL EASEMENT

GENERAL NOTES : MITIGATION MEASURES

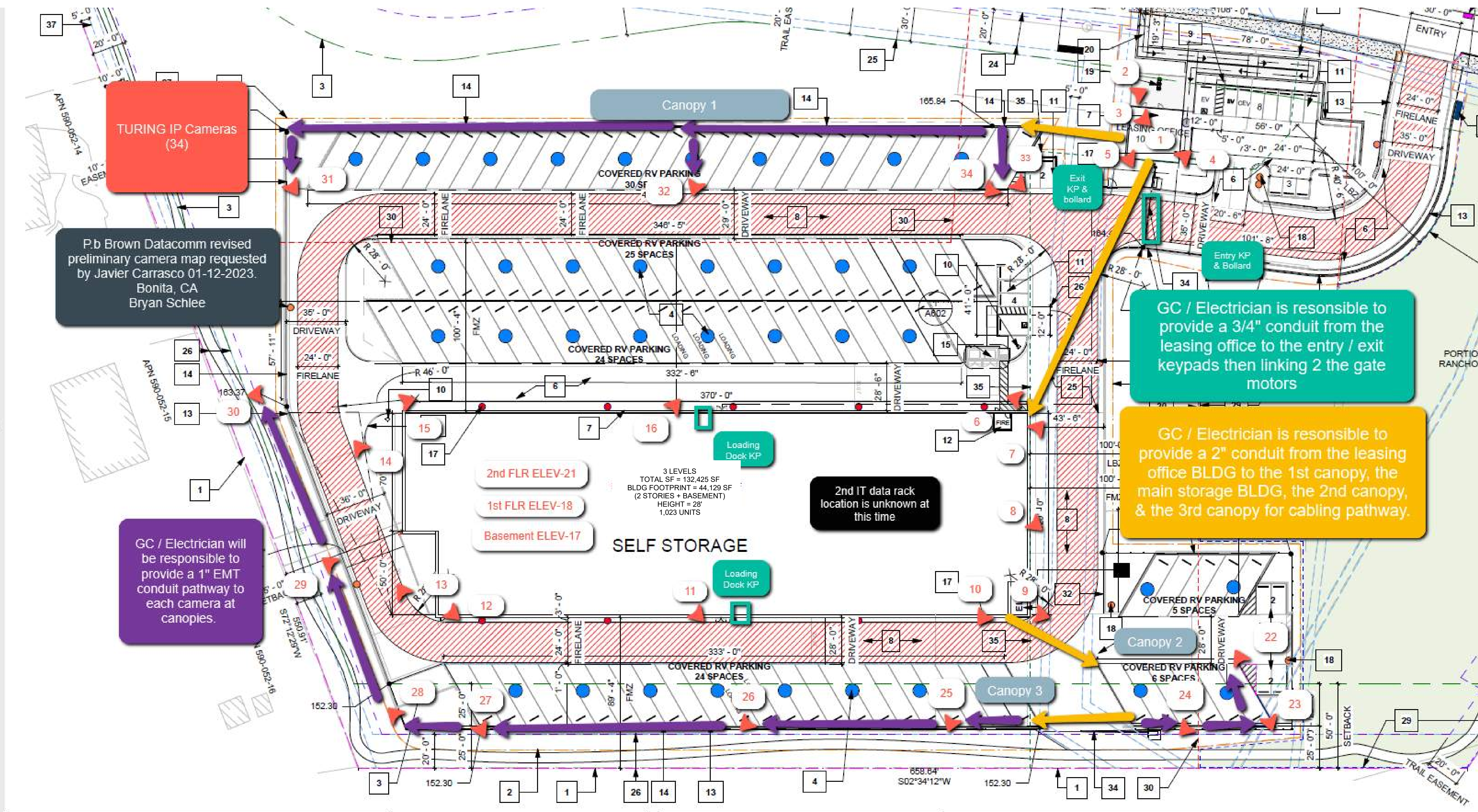
NOISE:
 SHOULD BLASTING OCCUR, THEN MONITORING WOULD BE REQUIRED IF DONE WITHIN 225 FEET FROM AN OCCUPIED NOISE SENSITIVE LAND USE. EACH BLAST SHALL BE MONITORED AND RECORDED WITH AN AIR-BLAST OVERPRESSURE MONITOR AND GROUNDBORNE VIBRATION ACCELEROMETER THAT IS LOCATED OUTSIDE THE CLOSEST RESIDENCE TO THE BLAST. BLASTING SHALL NOT EXCEED 0.1 IN/SEC PPV AT THE NEAREST OCCUPIED RESIDENCE. IN ACCORDANCE WITH COUNTY'S NOISE GUIDELINES, SECTION 4.3 WHERE POTENTIAL EXCEEDANCE OF THE COUNTY ORDINANCE IS IDENTIFIED, THE APPLICANT SHALL NOT CONTINUE ANY BLASTING ACTIVITIES UNTIL THE BLAST DRILLING AND MONITORING PLAN IS PREPARED AND SUBMITTED TO THE COUNTY, WHICH IDENTIFY MITIGATION MEASURES SHOWN TO EFFECTIVELY REDUCE NOISE AND VIBRATION LEVELS (E.G., ALTERING ORIENTATION OF BLAST PROGRESSION, INCREASED DELAY BETWEEN CHARGE DETONATIONS, PRESPLITTING) TO BE IMPLEMENTED TO COMPLY WITH THE NOISE LEVEL LIMITS OF THE COUNTY'S NOISE ORDINANCE, SECTIONS 36.409 AND 36.410. IN ADDITION, ALL BLASTING ACTIVITIES WOULD COMPLY WITH THE REQUIREMENTS OF THE SHERIFF'S DEPARTMENT. ALL OTHER GROUNDBORNE VIBRATION IMPACTS WOULD BE LESS THAN SIGNIFICANT; THEREFORE, NO FURTHER MITIGATION WOULD BE REQUIRED.

ARCHAEOLOGY:
 IMPLEMENTATION OF A CONSTRUCTION MONITORING AND DATA RECOVERY PROGRAM WOULD MITIGATE POTENTIAL IMPACTS TO UNDISCOVERED SIGNIFICANT ARCHAEOLOGICAL DEPOSITS AND WOULD INCLUDE THE FOLLOWING:
 • THE PROGRAM WOULD REQUIRE BOTH ARCHAEOLOGICAL AND NATIVE AMERICAN MONITORS TO ATTEND A PRE-CONSTRUCTION MEETING AND TO BE PRESENT DURING GROUND-DISTURBING ACTIVITIES WITHIN THE PROJECT AREA. THE FREQUENCY OF INSPECTIONS WILL BE DETERMINED BY THE PROJECT ARCHAEOLOGIST IN CONSULTATION WITH THE NATIVE AMERICAN MONITOR AND WILL VARY BASED ON THE RATE OF EXCAVATION, THE MATERIALS EXCAVATED, AND THE PRESENCE AND ABUNDANCE OF ARTIFACTS AND FEATURES.
 • IF PREVIOUSLY UNIDENTIFIED POTENTIALLY SIGNIFICANT CULTURAL RESOURCES ARE DISCOVERED, CONSTRUCTION ACTIVITIES SHOULD BE DIVERTED AWAY FROM THE DISCOVERY AND THE RESOURCES SHOULD BE EVALUATED FOR SIGNIFICANCE. ISOLATES AND NON-SIGNIFICANT DEPOSITS SHALL BE MINIMALLY DOCUMENTED IN THE FIELD. SIGNIFICANT ARCHAEOLOGICAL DISCOVERIES INCLUDE INTACT FEATURES, STRATIFIED DEPOSITS, PREVIOUSLY UNKNOWN ARCHAEOLOGICAL SITES, AND HUMAN REMAINS. THE PRINCIPAL INVESTIGATOR SHALL INFORM THE COUNTY ARCHAEOLOGIST OF THE DISCOVERY. THE SIGNIFICANCE OF THE RESOURCE WOULD BE DETERMINED BY THE PRINCIPAL INVESTIGATOR IN CONSULTATION WITH THE PDS STAFF ARCHAEOLOGIST AND THE KUMEYAYAY NATIVE AMERICAN MONITOR. TO MITIGATE POTENTIAL IMPACTS TO SIGNIFICANT CULTURAL RESOURCES, A RESEARCH DESIGN AND DATA RECOVERY PROGRAM SHOULD BE PREPARED BY THE PRINCIPAL INVESTIGATOR IN CONSULTATION WITH THE KUMEYAYAY NATIVE AMERICAN MONITOR, APPROVED BY THE COUNTY ARCHAEOLOGIST, AND IMPLEMENTED USING PROFESSIONAL ARCHAEOLOGICAL METHODS. CONSTRUCTION ACTIVITIES WOULD BE ALLOWED TO RESUME AFTER THE COMPLETION OF THE RECOVERY OF AN ADEQUATE SAMPLE AND THE RECORDED OF FEATURES.
 • ALL CULTURAL MATERIAL COLLECTED DURING THE MONITORING AND DATA RECOVERY PROGRAM SHALL BE PROCESSED AND CONVEYED TO A NATIVE AMERICAN GROUP OF APPROPRIATE TRIBAL AFFINITY. ALTERNATIVELY, THE CULTURAL MATERIAL MAY BE CURATED AT A SAN DIEGO FACILITY THAT MEETS FEDERAL STANDARDS PER 36 CODE OF FEDERAL REGULATIONS PART 79 IF THE TRIBES DO NOT TAKE POSSESSION OF THE CULTURAL MATERIALS.
 • IF HUMAN REMAINS ARE DISCOVERED, WORK SHALL HALT IN THAT AREA AND THE PROCEDURES SET FORTH IN THE CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND STATE HEALTH AND SAFETY CODE (SECTION 7050.5) WILL BE FOLLOWED. THE PRINCIPAL INVESTIGATOR SHALL CONTACT THE COUNTY CORONER.
 • AFTER THE COMPLETION OF THE MONITORING, A REPORT SHALL BE PREPARED. IF NO SIGNIFICANT CULTURAL RESOURCES ARE DISCOVERED, A BRIEF LETTER SHALL BE PREPARED. IF SIGNIFICANT CULTURAL RESOURCES ARE DISCOVERED, A REPORT WITH THE RESULTS OF THE MONITORING AND DATA RECOVERY (INCLUDING THE INTERPRETATION OF THE DATA WITHIN THE RESEARCH CONTEXT) SHALL BE PREPARED.

BIOLOGY:
 • SENSITIVE VEGETATION
 • PERMANENT IMPACTS TO SENSITIVE VEGETATION COMMUNITIES WOULD BE MITIGATED OFF-SITE THROUGH PURCHASE OF CREDITS FROM A COUNTY-APPROVED MITIGATION AREA.
 • INDIRECT IMPACTS TO ADJACENT SENSITIVE VEGETATION COMMUNITIES WILL BE REDUCED WITH IMPLEMENTATION OF THE FOLLOWING GENERAL AVOIDANCE AND MINIMIZATION MEASURES:
 • APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs; E.G., SILT FENCE, FIBER ROLLS, DRIP PANS BENEATH STAGED EQUIPMENT) SHALL BE EMPLOYED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE RELEASE OF CHEMICALS OR OTHER SUBSTANCES THAT ARE POTENTIALLY TOXIC OR IMPACTIVE TO NATIVE HABITATS/FLORES/FAUNA.
 • WATER TRUCKS SHALL BE EMPLOYED TO MANAGE THE LEVEL OF FUGITIVE DUST ON THE ADJACENT HABITAT.
 • TEMPORARY FENCING (I.E. SILT FENCING AND/OR ORANGE CONSTRUCTION FENCING) SHALL BE INSTALLED ALONG THE PROJECT BOUNDARIES ADJACENT TO NATIVE VEGETATION COMMUNITIES TO ENSURE PROJECT ACTIVITIES STAY WITHIN THE DESIGNATED WORK AREA.
 • TRASH, OIL, PARKING, OR OTHER CONSTRUCTION/DEVELOPMENT-RELATED MATERIAL/ACTIVITIES SHALL NOT BE ALLOWED OUTSIDE ANY APPROVED CONSTRUCTION LIMITS.
 • DESIGN THE PROJECT SO THAT ALL RUNOFF FROM THE PARKING LOT WILL BE DIRECTED TOWARD THE STREET AND AWAY FROM THE SLOPE TO THE EAST, WHICH LEADS TO THE SWEETWATER RIVER.
 • ALL LIGHTING WILL BE DESIGNED AND INSTALLED SO THAT LIGHT WILL BE DIRECTED AWAY FROM ADJACENT HABITAT AREAS TO THE EAST AND NORTH.

- CALIFORNIA ADOLPHIA
- IMPACTS TO 25 CALIFORNIA ADOLPHIA INDIVIDUALS WILL AVOIDED THROUGH PLACEMENT OF A CONSERVATION EASEMENT OVER THE UNDEVELOPED PORTION OF THE PROPERTY.
- COASTAL CALIFORNIA GNATCATCHER
- DIRECT IMPACTS WOULD BE FULLY MITIGATED THROUGH THE HABITAT-BASED COMPENSATION FOR THE IMPACT TO DIEGAN COASTAL SAGE SCRUB (I.E. PURCHASE OF CREDITS FROM A COUNTY-APPROVED MITIGATION AREA).
- INDIRECT NOISE IMPACTS MAY OCCUR IF VEGETATION CLEARING, GRUBBING, GRADING, OR CONSTRUCTION OCCURS DURING THIS SPECIES' BREEDING SEASON (MARCH 1 TO AUGUST 15). THE FOLLOWING AVOIDANCE MEASURES WILL BE IMPLEMENTED:
 ○ A QUALIFIED BIOLOGIST SHALL CONDUCT A PRE-CONSTRUCTION CLEARANCE SURVEY FOR NESTING BIRDS WITHIN SUITABLE ADJACENT HABITAT TO DETERMINE WHETHER AVIAN SPECIES ARE NESTING WITHIN 500 FEET OF THE CONSTRUCTION AREA.
 ○ IF COASTAL CALIFORNIA GNATCATCHER IS DETECTED NESTING WITHIN 500 FEET OF THE CONSTRUCTION BOUNDARY, CONSTRUCTION ACTIVITY SHOULD BE AVOIDED WITHIN 500 FEET OF THE ACTIVE NEST, IF POSSIBLE. IF CONSTRUCTION MUST OCCUR WITHIN 500 FEET OF AN ACTIVE NEST TEMPORARY SOUND BARRIERS MAY BE REQUIRED OR GRADING MAY BE RESTRICTED IN CONSTRUCTION AREAS NEAR THE NEST SITE TO REDUCE NOISE LEVELS. TEMPORARY SOUND BARRIERS MUST BE PLACED WITHIN THE PROJECT FOOTPRINT. IN ADDITION, AN ACOUSTICIAN SHALL MEASURE NOISE LEVELS DURING CONSTRUCTION ACTIVITIES AT THE EDGE OF THE PROJECT FOOTPRINT NEAR THE OCCUPIED HABITAT CLOSEST TO THE NEST. GENERALLY, NOISE LEVELS ARE REQUIRED BY THE COUNTY TO BE LESS THAN 60 A-WEIGHTED DECIBELS HOURLY AVERAGE (60 DB(A) LEQ) OR THE AMBIENT NOISE LEVEL, WHICHEVER IS GREATER.
 ○ IF NO COASTAL CALIFORNIA GNATCATCHER ARE OBSERVED NESTING WITHIN 500 FEET OF THE PROJECT BOUNDARY, NO GRADING OR CONSTRUCTION RESTRICTIONS ASSOCIATED WITH COASTAL CALIFORNIA GNATCATCHER WOULD APPLY. NO RESTRICTIONS ARE REQUIRED FOR THIS SPECIES OUTSIDE ITS NESTING SEASON.
 • LEAST BELL'S VIREO
 • INDIRECT NOISE IMPACTS MAY OCCUR IF VEGETATION CLEARING, GRUBBING, GRADING, OR CONSTRUCTION OCCURS DURING THIS SPECIES' BREEDING SEASON TO AVOID IMPACTS TO LEAST BELL'S VIREO GRADING, BRUSH CLEARING, AND ALL OTHER CONSTRUCTION WITHIN 500 FEET OF THE SUITABLE RIPARIAN HABITAT SHOULD BE CONDUCTED OUTSIDE THE BREEDING SEASON (MARCH 15 TO SEPTEMBER 15). HOWEVER, IF CONSTRUCTION MUST OCCUR DURING THE BREEDING SEASON THE FOLLOWING ACTIONS WOULD BE REQUIRED:
 ○ A QUALIFIED BIOLOGIST SHALL CONDUCT A PRE-CONSTRUCTION CLEARANCE SURVEY FOR THIS SPECIES WITHIN SUITABLE ADJACENT HABITAT TO DETERMINE IF IT IS NESTING WITHIN 500 FEET OF THE CONSTRUCTION AREA.
 ○ IF LEAST BELL'S VIREOS ARE NESTING WITHIN 500 FEET OF THE CONSTRUCTION BOUNDARY, CONSTRUCTION ACTIVITY SHOULD BE AVOIDED WITHIN 500 FEET OF THE NEST, IF POSSIBLE. IF CONSTRUCTION MUST OCCUR WITHIN 500 FEET OF AN ACTIVE NEST TEMPORARY SOUND BARRIERS MAY BE REQUIRED OR GRADING MAY BE RESTRICTED IN CONSTRUCTION AREAS NEAR THE NEST SITE TO REDUCE NOISE LEVELS. TEMPORARY SOUND BARRIERS MUST BE PLACED WITHIN THE PROJECT FOOTPRINT. IN ADDITION, AN ACOUSTICIAN SHALL MEASURE NOISE LEVELS DURING CONSTRUCTION ACTIVITIES AT THE EDGE OF THE PROJECT FOOTPRINT NEAR THE OCCUPIED HABITAT CLOSEST TO THE NEST. GENERALLY, NOISE LEVELS ARE REQUIRED BY THE COUNTY TO BE LESS THAN 60 DB(A) LEQ) OR THE AMBIENT NOISE LEVEL, WHICHEVER IS GREATER.
 ○ IF LEAST BELL'S VIREO IS NOT DETECTED OBSERVED NESTING WITHIN 500 FEET OF THE PROJECT BOUNDARY, NO GRADING OR CONSTRUCTION RESTRICTIONS ASSOCIATED WITH THIS SPECIES WOULD APPLY. NO RESTRICTIONS ARE REQUIRED FOR THIS SPECIES OUTSIDE ITS NESTING SEASON.
 • NESTING RAPTORS AND MIGRATORY BIRDS
 • DIRECT IMPACTS AND INDIRECT NOISE IMPACTS TO TREE-NESTING RAPTOR SPECIES AND MIGRATORY BIRDS WOULD BE AVOIDED THROUGH IMPLEMENTATION OF THE FOLLOWING MEASURES:
 ○ IF CONSTRUCTION OCCURS DURING THE RAPTOR BREEDING SEASON OF JANUARY 15 THROUGH JULY 15, A QUALIFIED BIOLOGIST SHALL CONDUCT A PRE-CONSTRUCTION CLEARANCE SURVEY FOR NESTING RAPTORS IN SUITABLE NESTING HABITAT (E.G., MATURE TREES WITHIN SOUTHERN WILLOW SCRUB OR EUCALYPTUS WOODLAND) THAT OCCURS WITHIN 500 FEET OF THE PROJECT BOUNDARY. IF ANY ACTIVE RAPTOR NEST IS LOCATED, A 500-FOOT BUFFER ZONE OR OTHER APPROPRIATE BUFFER DETERMINED BY THE QUALIFIED BIOLOGIST, WILL BE DELINEATED.
 ○ IF PROJECT ACTIVITIES MUST OCCUR WITHIN THIS DESIGNATED 500-FOOT BUFFER ZONE, THE FOLLOWING STEPS ARE PROPOSED TO AVOID IMPACTS TO TREE-NESTING RAPTORS. PRIOR TO IMPLEMENTING THESE STEPS, THE APPLICANT SHALL CONSULT WITH THE COUNTY AND WILDLIFE AGENCIES FOR CONCURRENCE.
 • THE QUALIFIED BIOLOGIST SHALL MONITOR NESTING ACTIVITY DAILY UNTIL PROJECT ACTIVITIES ARE NO LONGER OCCURRING WITHIN THE DESIGNATED BUFFER ZONE OR UNTIL FLEDGLINGS BECOME INDEPENDENT OF THE NEST.
 • THE MONITORING BIOLOGIST SHALL HALT CONSTRUCTION ACTIVITIES IF HE OR SHE DETERMINES THAT THE CONSTRUCTION ACTIVITIES ARE DISTURBING OR DISRUPTING THE NESTING ACTIVITIES.
 • THE MONITOR SHALL MAKE RECOMMENDATIONS TO REDUCE THE NOISE OR DISTURBANCE IN THE VICINITY OF THE NEST. THIS MAY INCLUDE RECOMMENDATIONS SUCH AS (1) TURNING OFF VEHICLE ENGINES AND OTHER EQUIPMENT WHENEVER POSSIBLE TO REDUCE NOISE, AND/OR (2) WORKING IN OTHER AREAS UNTIL THE YOUNG HAVE FLEDGED.
 • IF THE BIOLOGIST DETERMINES THAT NESTING ACTIVITY DOES NOT APPEAR TO BE DISTURBED BY PROJECT ACTIVITIES, CONSTRUCTION MAY CONTINUE WITH DAILY MONITORING BY A QUALIFIED BIOLOGIST TO PROVIDE GUIDANCE UNTIL THE FLEDGLINGS ARE INDEPENDENT OF THE NEST.
 • IN ORDER TO PROTECT THE INTEGRITY OF THE OPEN SPACE; A FENCE WILL BE INSTALLED ALONG THE SOUTHERN BOUNDARY ADJACENT TO THE PROJECT AND SIGNAGE WOULD BE INSTALLED AT APPROXIMATELY 50 FOOT INTERVALS DENOTING THE PRESENCE OF OPEN SPACE.

NOTE: REFERENCE NOTE E OF SECTION 4810 SETBACK SCHEDULE FOOTNOTES



TURING IP Cameras (34)

P.b Brown Datacomm revised preliminary camera map requested by Javier Carrasco 01-12-2023.
Bonita, CA
Bryan Schlee

GC / Electrician is responsible to provide a 3/4" conduit from the leasing office to the entry / exit keypads then linking 2 the gate motors

GC / Electrician is responsible to provide a 2" conduit from the leasing office BLDG to the 1st canopy, the main storage BLDG, the 2nd canopy, & the 3rd canopy for cabling pathway.

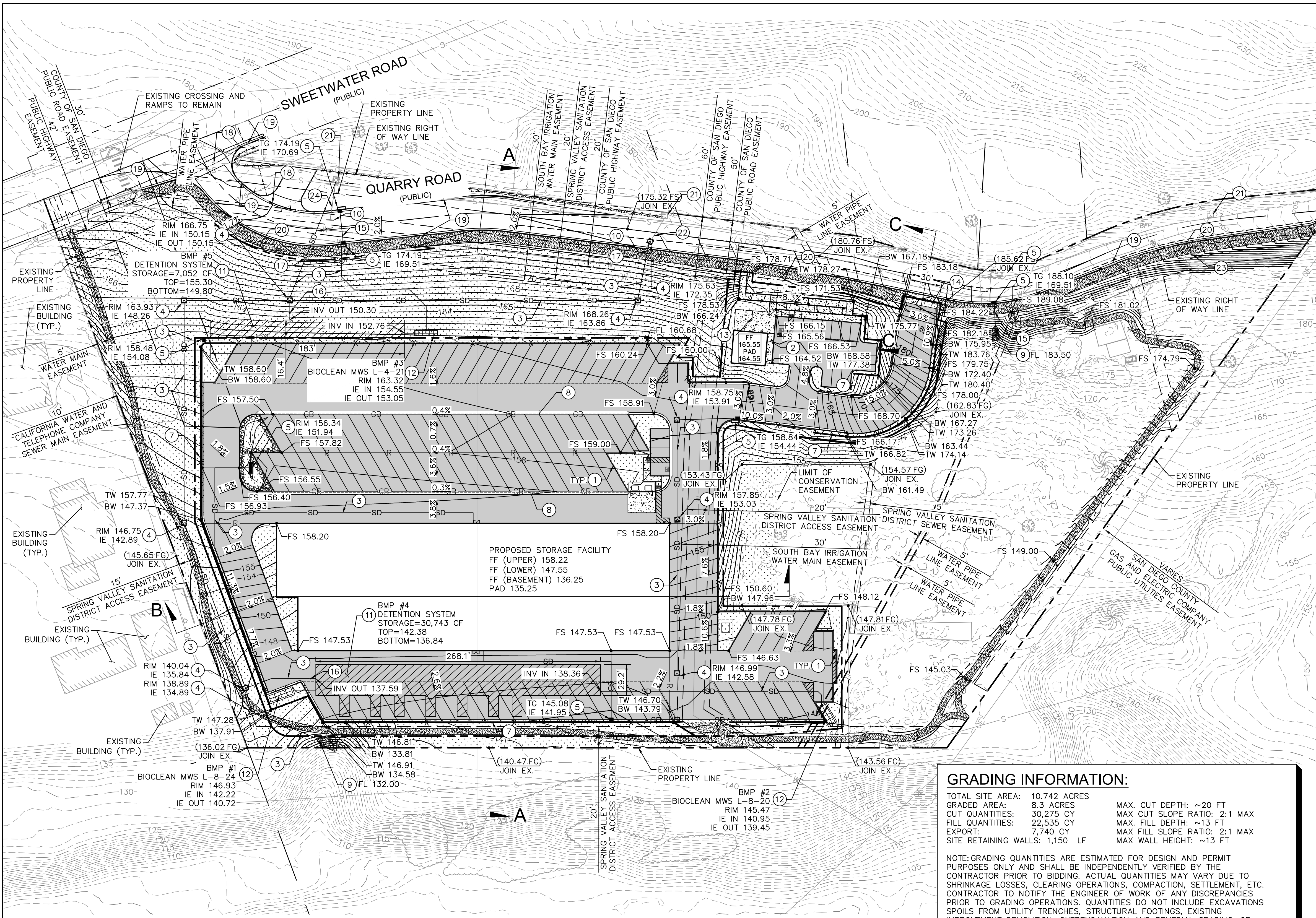
GC / Electrician will be responsible to provide a 1" EMT conduit pathway to each camera at canopies.

2nd IT data rack location is unknown at this time

2nd FLR ELEV-21
1st FLR ELEV-18
Basement ELEV-17

3 LEVELS
TOTAL SF = 132,425 SF
BLDG FOOTPRINT = 44,129 SF
(2 STORIES + BASEMENT)
HEIGHT = 28'
1,023 UNITS

SELF STORAGE



LEGEND

- (160.50 TC)
(160.00 FS) EXISTING SPOT ELEVATION
- 160.50 TC
160.00 FS PROPOSED SPOT ELEVATION
- 1.0% PROPOSED FLOW (SLOPE AND DIRECTION).
- (1.0%) EXISTING FLOW (SLOPE AND DIRECTION).
- PROPERTY LINE/ RIGHT OF WAY
- SAWCUT LINE
- DAYLIGHT LINE
- 88 PROPOSED CONTOUR
- 89 EXISTING CONTOUR
- SD PROPOSED STORM DRAIN
- W EXISTING WATER LINE
- S EXISTING SEWER LINE
- OE EXISTING OVERHEAD ELECTRICAL LINE
- PROPOSED LOW IMPACT DEVELOPMENT (LID) FACILITY (UNDERGROUND OR DETENTION SYSTEM)
- PROPOSED DECOMPOSED GRANITE
- PROPOSED ASPHALT CONCRETE
- PROPOSED CONCRETE
- PROPOSED LANDSCAPING

CONSTRUCTION NOTES

- 1 PROPOSED CONCRETE CURB/ CURB AND GUTTER
- 2 PROPOSED SIDEWALK
- 3 PROPOSED PRIVATE STORM DRAIN LINE
- 4 PROPOSED STORM DRAIN MANHOLE
- 5 PROPOSED STORM DRAIN CURB INLET
- 6 PROPOSED STORM DRAIN CATCH BASIN
- 7 PROPOSED RETAINING WALL
- 8 PROPOSED RIBBON WALL
- 9 PROPOSED HEADWALL
- 10 EXISTING HEADWALL TO BE REMOVED
- 11 PROPOSED SUBSURFACE DETENTION SYSTEM. MAINTENANCE MANHOLES TO BE GRADED FLAT IN SLOPED AREAS FOR ACCESSIBILITY.
- 12 PROPOSED MODULAR WETLAND TREATMENT UNIT (OR EQUAL)
- 13 PROPOSED BIKE RACK
- 14 PROPOSED G-14 COMMERCIAL DRIVEWAY
- 15 PROPOSED PUBLIC STORM DRAIN LINE
- 16 PROPOSED DETENTION SYSTEM OUTLET STRUCTURE. SEE DETAIL 1. THIS SHEET.
- 17 INSTALL TYPE A STORM DRAIN CLEANOUT PER SAN DIEGO REGIONAL STANDARD DRAWING D-09. EXACT LOCATION TO BE COORDINATED WITH COUNTY STAFF DURING FINAL DESIGN.
- 18 INSTALL CROSS GUTTER PER SAN DIEGO REGIONAL STANDARD DRAWING G-12.
- 19 INSTALL CURB AND GUTTER PER SAN DIEGO REGIONAL STANDARD DRAWING G-02.
- 20 CONSTRUCT 10' COMMUNITY PATHWAY PER SAN DIEGO COUNTY TRAIL DESIGN MANUAL.
- 21 EXISTING PUBLIC STORM DRAIN INLET TO REMAIN.
- 22 EXISTING PUBLIC STORM DRAIN LINE TO BE CONNECTED TO PROPOSED MANHOLE.
- 23 RECONSTRUCT EXISTING HEADWALL TO REMAIN
- 24 EXISTING PUBLIC STORM DRAIN LINE TO BE REMOVED

GRADING INFORMATION:

TOTAL SITE AREA: 10.742 ACRES
 GRADED AREA: 8.3 ACRES
 CUT QUANTITIES: 30,275 CY
 FILL QUANTITIES: 22,535 CY
 EXPORT: 7,740 CY
 SITE RETAINING WALLS: 1,150 LF

NOTE: GRADING QUANTITIES ARE ESTIMATED FOR DESIGN AND PERMIT PURPOSES ONLY AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR PRIOR TO BIDDING. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE LOSSES, CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR TO NOTIFY THE ENGINEER OF WORK OF ANY DISCREPANCIES PRIOR TO GRADING OPERATIONS. QUANTITIES DO NOT INCLUDE EXCAVATIONS SPILLS FROM UTILITY TRENCHES, STRUCTURAL FOOTINGS, EXISTING IMPROVEMENT DEMOLITION, OVEREXCAVATION AND REMEDIAL GRADING, OR SLOPE CUTBACKS.

THIS PROJECT PROPOSES TO EXPORT 7,740 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.

SOURCE OF TOPOGRAPHY

ONSITE FIELD SURVEY METHODS BY BWE.
 DATUM: CCS83, ZONE 6

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION, REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES AND STRUCTURES TO ENGINEER OF RECORD PRIOR TO INSTALLATION OF ANY UNDERGROUND PIPING.

PRIOR TO PRECONSTRUCTION MEETING

NOTICE: IN THE EVENT THAT ANY ACTIVITY, INCLUDING EARTHMOVING OR CONSTRUCTION, DISCOVERS THE PRESENCE OF UNDERGROUND STORAGE TANKS, SEPTIC TANKS, WELLS, SITE DEBRIS, AND/OR CONTAMINATED SOILS ON-SITE, THE CONTRACTOR AND/OR PROPERTY OWNER SHALL NOTIFY THE COUNTY OF SAN DIEGO PLANNING & DEVELOPMENT SERVICES DEPARTMENT AND THE DEPARTMENT OF ENVIRONMENTAL HEALTH. THE PRESENCE OF CONTAMINATED SOILS WILL REQUIRE SOIL TESTING AND REMEDIATION IN ACCORDANCE WITH STANDARD COUNTY PROCEDURES. THIS PROCESS WILL BE DETERMINED ONCE THE COUNTY IS NOTIFIED OF THE PRESENCE OF CONTAMINATED SOILS.

Sheet List Table	
Sheet Number	Sheet Title
C1.0	PRELIMINARY GRADING PLAN
C2.0	SITE SECTIONS
C3.0	QUARRY RD SECTIONS
C4.0	PRELIMINARY UTILITY PLAN
C5.0	EXISTING SLOPE ANALYSIS PLAN
C6.0	PROPOSED SLOPE ANALYSIS PLAN
C7.0	DEMOLITION PLAN
C8.0	PRELIMINARY WQMP
-	PRELIMINARY ROUTE STUDY

CONTACT INFORMATION

OWNER:
 INSITE PROPERTY GROUP
 19191 S VERMONT AVE., SUITE 680
 TORRANCE, CA 90502
 TKARP@INSITEPG.COM
 949-690-8311

CIVIL ENGINEER:
 BEN HUBER, P.E.
 KIMLEY-HORN AND ASSOCIATES
 4637 CHABOT DRIVE, SUITE 350
 PLEASANTON, CA 94588
 BEN.HUBER@KIMLEY-HORN.COM

PROJECT SUMMARY

PROJECT ADDRESS: 5780 QUARRY ROAD
 BONITA, CA 91902

ASSESSOR PARCEL NUMBER(S):
 586-050-36-00
 586-050-44-00
 586-050-48-00

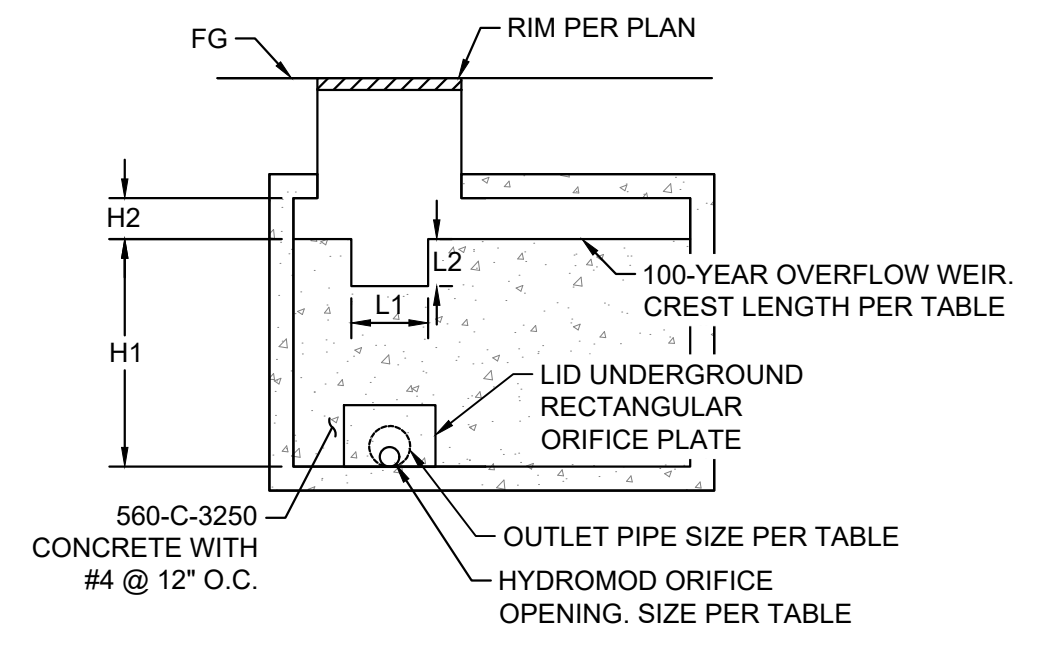
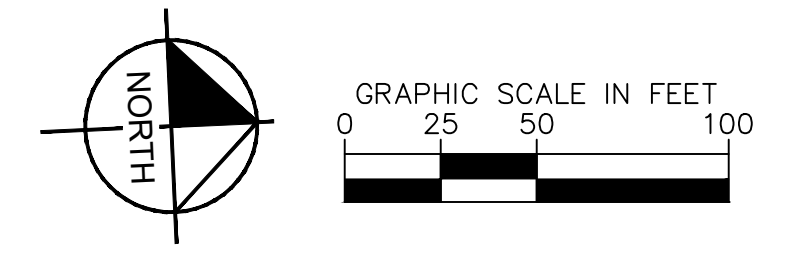
LEGAL DESCRIPTION

THE PROPERTY CONSISTS OF PARCEL 1-5 FROM THE SOUTHEAST QUARTER OF QUARTER SECTION 24 OF RANCHO DE LA NACION, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 166, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, MADE BY GEO MORRILL.

GENERAL NOTE

THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF THE PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO PERFORM AND GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSIONS BEFORE COMMENCING SUCH ACTIVITY.

IN THE EVENT THAT ANY ACTIVITY, INCLUDING EARTHMOVING OR CONSTRUCTION, DISCOVERS THE PRESENCE OF UNDERGROUND STORAGE TANKS, SEPTIC TANKS, WELLS, SITE DEBRIS, AND/OR CONTAMINATED SOILS ON-SITE, THE CONTRACTOR AND/OR PROPERTY OWNER SHALL NOTIFY THE COUNTY OF SAN DIEGO PLANNING & DEVELOPMENT SERVICES DEPARTMENT AND THE DEPARTMENT OF ENVIRONMENTAL HEALTH AND QUALITY. THE PRESENCE OF CONTAMINATED SOILS WILL REQUIRE SOIL TESTING AND REMEDIATION IN ACCORDANCE WITH STANDARD COUNTY PROCEDURES. THIS PROCESS WILL BE DETERMINED ONCE THE COUNTY IS NOTIFIED OF THE PRESENCE OF CONTAMINATED SOILS.



BASIN ID	OUTLET PIPE DIAMETER (IN)	ORIFICE DIAMETER (IN)	H1 FEET	H2 FEET	L1 FEET	L2 FEET	CREST FEET
BMP 4	24	1.75	4.5	1.0	0.167	2.0	10.7
BMP 5	18	0.80	4.5	0.5	1.5	2.8	4.0

1 DETENTION BMP OUTLET STRUCTURE
 NOT TO SCALE



Kimley»Horn
 401 B STREET, SUITE 600, SAN DIEGO, CA 92101
 PHONE: 619-234-9411
 WWW.KIMLEY-HORN.COM

No.	Description	Date
Revisions		

NOT FOR CONSTRUCTION

PRELIMINARY GRADING PLAN

RECORD ID: PDS2021-MUP-21-009

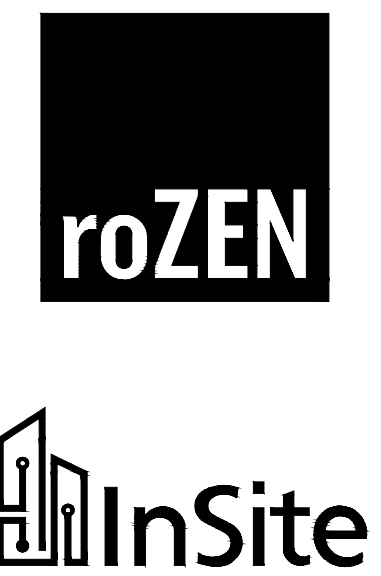
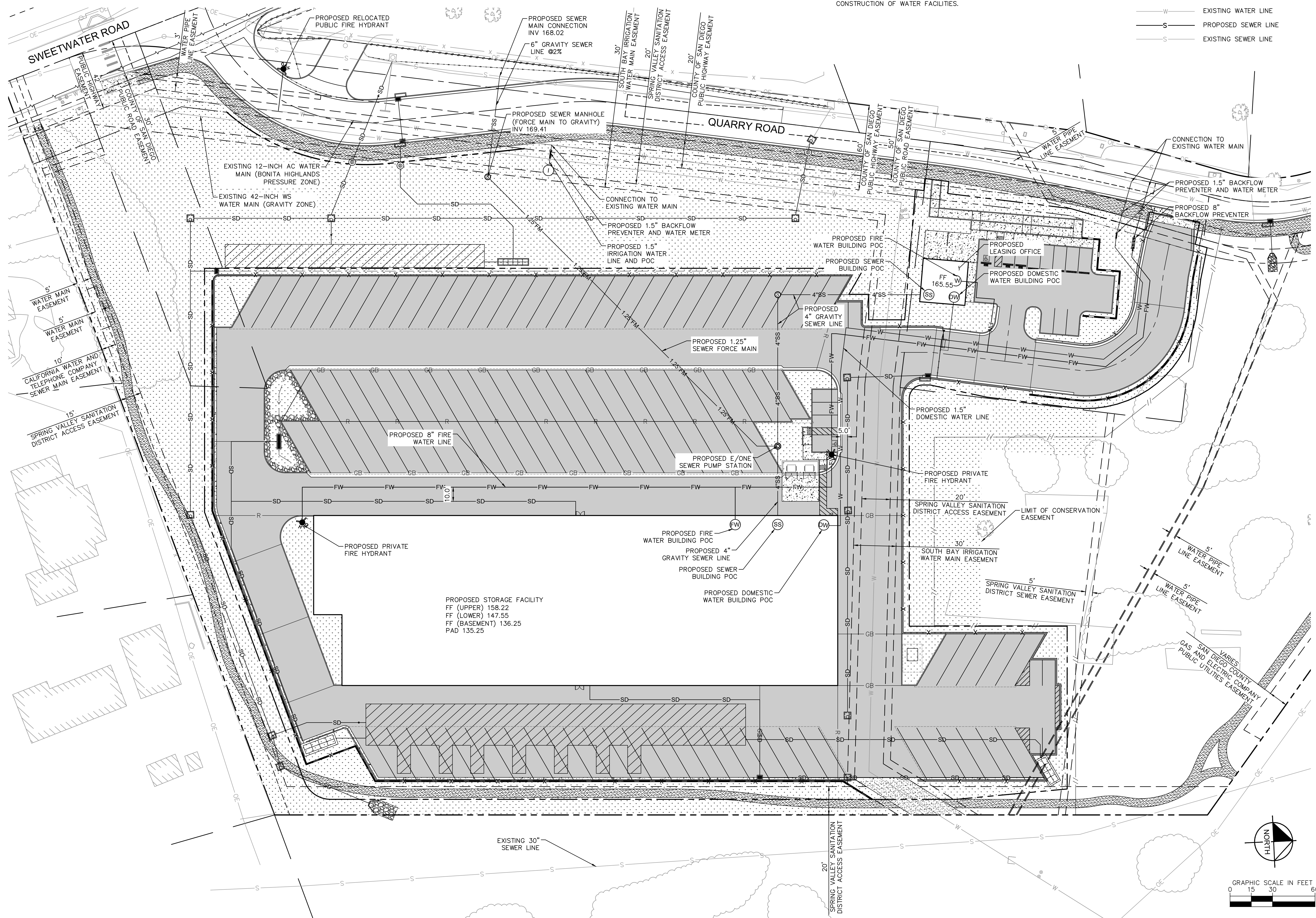
C1.0

GENERAL NOTES

- ALL WATER SERVICE LATERALS SHALL BE INSTALLED IN ACCORDANCE WITH SWEETWATER AUTHORITY DESIGN STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER FACILITIES.

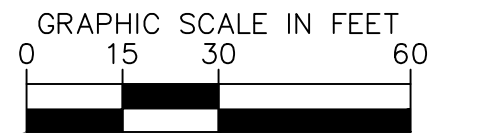
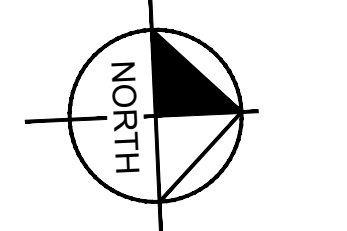
LEGEND

- FW PROPOSED FIRE WATER LINE
- W PROPOSED DOMESTIC WATER LINE
- W EXISTING WATER LINE
- S PROPOSED SEWER LINE
- S EXISTING SEWER LINE



No.	Description	Date
Revisions		

NOT FOR CONSTRUCTION



PRELIMINARY UTILITY PLAN

RECORD ID: PDS2021-MUP-21-009

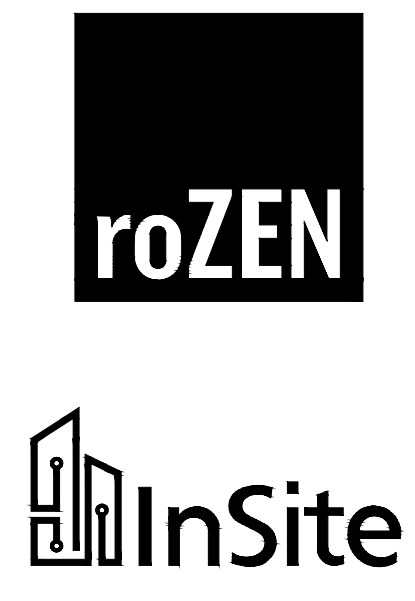
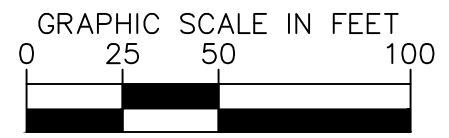
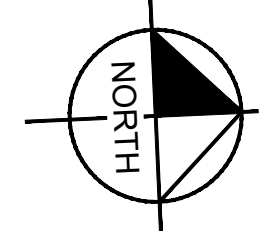
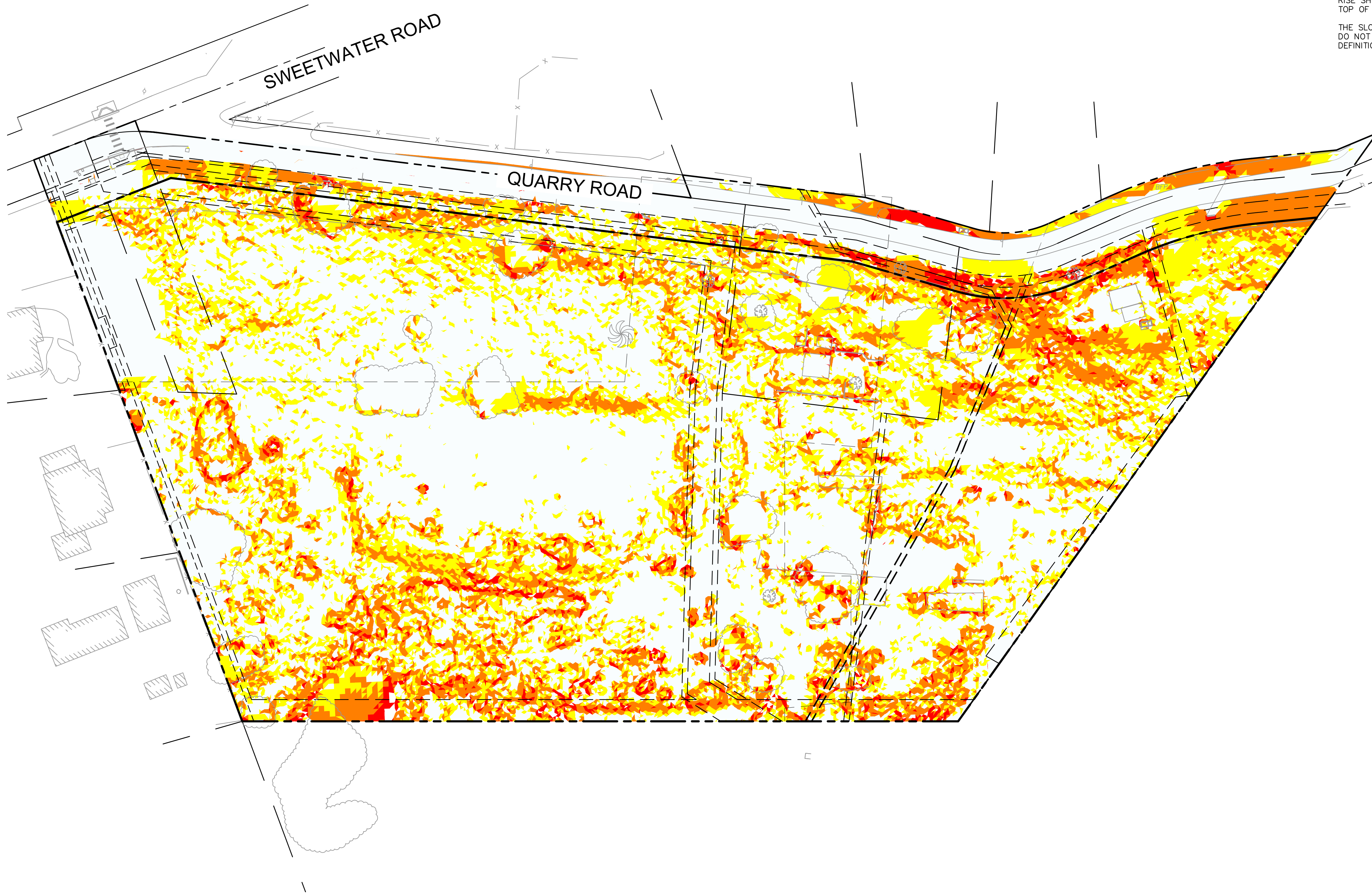
C4.0

SLOPE ANALYSIS FOR QUARRY STORAGE MPA

EXISTING SLOPES TABLE					
Number	Minimum Slope	Maximum Slope	Area (AC)	PERCENT	Color
1	0.00%	15.00%	6.30	59%	
2	15.00%	25.00%	2.48	23%	
3	25.00%	50.00%	1.68	15%	
4	50.00%	100.00%	0.28	3%	
TOTAL			10.74	100%	

THE RESOURCE PROTECTION ORDINANCE DEFINES "STEEP SLOPE LANDS" AS: ALL LANDS HAVING A SLOPE WITH NATURAL GRADIENT OF 25% OR GREATER AND A MINIMUM RISE OF 50 FEET, UNLESS SAID LAND HAS BEEN SUBSTANTIALLY DISTURBED BY PREVIOUS LEGAL GRADING. THE MINIMUM RISE SHALL BE MEASURED VERTICALLY FROM THE TOE OF SLOPE TO THE TOP OF SLOPE WITHIN THE PROJECT BOUNDARY.

THE SLOPES DEPICTED HEREON REPRESENTING GRADES IN EXCESS OF 25% DO NOT EXCEED THE MINIMUM RISE OF 50 FEET AND DO NOT MEET THE DEFINITION OF "STEEP SLOPE LANDS"



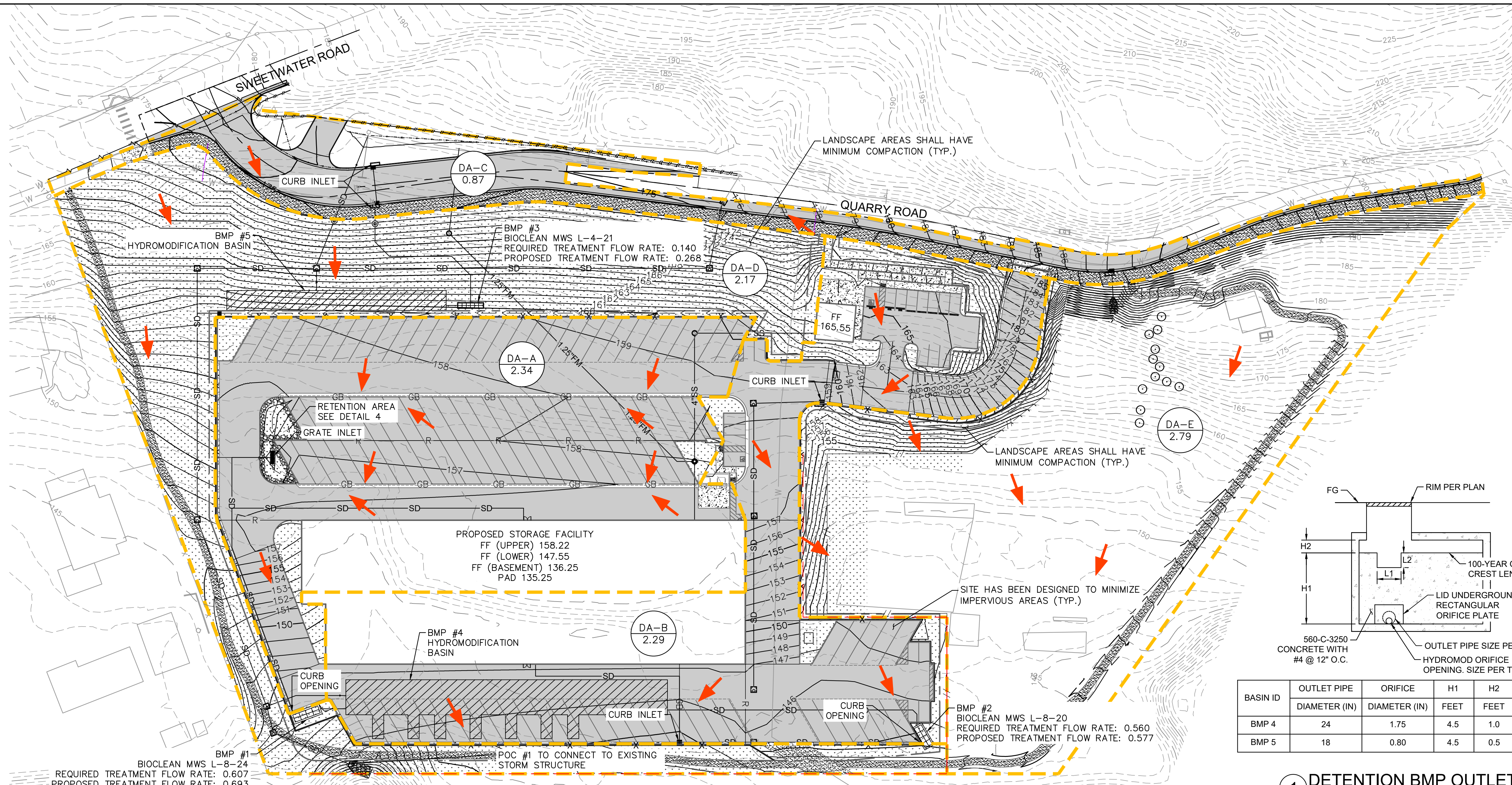
No.	Description	Date
Revisions		

NOT FOR CONSTRUCTION

EXISTING CONDITIONS
SLOPE ANALYSIS

RECORD ID: PDS2021-MUP-21-009

C5.0

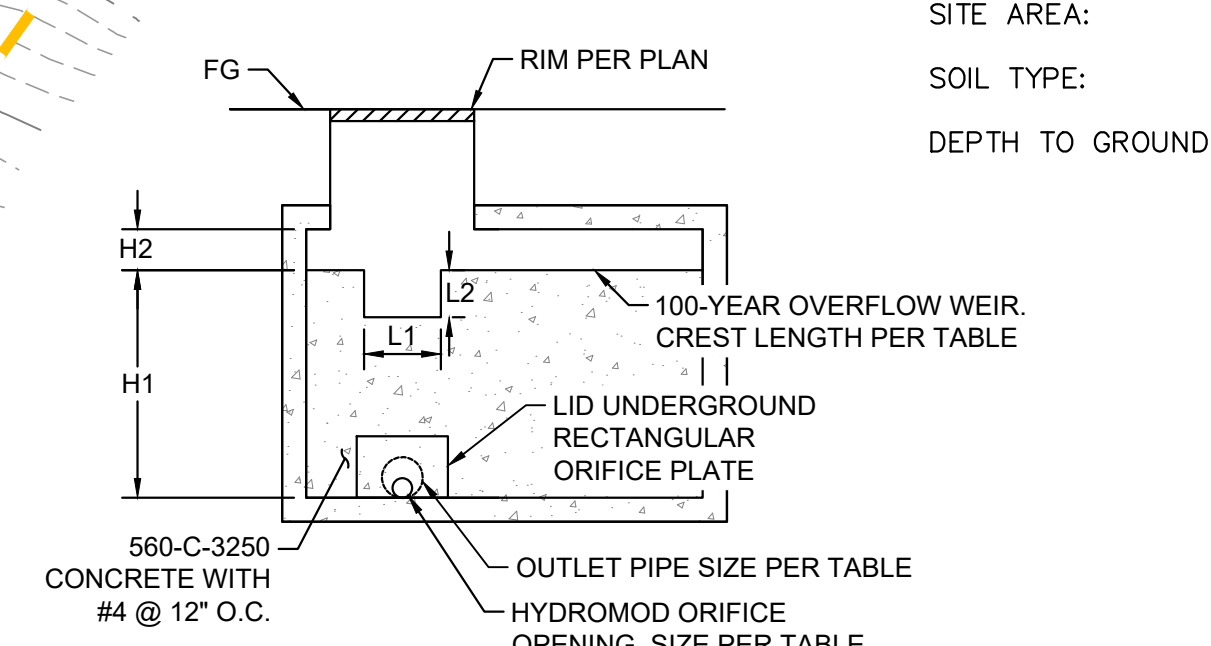


LEGEND

- PROPERTY LINE/ RIGHT OF WAY
- CENTER LINE
- EASEMENT LINE
- DMA LIMITS
- 88 PROPOSED CONTOUR
- 89 EXISTING CONTOUR
- R PROPOSED RIDGE LINE
- GB PROPOSED GRADE BREAK LINE
- >>> PROPOSED FLOW LINE
- SD PROPOSED STORM DRAIN
- [Pattern] LANDSCAPE AREA
- [Pattern] UNDERGROUND STORAGE - FLOW CONTROL BMP
- [Pattern] MODULAR WETLAND SYSTEM - POLLUTANT CONTROL BMP

SITE INFORMATION

SITE AREA: 10.8 AC
 SOIL TYPE: D
 DEPTH TO GROUNDWATER: >26'



BASIN ID	OUTLET PIPE DIAMETER (IN)	ORIFICE DIAMETER (IN)	H1 FEET	H2 FEET	L1 FEET	L2 FEET	CREST FEET
BMP 4	24	1.75	4.5	1.0	0.167	2.0	10.7
BMP 5	18	0.80	4.5	0.5	1.5	2.8	4.0

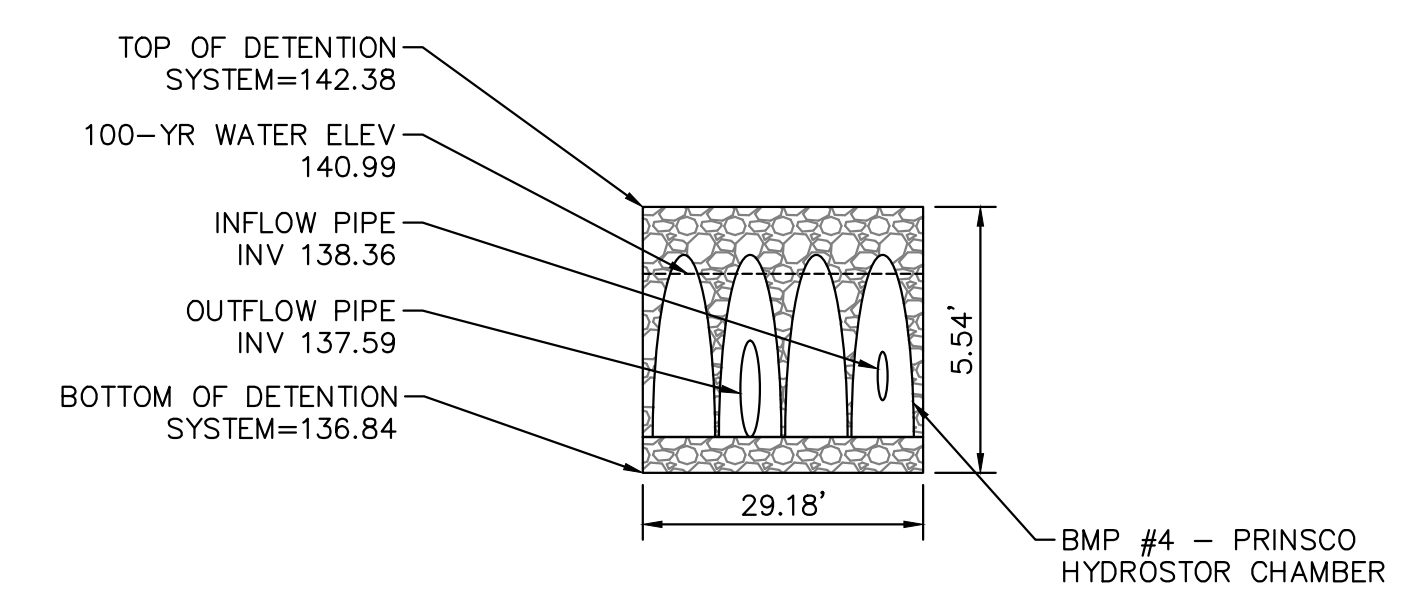
1 DETENTION BMP OUTLET STRUCTURE
NOT TO SCALE

WATER QUALITY BMPS

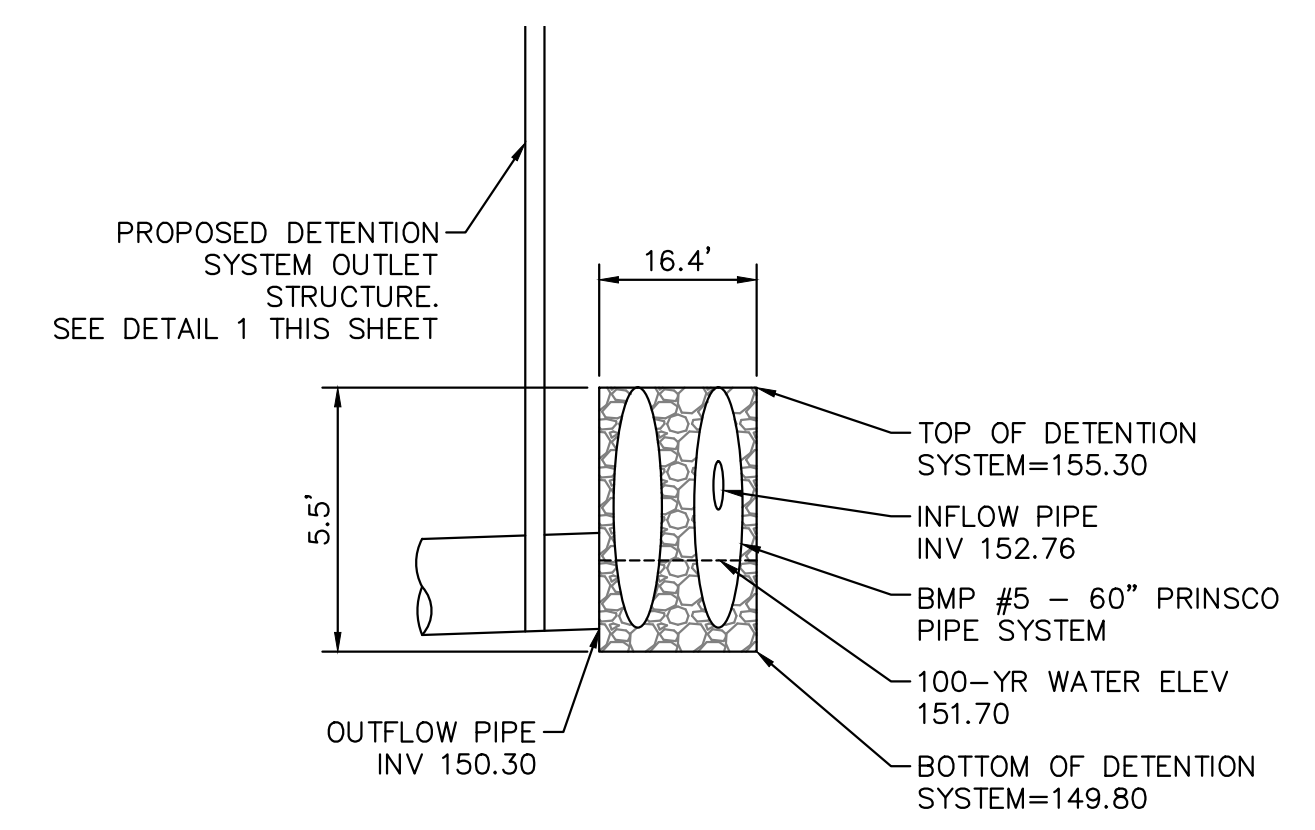
DMA #	TOTAL DRAINAGE AREA (SF)	TOTAL DRAINAGE AREA (AC)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	DESIGN CAPTURE VOLUME (CF)	STRUCTURAL BMP ID #	BMP CLASSIFICATION	BMP PROVIDED	PERCENT IMPERVIOUS (%)	TREATMENT Q REQUIRED (CFS)	TREATMENT Q PROVIDED (CFS)	BMP TYPE
A	102,589	2.36	97,311	5,278	4,044	1	BIOFILTRATION	MODULAR WETLAND SYSTEM MWS-L-8-24	95	0.607	0.693	STRUCTURAL
B	98,505	2.26	89,243	9,262	3,702	2	BIOFILTRATION	MODULAR WETLAND SYSTEM MWS-L-8-20	91	0.560	0.577	STRUCTURAL
C	37,810	0.87	20,728	17,082	936	3	BIOFILTRATION	MODULAR WETLAND SYSTEM MWS-L-4-21	55	0.140	0.268	STRUCTURAL
D	94,380	2.17	--	94,380	--	--	SELF MITIGATING	--	0	--	--	--
E	121,564	2.79	--	121,564	--	--	SELF MITIGATING	--	0	--	--	--

HYDROMOD BMPS

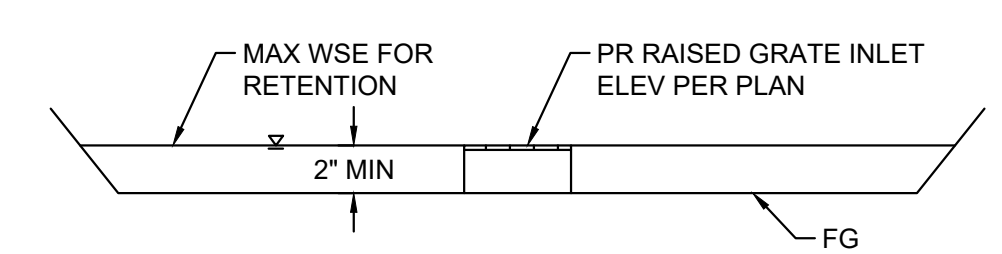
DMA #	TOTAL DRAINAGE AREA (SF)	TOTAL DRAINAGE AREA (AC)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	BMP VOLUME REQUIRED (CF) (SPREADSHEET V3.1)	BMP VOLUME PROVIDED (CF)	STRUCTURAL BMP ID #	BMP CLASSIFICATION	BMP PROVIDED	BMP TYPE
A,B	201,094	4.62	186,554	14,540	16921	30743	4	CISTERN	PRINSCO HYDROSTOR CHAMBERS	STRUCTURAL
C	37,810	0.87	88,703	11,033	2019	7052	5	CISTERN	PRINSCO STORMWATER PIPE DETENTION SYSTEM	STRUCTURAL



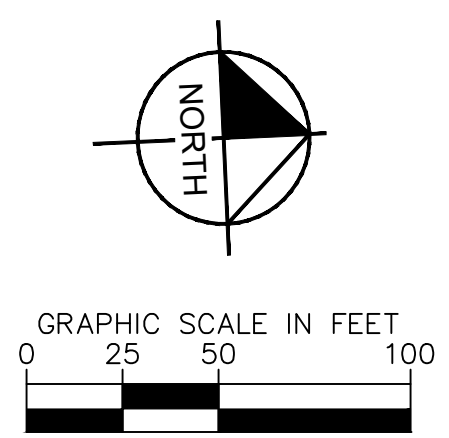
2 BMP #4 CROSS SECTION
NOT TO SCALE



3 BMP #5 CROSS SECTION
NOT TO SCALE



4 RETENTION AREA
NOT TO SCALE



No.	Description	Date
Revisions		

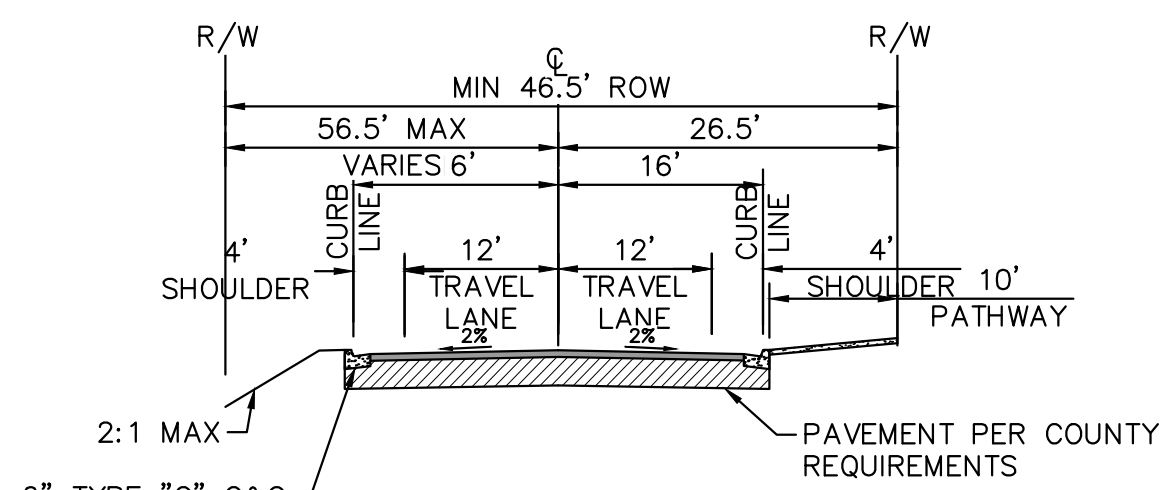
NOT FOR CONSTRUCTION

PRELIMINARY WQMP PLAN

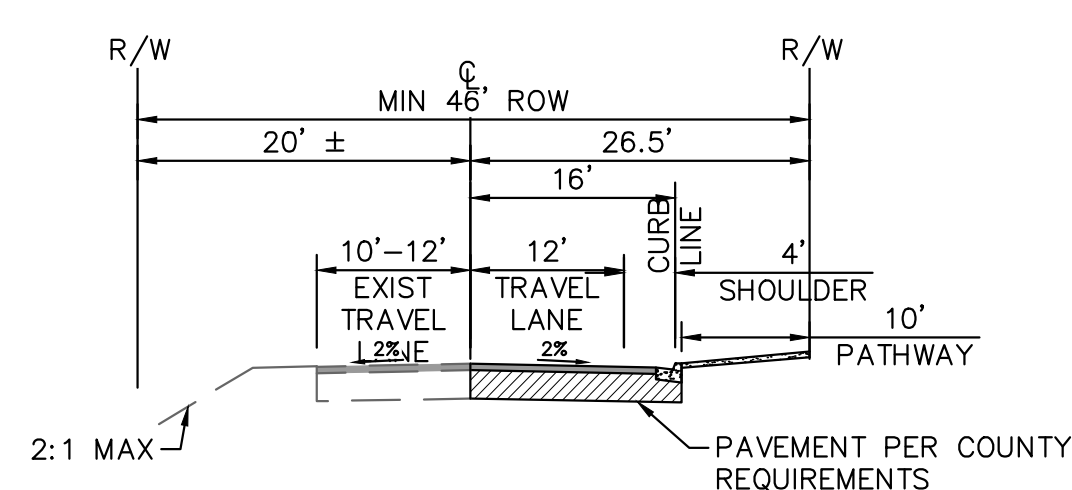
RECORD ID: PDS2021-MUP-21-009

C8.0

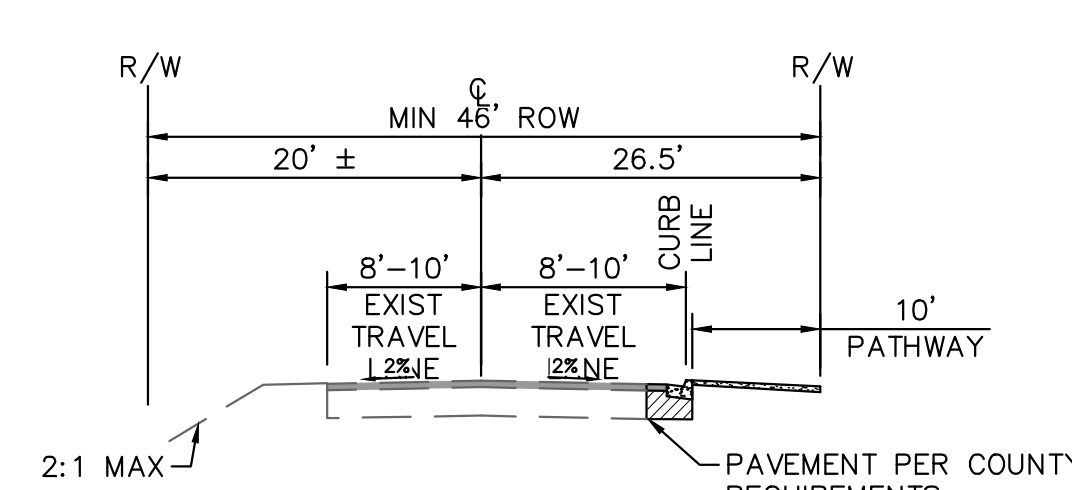
NO.	DELTA OR BRG	RADIUS	LENGTH	REMARKS
1	N 71°25'26" E		6.64'	*
2	Δ=75° 01' 36"	120.0'	157.14'	*
3	N 3°36'09" W		122.43'	
4	Δ=13° 58' 41"	201.7'	49.20'	
5	N 9°33'26" E		216.10'	
6	Δ=4° 22' 12"	1002.4'	76.46'	
7	N 14°06'36" E		138.01'	
8	Δ=33° 49' 17"	134.8'	79.58'	*
9	N 19°39'55" W		72.58'	



TYPICAL SECTION (PUBLIC)
QUARRY ROAD
10+30 TO STA. 13+35
NOT TO SCALE



TYPICAL SECTION (PUBLIC)
QUARRY ROAD
14+45 TO STA. 18+50
NOT TO SCALE

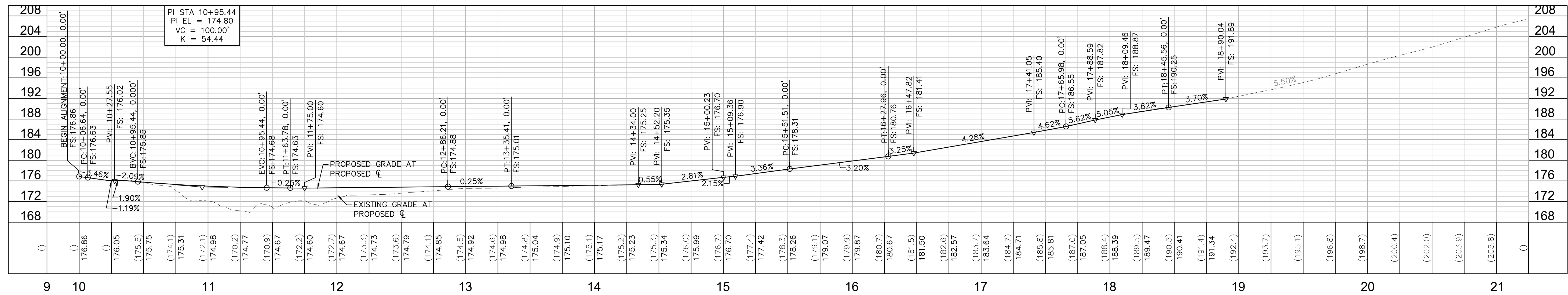


TYPICAL SECTION (PUBLIC)
QUARRY ROAD
18+50 TO STA. 21+25
NOT TO SCALE

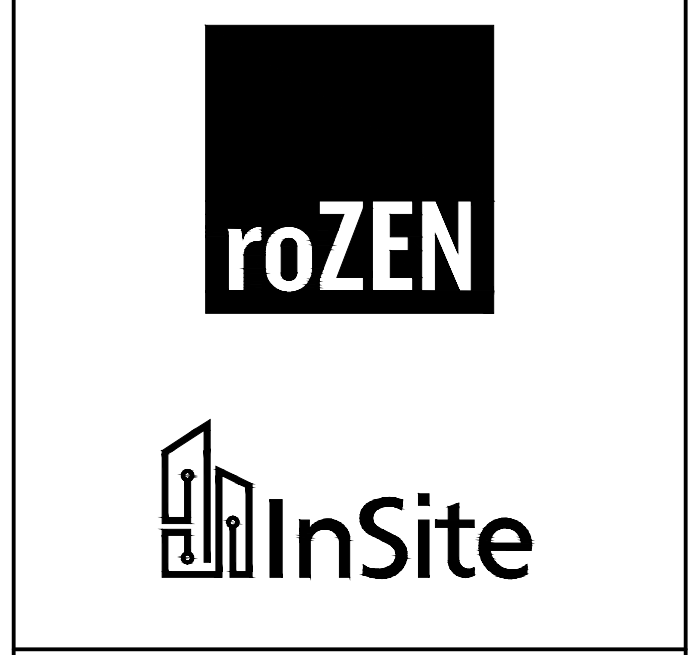
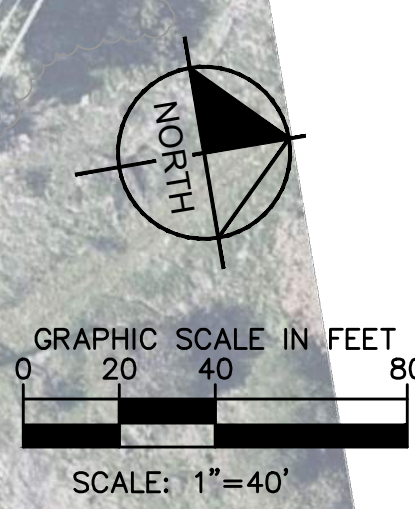
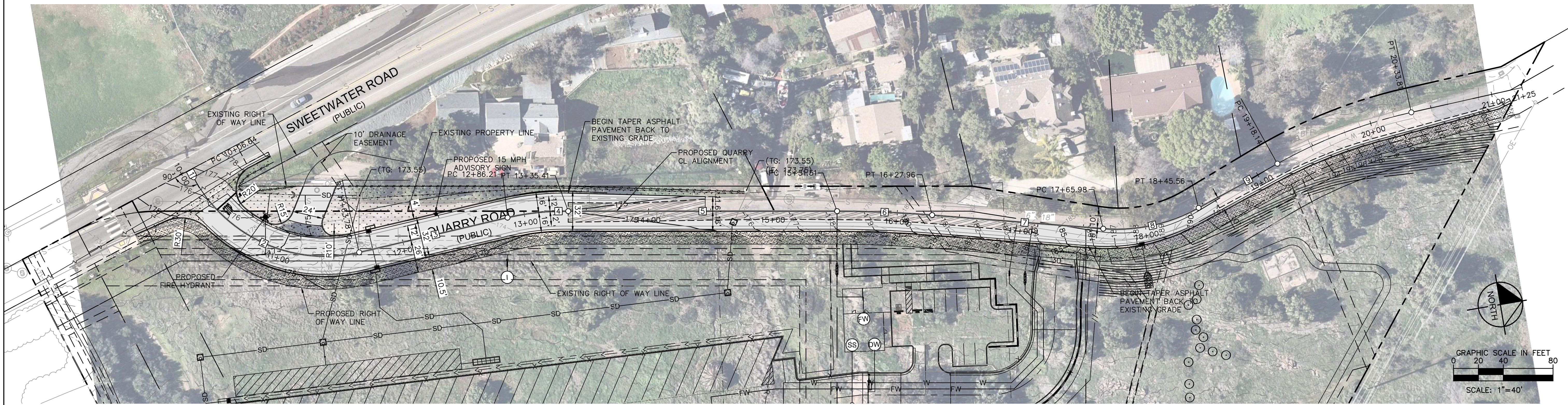
LEGEND

- (160.50 TC)
(160.00 FS)
- 160.50 TC
160.00 FS
- 1.0%
- (1.0%)
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FLOW (SLOPE AND DIRECTION)
- EXISTING FLOW (SLOPE AND DIRECTION)
- PROPERTY LINE/ RIGHT OF WAY
- SAWCUT LINE
- DAYLIGHT LINE
- 88
- 89
- SD
- PROPOSED STORM DRAIN
- PROPOSED FLOW LINE
- EXISTING WATER LINE
- S
- EXISTING SEWER LINE
- OE
- EXISTING OVERHEAD ELECTRICAL LINE
- PROPOSED LOW IMPACT DEVELOPMENT (LID) FACILITY (UNDERGROUND OR DETENTION SYSTEM)
- PROPOSED ASPHALT OVERLAY
- PROPOSED ASPHALT CONCRETE
- PROPOSED CONCRETE
- PROPOSED LANDSCAPING
- PROPOSED DECOMPOSED GRANITE

* DESIGN EXCEPTION REQUIRED



PROFILE SCALES:
HORIZ: 1" = 40'
VERT: 1" = 8'



Kimley»Horn
401 B STREET, SUITE 600, SAN DIEGO, CA 92101
PHONE: 619-234-8411
WWW.KIMLEY-HORN.COM

No.	Description	Date
Revisions		

NOT FOR CONSTRUCTION

PRELIMINARY ROUTE STUDY
QUARRY ROAD @ SWEETWATER ROAD

PROPOSED DESIGN
EXHIBIT
RECORD ID: PDS2021-MUP-21-009
C9.0



EXISTING SITE



EXISTING PHOTO 1



EXISTING PHOTO 2



EXISTING PHOTO 3

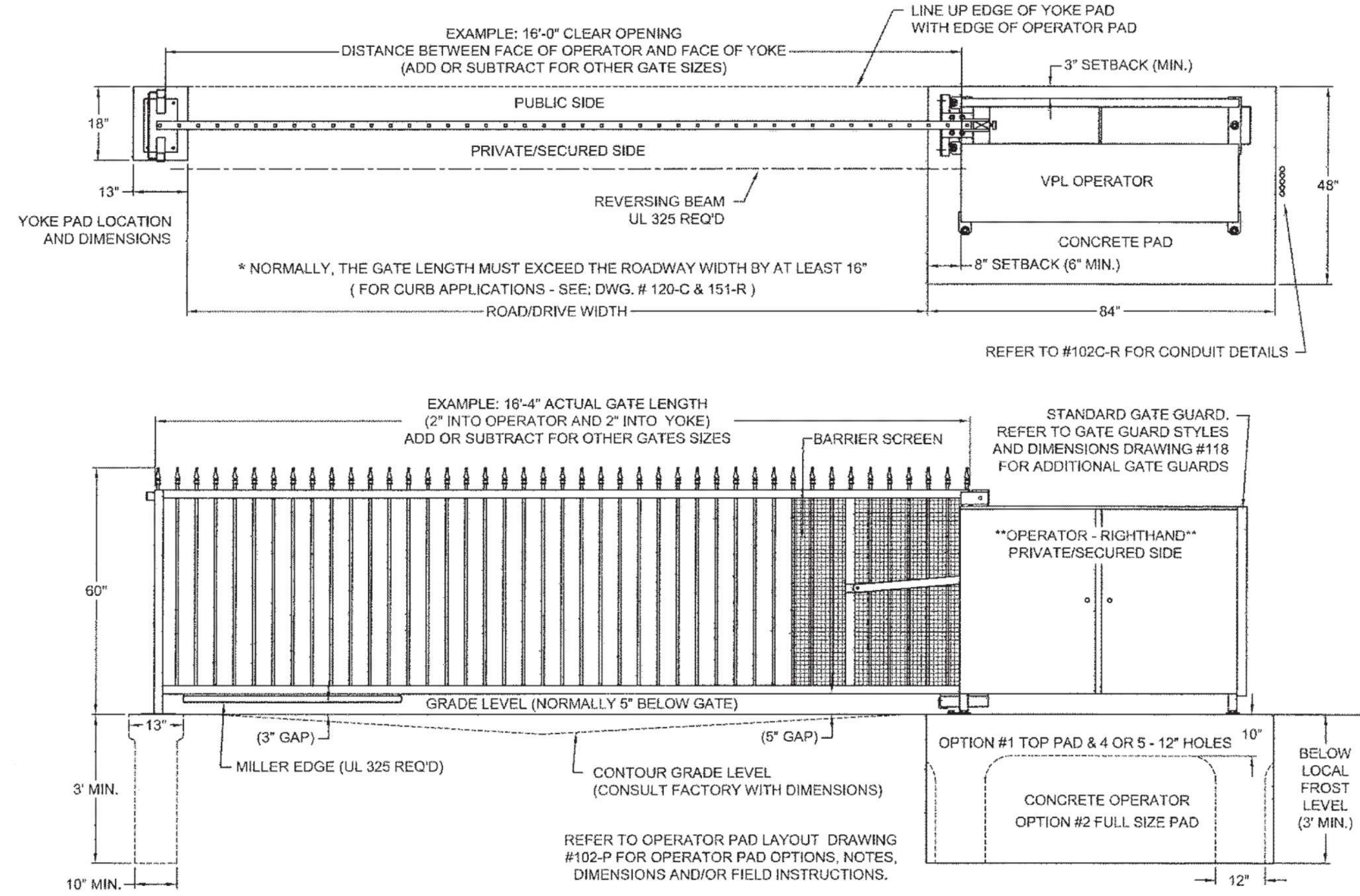


EXISTING PHOTO 4



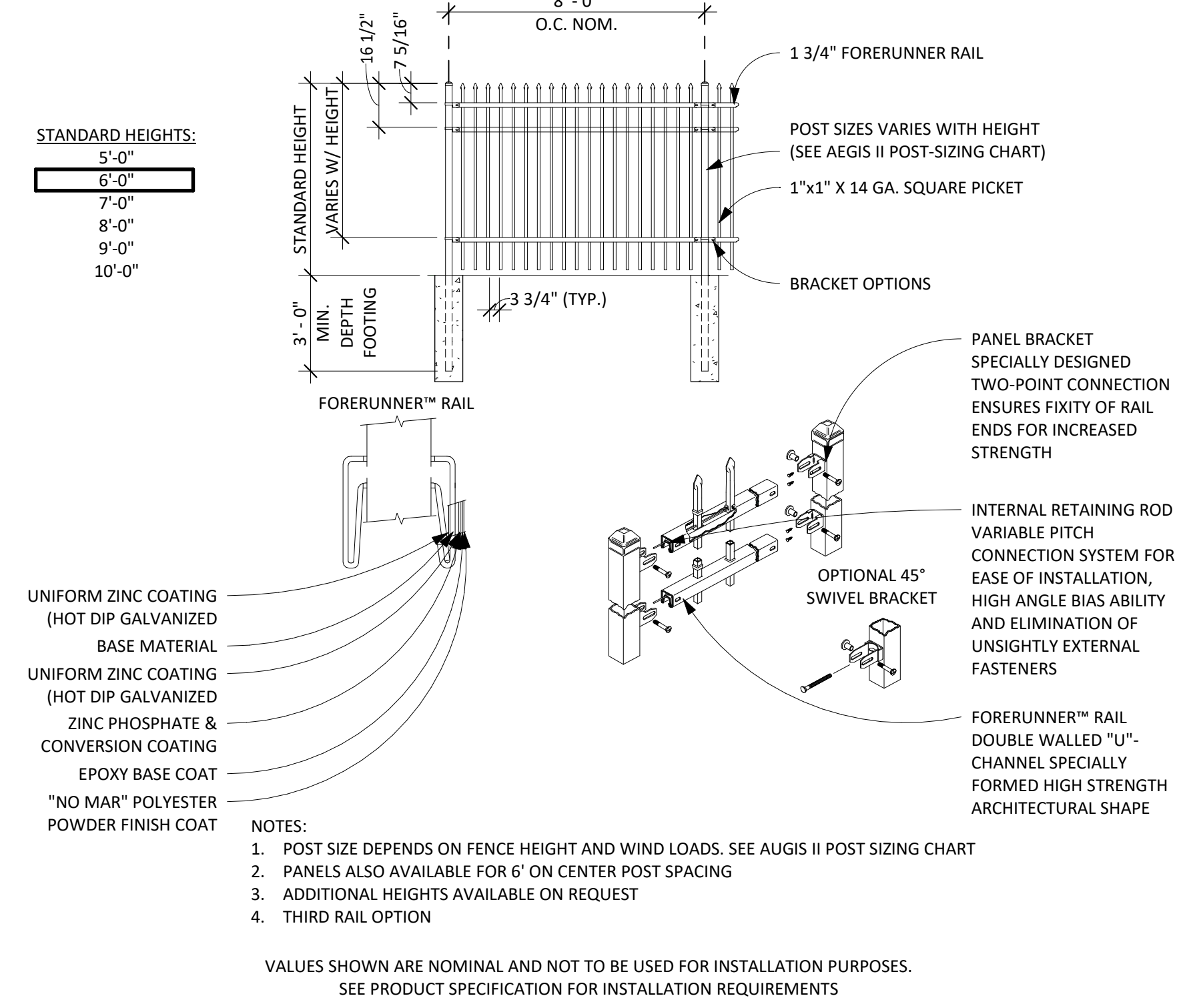
EXISTING PHOTO 5

1.2.1 GATE - VERTICAL LIFT GATE



PAD FOR YOKE STYLES "E" & "F" ONLY. REFER TO YOKE STYLES DRAWING #105 FOR ADDITIONAL MOUNTING METHODS, DIMENSIONS AND/OR INSTRUCTIONS.

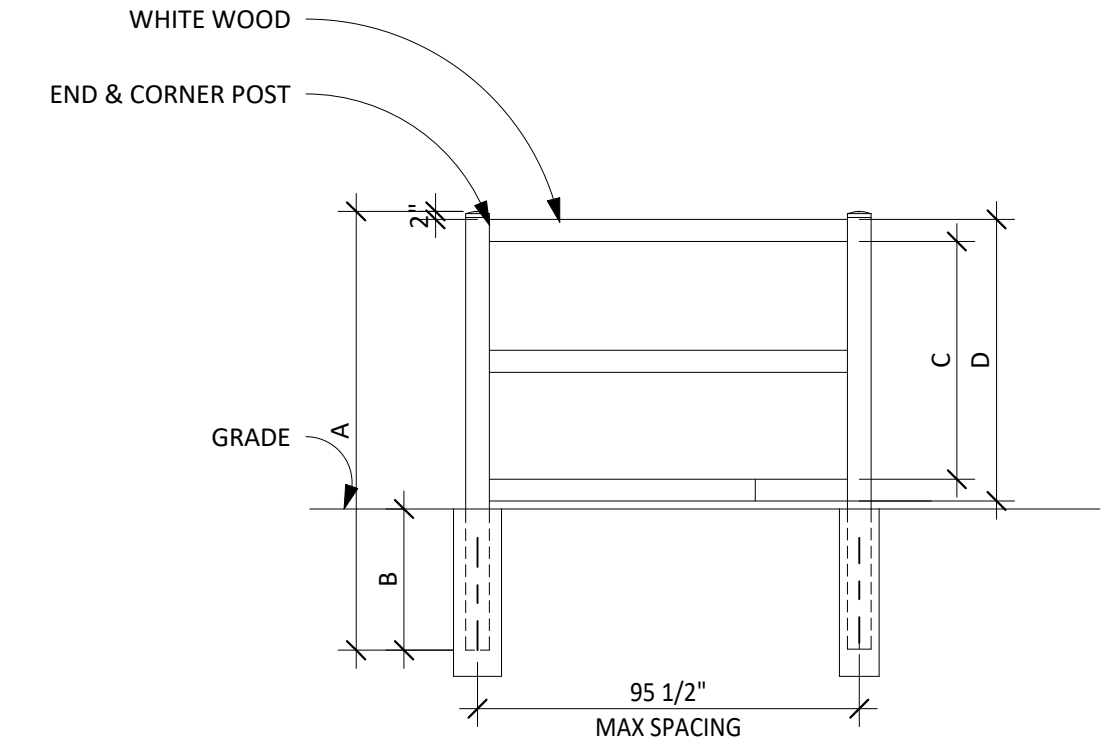
1 VERTICAL LIFTGATE - AUTOGATE
SCALE: 1/2" = 1'-0"



2 DECORATIVE FENCING - AMERISTAR AEGIS II CLASSIC
SCALE: 1/4" = 1'-0"

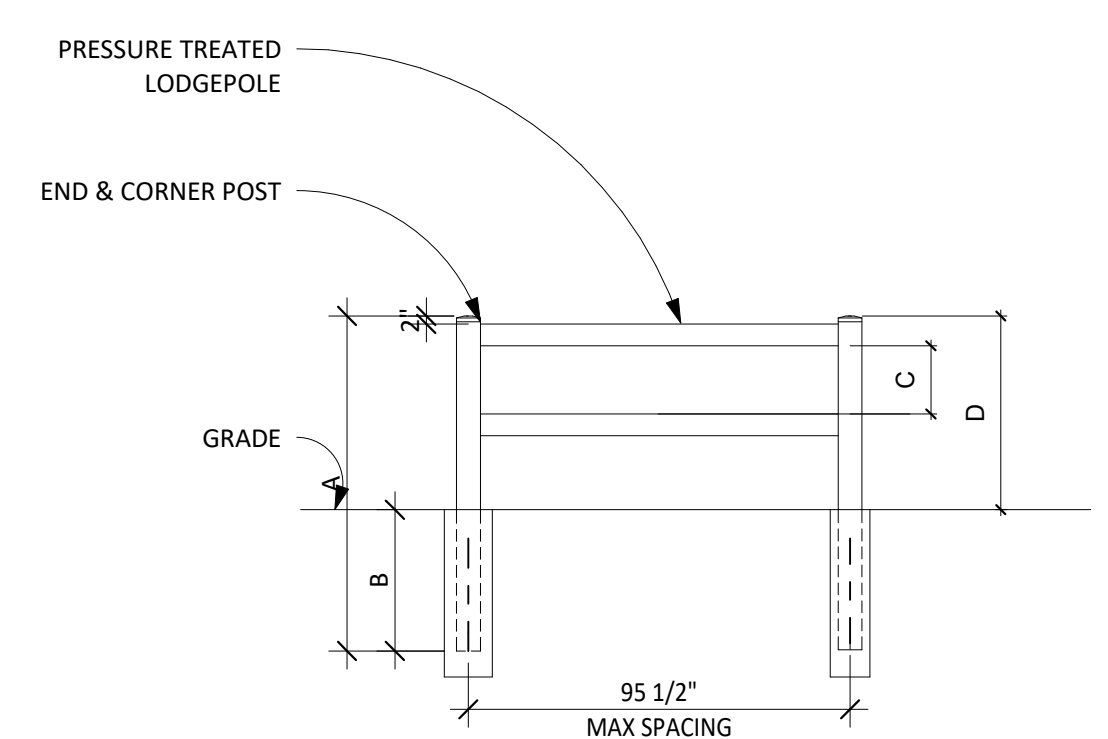


3 VERTICAL GATE - REFERENCE IMAGE
SCALE: 3/8" = 1'-0"



FENCE HEIGHT NOMINAL HEIGHT	END & CORNER POSTS		PICKETS AND BRACING	
	A LENGTH	B BELOW GRADE	C LENGTH	D TOTAL
3'-0"	5'-0"	2'-1"	2'-1"	3'-0"
4'-0"	7'-0"	2'-10"	3'-1"	4'-0"
5'-0"	8'-0"	2'-10"	4'-1"	5'-0"
6'-0"	9'-0"	2'-10"	5'-1"	6'-0"

4 WOOD FENCE DETAIL
SCALE: 1/4" = 1'-0"



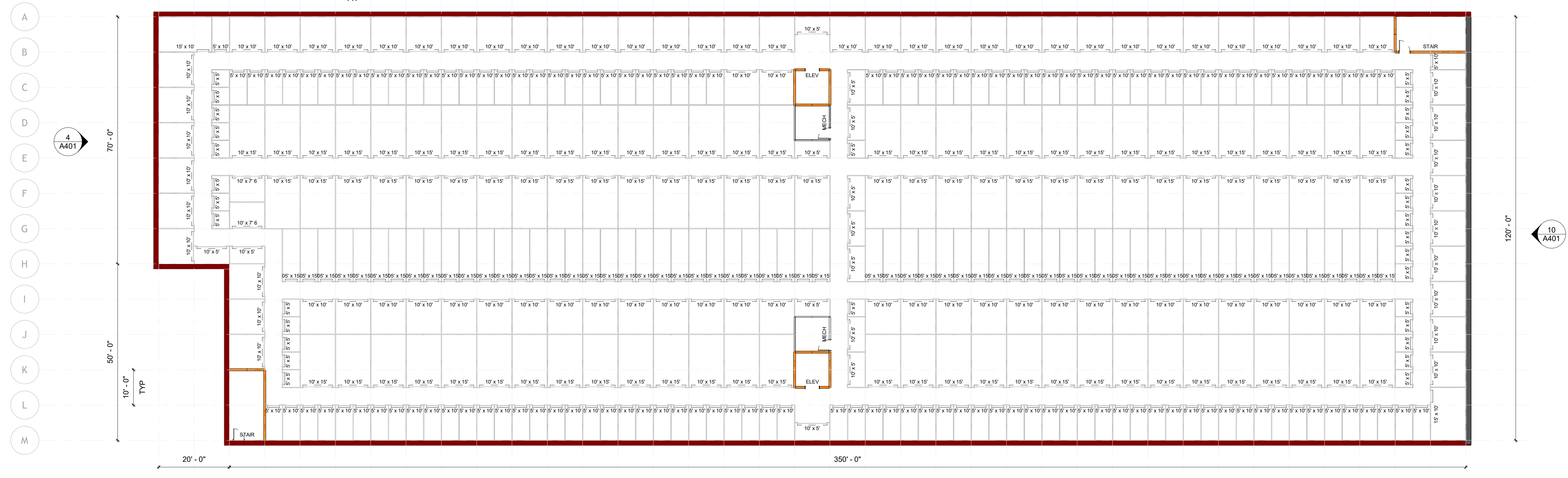
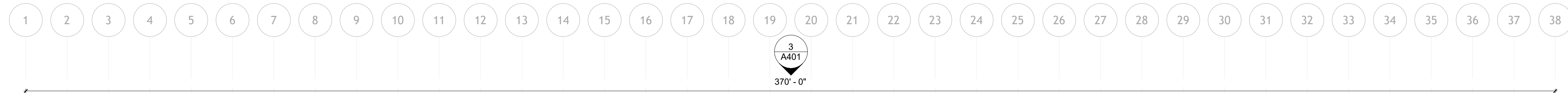
FENCE HEIGHT NOMINAL HEIGHT	END & CORNER POSTS		PICKETS AND BRACING	
	A LENGTH	B BELOW GRADE	C LENGTH	D TOTAL
4'-0"	7'-0"	2'-10"	1'-5"	4'-0"

5 LODGEPOLE
SCALE: 1/4" = 1'-0"



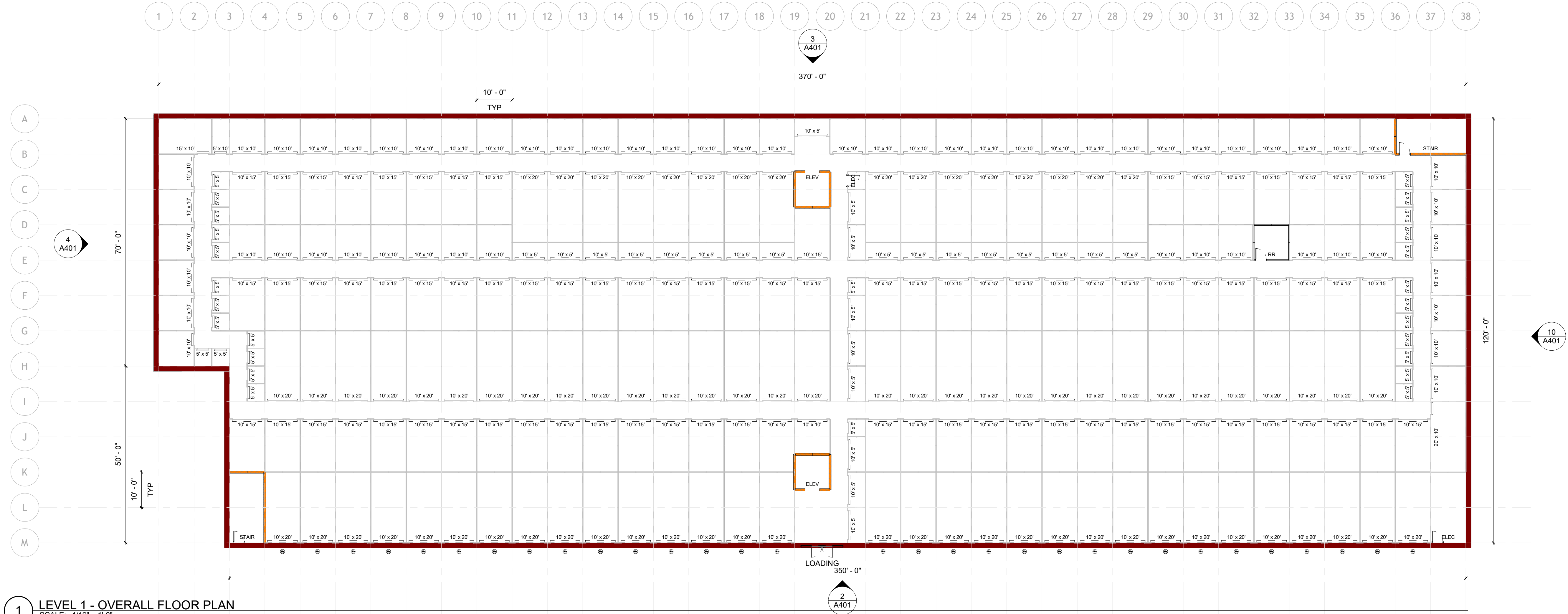
6 RETAINING WALL - IMAGE FOR REFERENCE ONLY
SCALE: 3/8" = 1'-0"

BASEMENT UNITS		
Unit Type	Count	% Total Units
5' x 5'	31	8%
5' x 10'	124	31%
05' x 15'	61	15%
10' x 5'	13	3%
10' x 7' 6"	2	0%
10' x 10'	81	20%
10' x 15'	91	22%
15' x 10'	2	0%
405		



1 BASEMENT - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEVEL 1 UNITS		
Unit Type	Count	% Total Units
5' x 5'	28	10%
5' x 10'	1	0%
10' x 5'	25	9%
10' x 10'	60	22%
10' x 15'	80	29%
10' x 20'	78	28%
15' x 10'	1	0%
20' x 10'	1	0%
274		

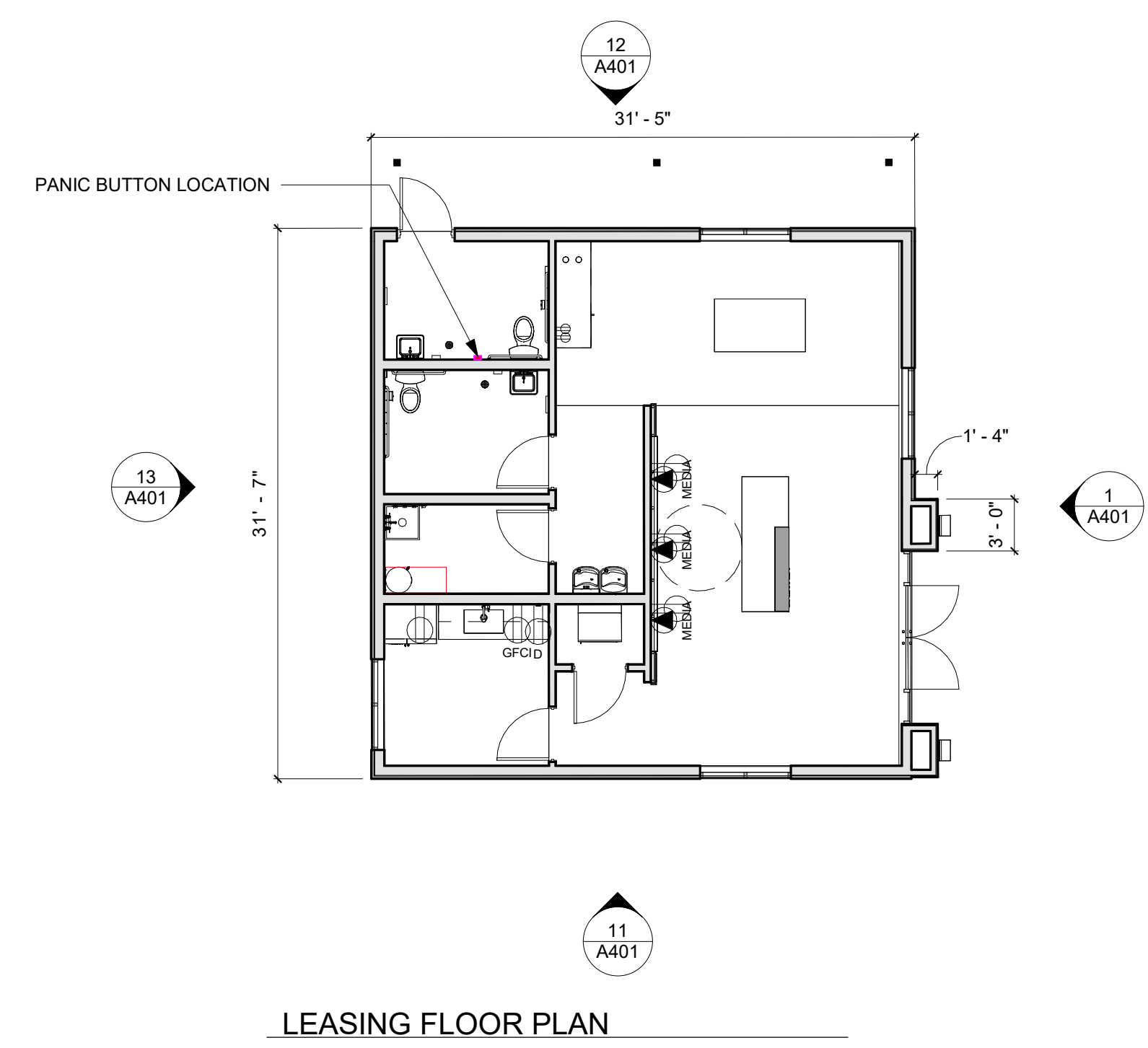


1 LEVEL 1 - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"

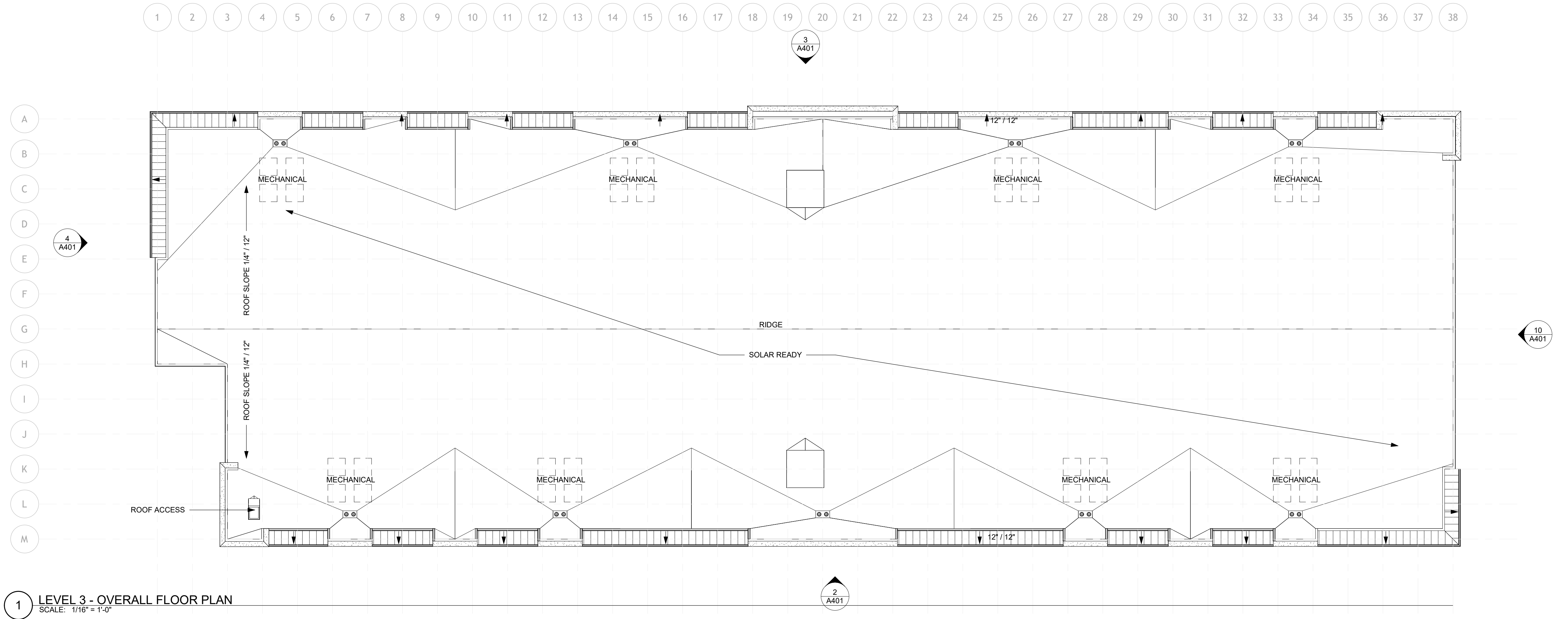
LEVEL 2 UNITS		
Unit Type	Count	% Total Units
5' x 5'	20	6%
5' x 10'	28	8%
10' x 5'	14	4%
10' x 7' 6"	22	6%
10' x 10'	201	58%
10' x 12' 6"	22	6%
10' x 15'	2	1%
10' x 20'	32	9%
15' x 10'	3	1%
	344	



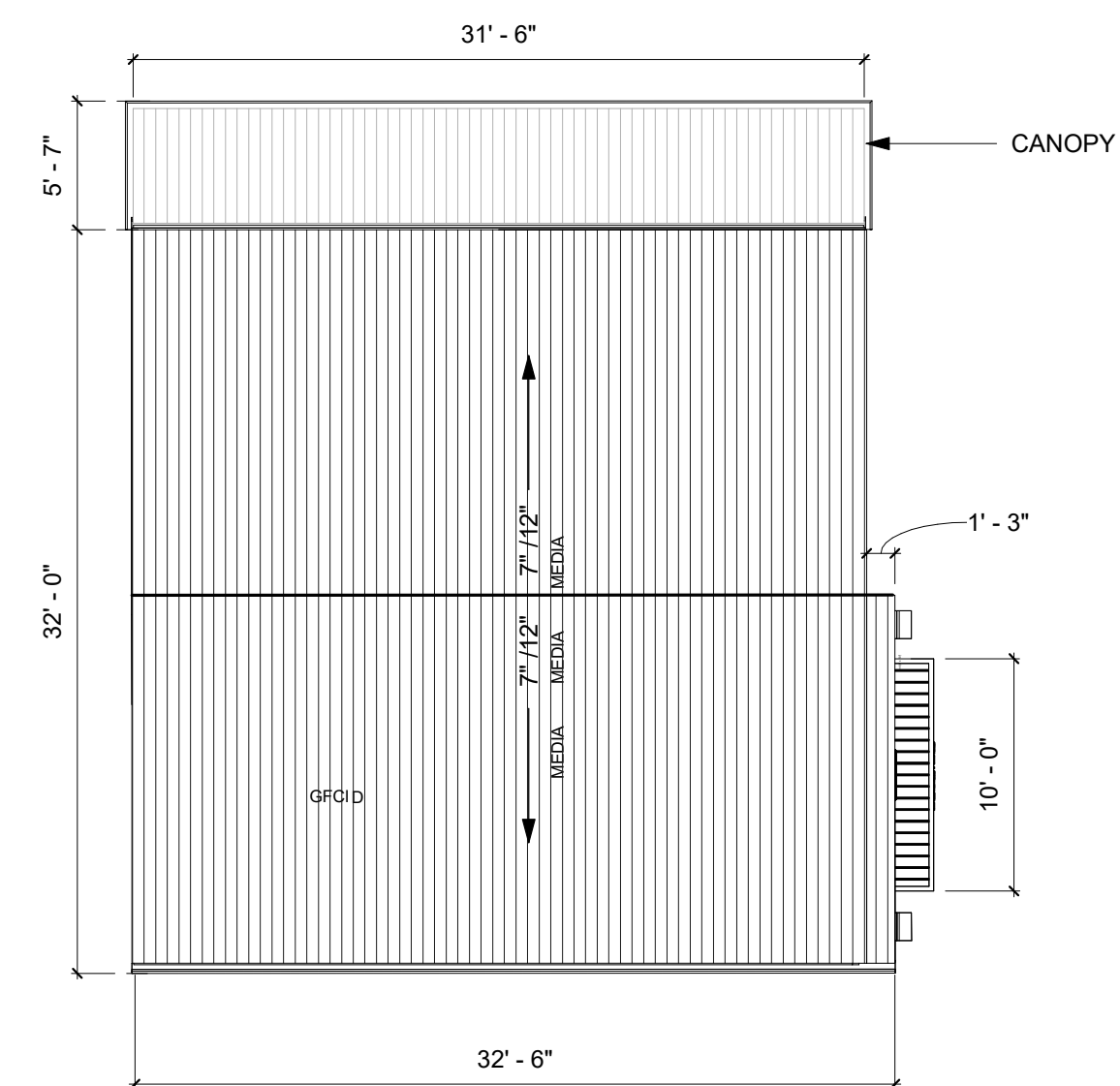
1 LEVEL 2 - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"



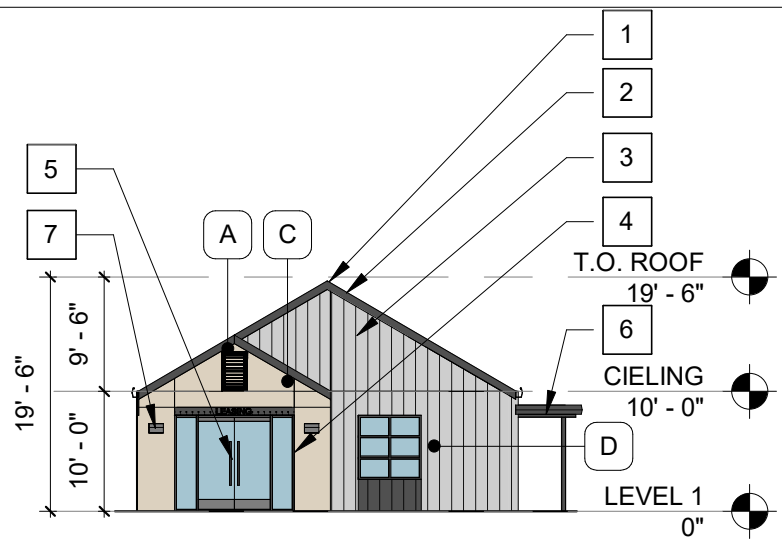
LEASING FLOOR PLAN



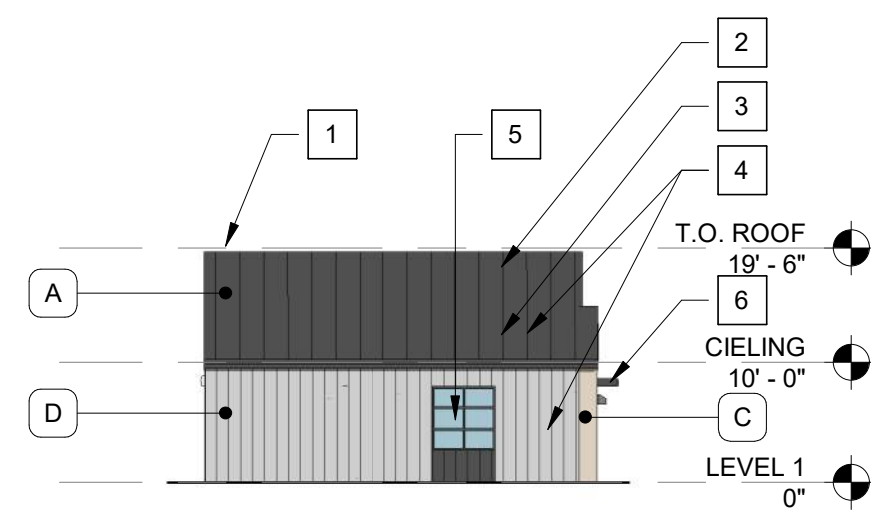
1 LEVEL 3 - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"



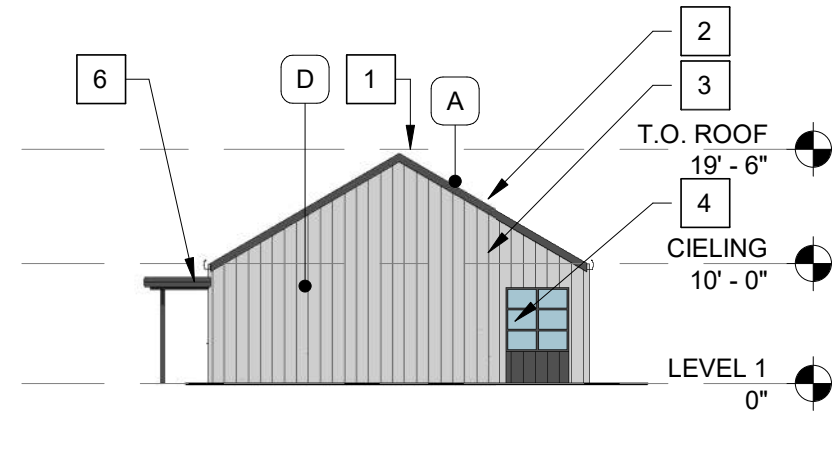
2 LEVEL 3 - OVERALL FLOOR PLAN - LEASING OFFICE
SCALE: 1/8" = 1'-0"



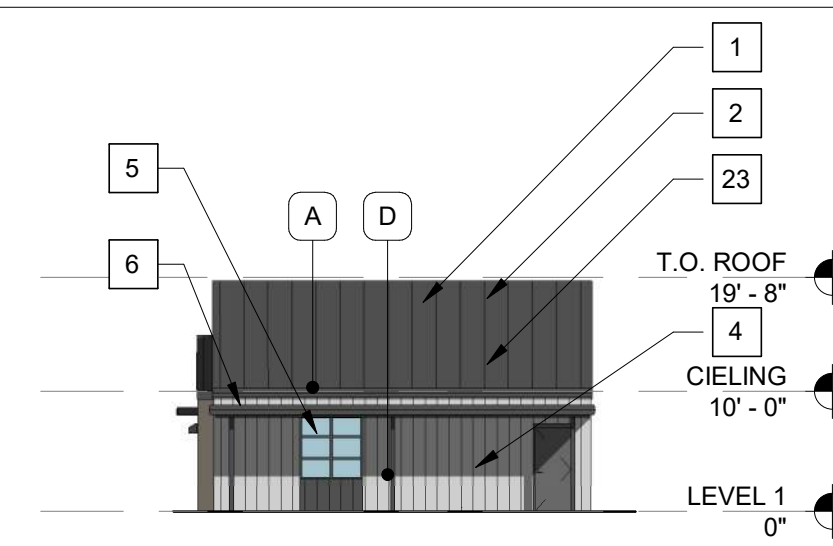
1 LEASING - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



11 LEASING - EAST ELEVATION
SCALE: 1/16" = 1'-0"



13 LEASING - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



12 LEASING - WEST ELEVATION
SCALE: 1/16" = 1'-0"



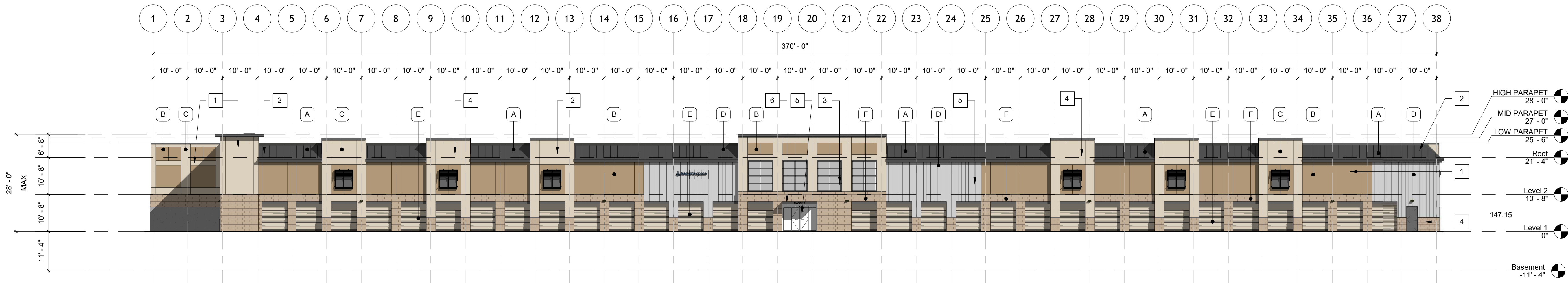
RETAINING WALL - EAST ELEVATION

KEYNOTES

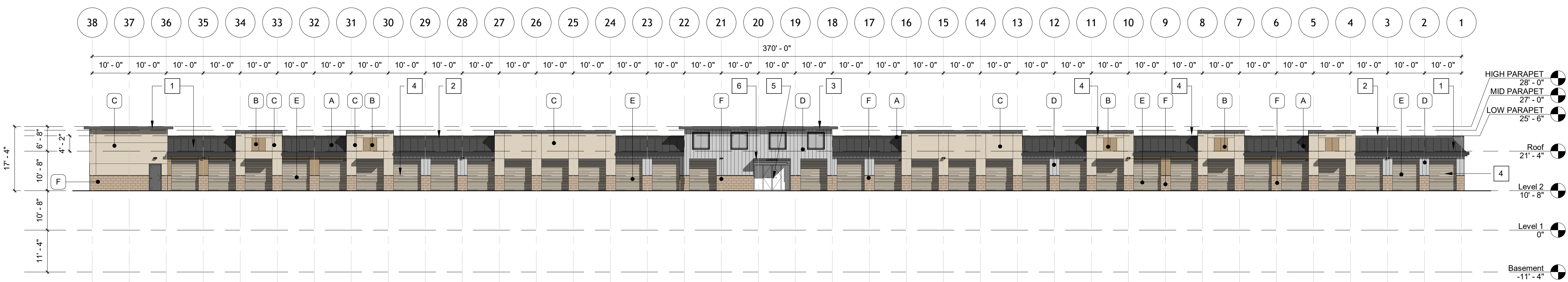
- 1 BUILDING DESIGN COMPLIES WITH DESIGN GUIDELINE #1 BUILDING FORM.
- 2 ROOF DESIGN COMPLIES WITH DESIGN GUIDELINE #3 ROOF FORMS AND PLAN OFFSETS FROM ARCHITECTURAL CHARACTER.
- 3 STORAGE AND LEASING OFFICE COMPLIES WITH DESIGN GUIDELINE #3 MULTI-BUILDING PROJECTS.
- 4 MATERIAL SELECTION COMPLIES WITH DESIGN GUIDELINE #4 BUILDING MATERIALS, TEXTURE AND COLOR.
- 5 ENTRANCE AND GLAZING COMPLIES WITH DESIGN GUIDELINE #5 ENTRANCE AND WINDOW OPENINGS.
- 6 CANOPY COMPLIES WITH DESIGN GUIDELINE #6 EXTERIOR SPACES.
- 7 WALL PACKS- SEE LIGHTING PLAN.

LEGEND

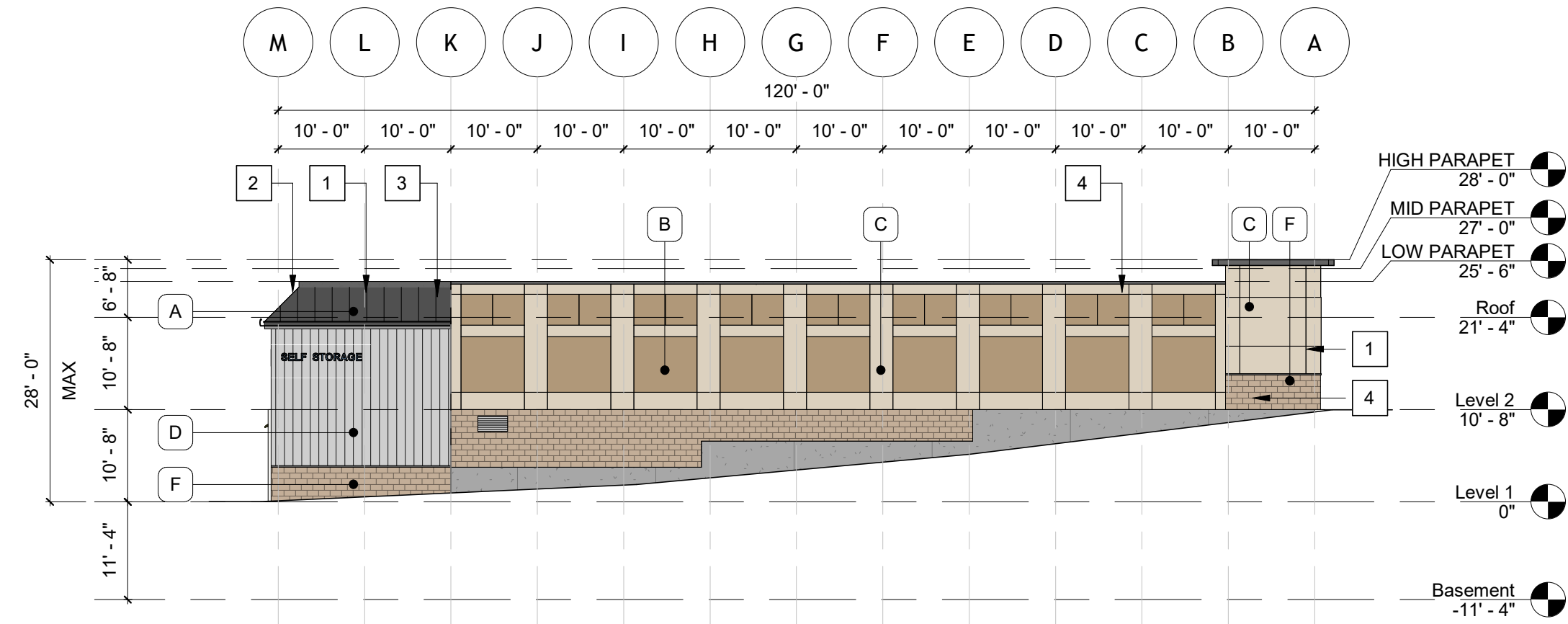
- A METAL ROOF: WEATHERED ZINC
- B DARK TAN: SHERWIN WILLIAMS SW7540 "ARTISAN TAN"
- C LIGHT TAN: SHERWIN WILLIAMS SW7531 "CANVAS TAN"
- D METAL PANEL: SILVER SMITH
- E DOORS (TAN): JANUS STANDARD COLORS "LIGHT STONE"
- F CMU 1- SPLIT FACE - TAN: ANGELLUS BLOCK CO. "SANDSTONE"
- G GEOHOLD PRO - RETAINING WALL: BELGRADE "TAN"



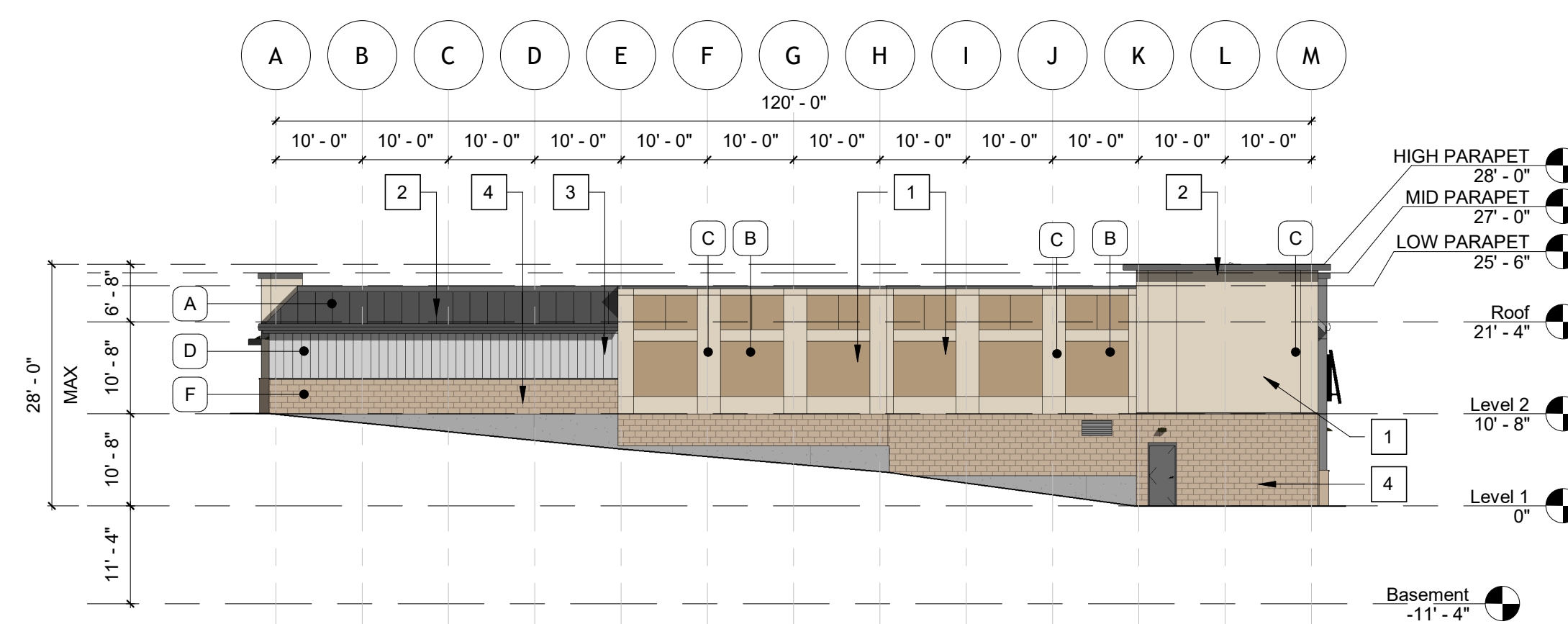
2 OVERALL BUILDING ELEVATION - PROJECT EAST
SCALE: 1/16" = 1'-0"



3 OVERALL BUILDING ELEVATION - PROJECT WEST
SCALE: 1/16" = 1'-0"



10 OVERALL BUILDING ELEVATION - PROJECT NORTH
SCALE: 1/16" = 1'-0"



4 OVERALL BUILDING ELEVATION - PROJECT SOUTH
SCALE: 1/16" = 1'-0"

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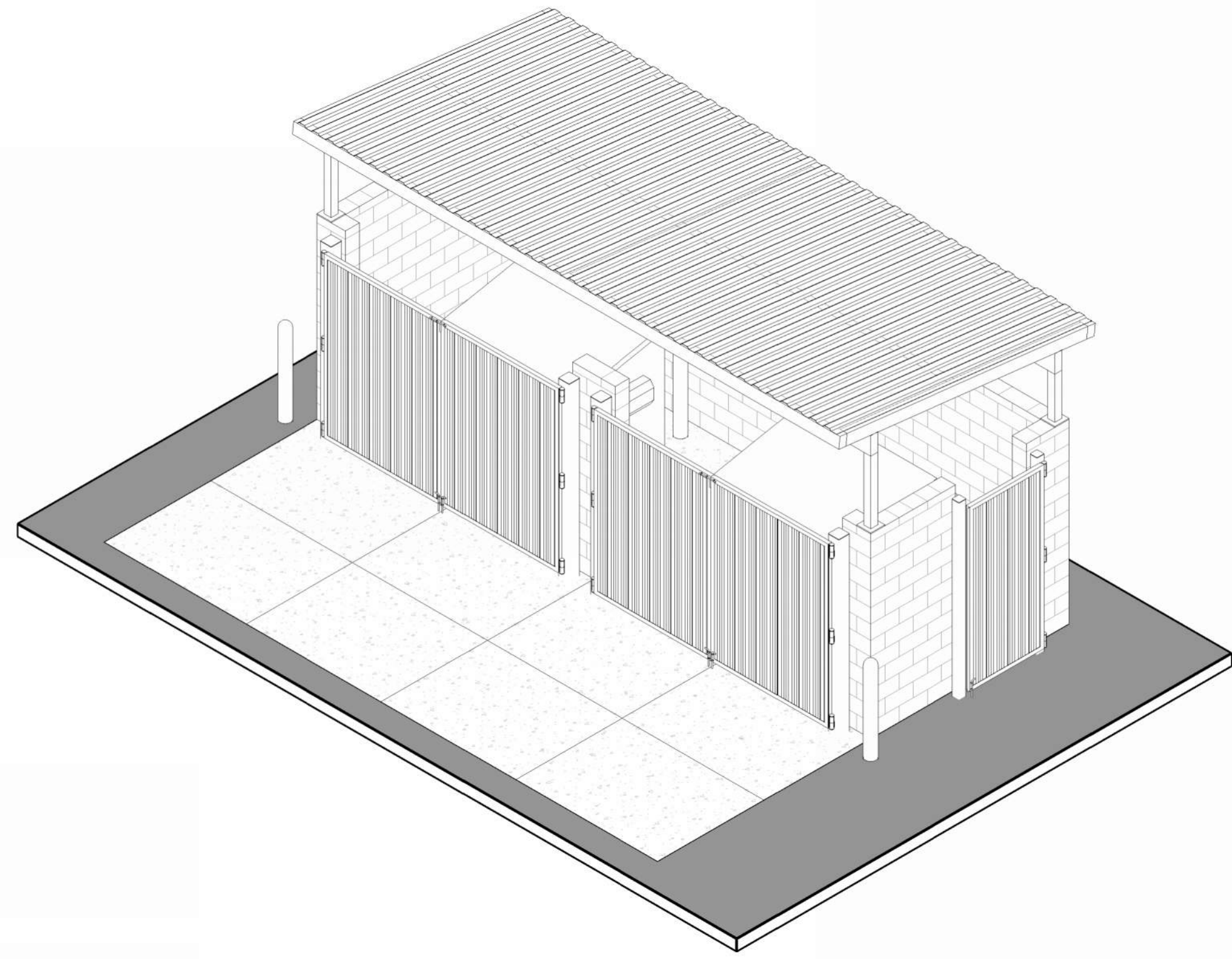
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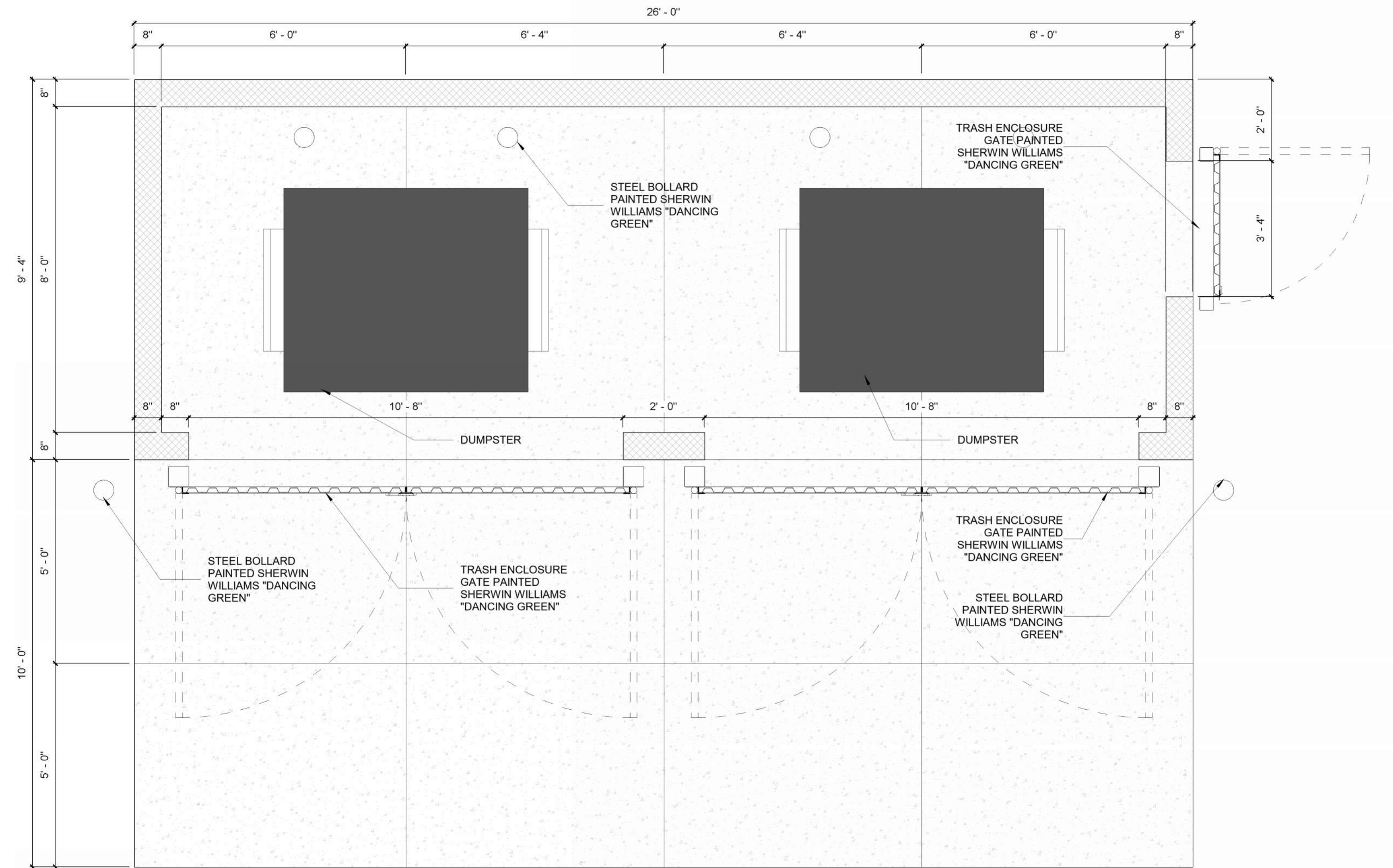
SECURE SPACE SELF STORAGE
5780 QUARRY RD, BONITA, CA
Schematic Design

OVERALL BUILDING ELEVATIONS
RECORD ID: PDS2021-MUP-21-009

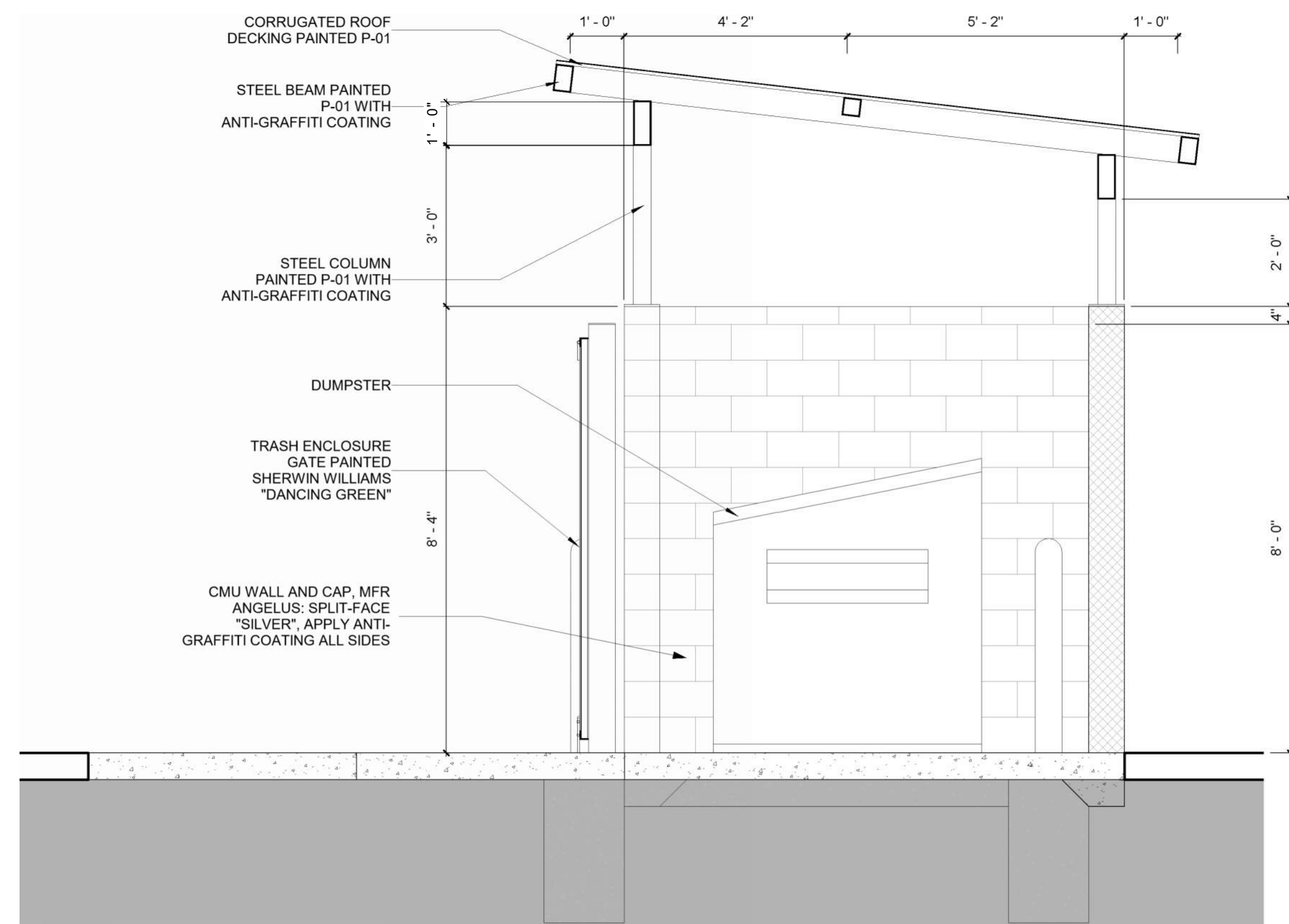
A401



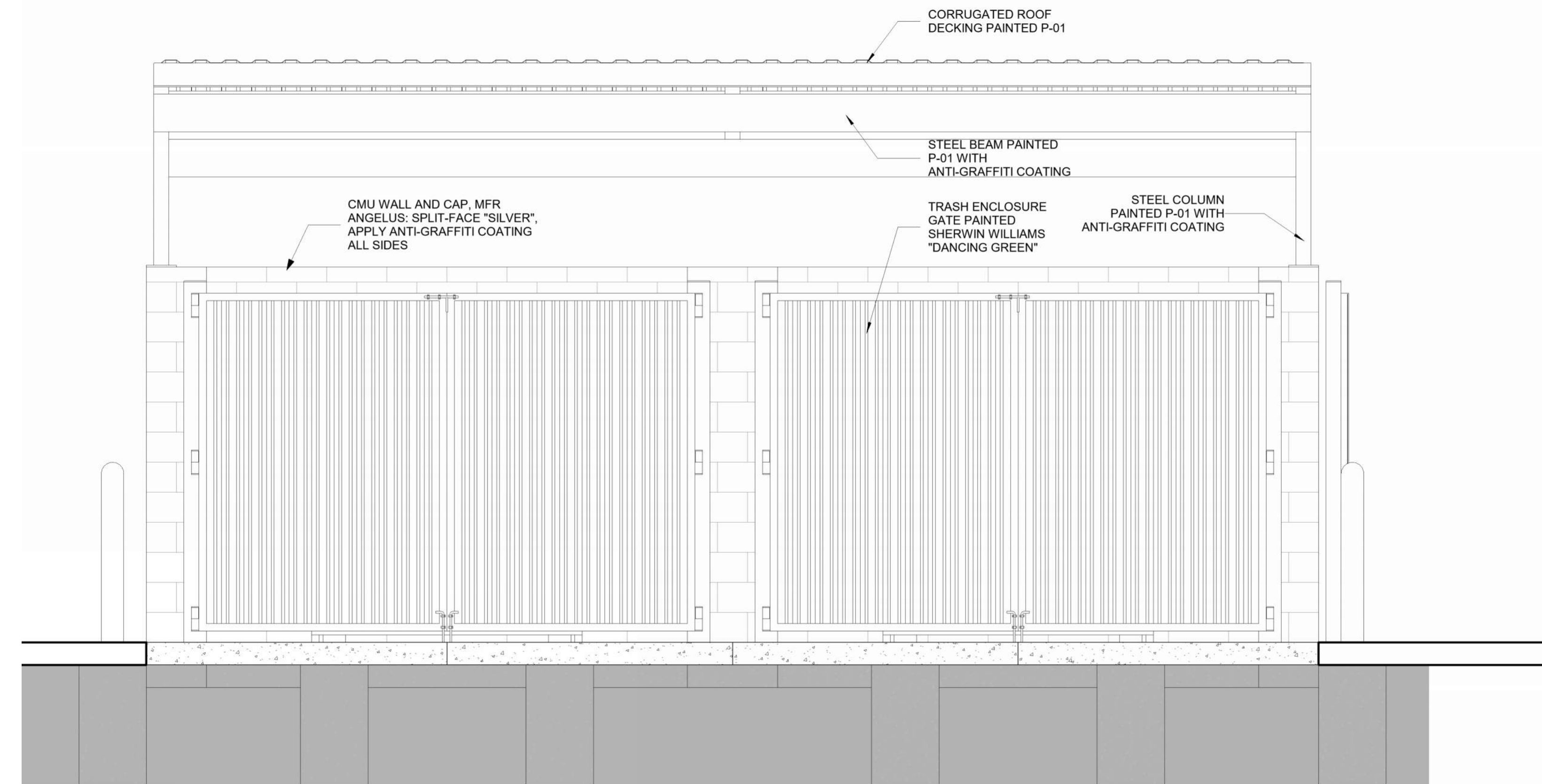
TRASH ENCLOSURE - 2 BAY - AXON



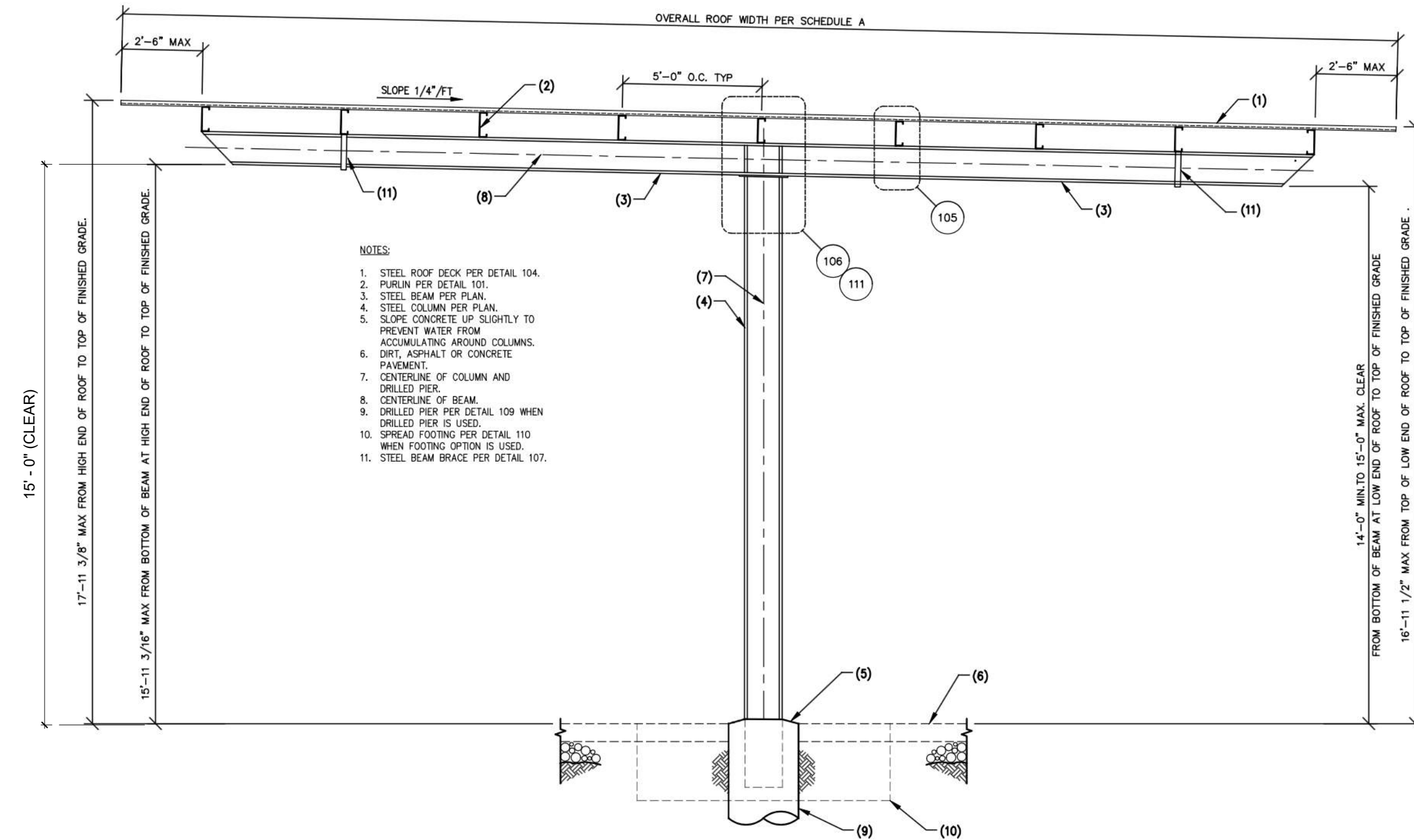
TRASH ENCLOSURE - 2 BAY - FLOOR PLAN



TRASH ENCLOSURE - 2 BAY - SECTION

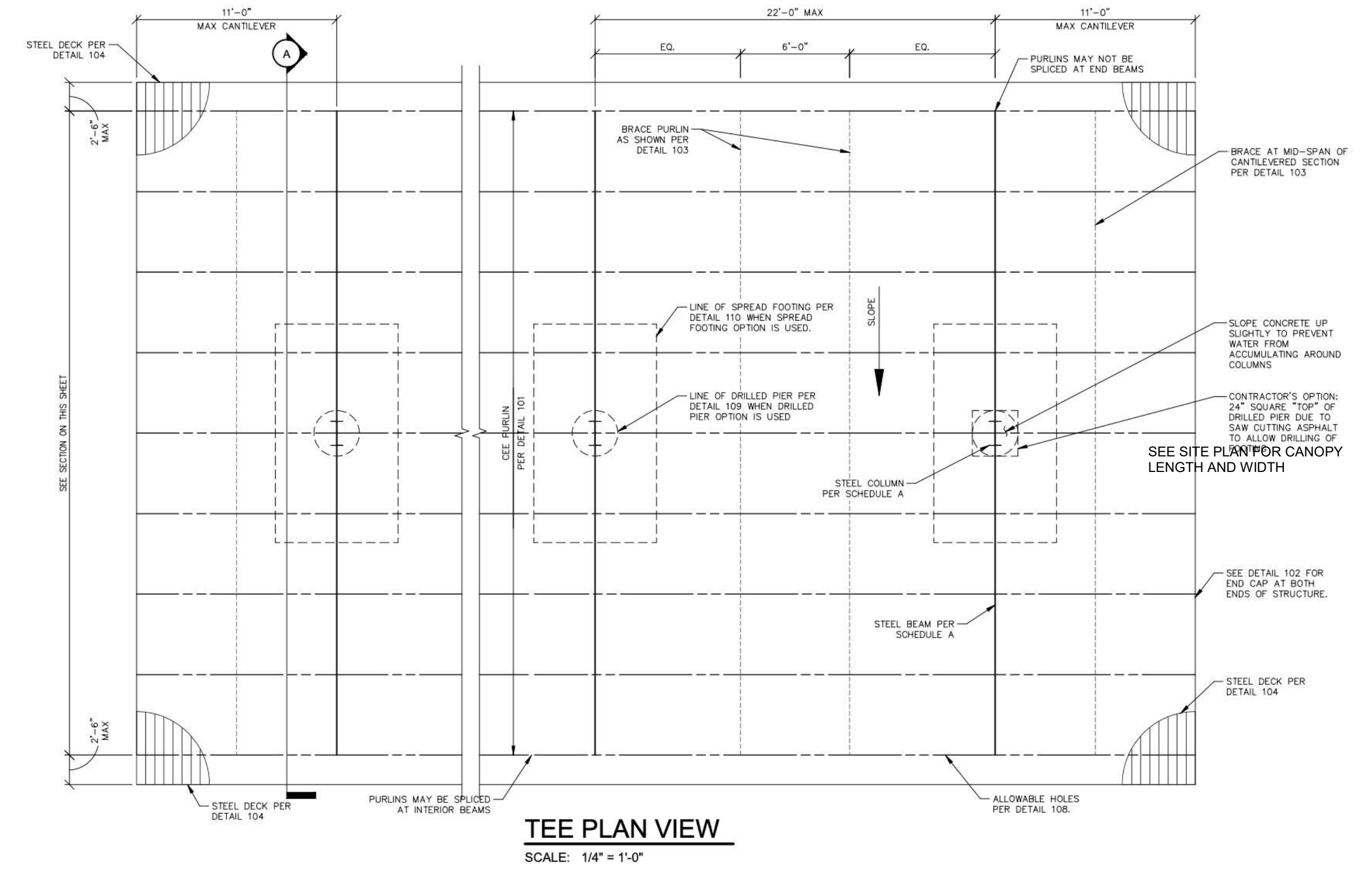


TRASH ENCLOSURE - 2 BAY - FRONT ELEVATION



A SECTION - TEE
SCALE: 3/8" = 1'-0"

RV Canopy Section



TEE PLAN VIEW
SCALE: 1/4" = 1'-0"

RV Canopy Floor Plan



RV Canopy Image 1

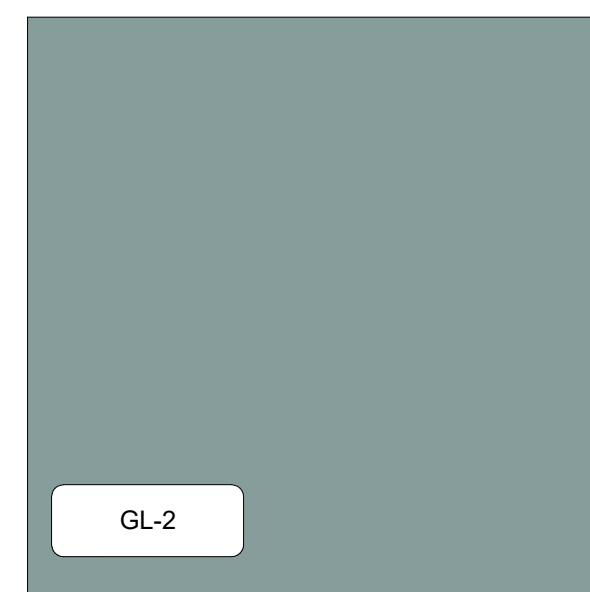
NOTE: IMAGE IS FOR REFERENCE ONLY.
SEE PLOT PLAN AND PHOTOMETRICS
FOR LIGHT PLACEMENT AND FIXTURES



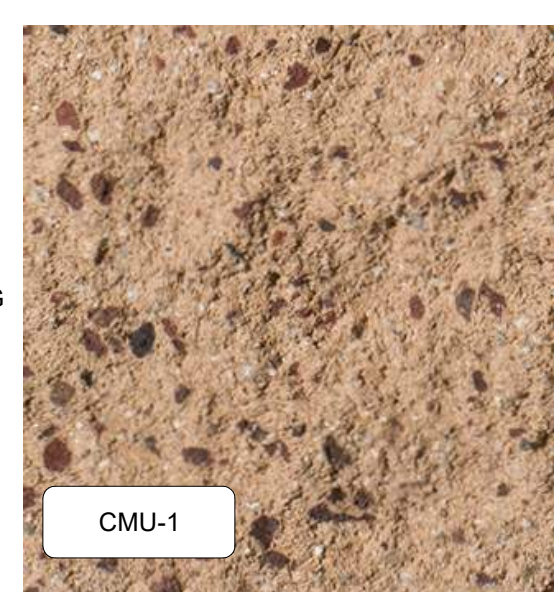
S-2 M-3 CMU-1 GL-2 MP-1 GL-1 GL-2 MP-2



VISION GLASS
OLDCASTLE 1" INSULATING
CLEAR



SPANDREL GLASS
VIRACON 1" VE 1-48 INSULATING
V652 'WARM GREY'



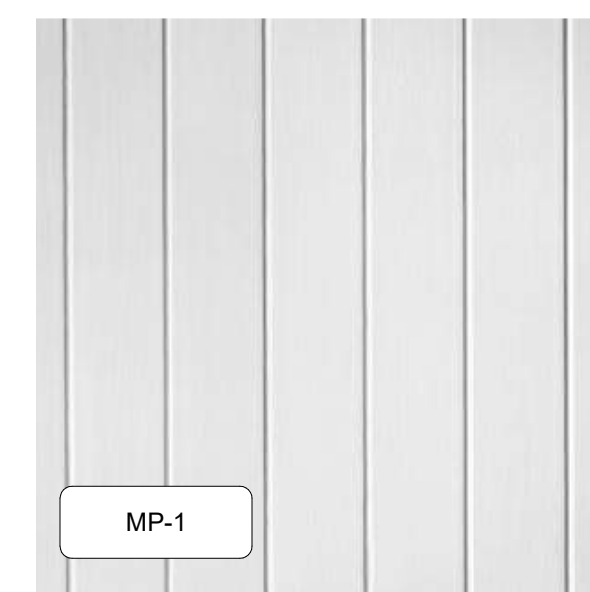
CONCRETE MASONRY BLOCK -
SPLITFACE
ANGELUS BLOCK COMPANY
'SANDSTONE'



STUCCO - FINE SAND FINISH
SHERWIN WILLIAMS SW7540
'ARTISAN TAN'



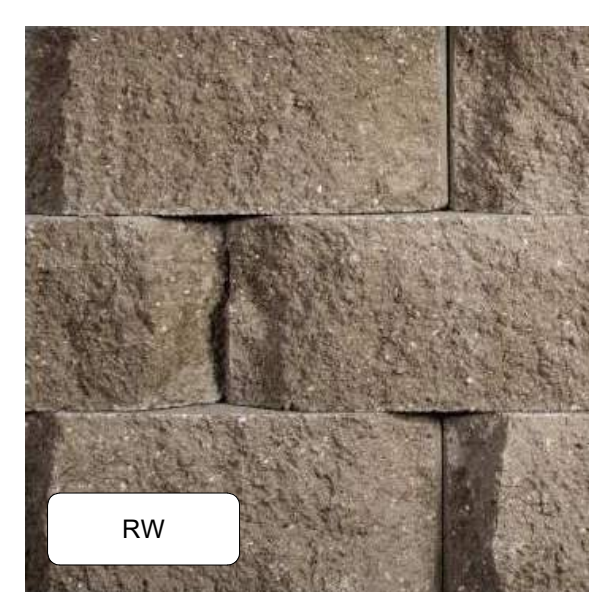
STUCCO - FINE SAND FINISH
SHERWIN WILLIAMS SW7531
'CANVAS TAN'



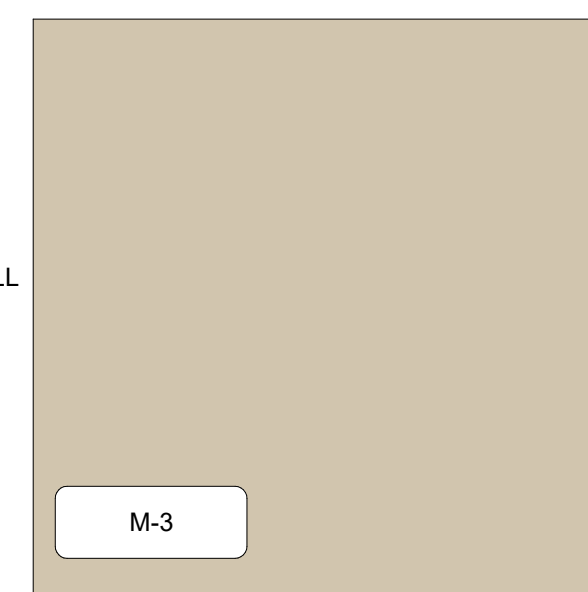
METAL PANEL
'SILVERSMITH'



METAL ROOF
'WEATHERED ZINC'



GEOHOLD PRO - RETAINING WALL
BELGRADE
'TAN'



JANUS ROLL UP
DOOR - 'LIGHSTONE'



GL-1

S-2

MP-1

GL-1



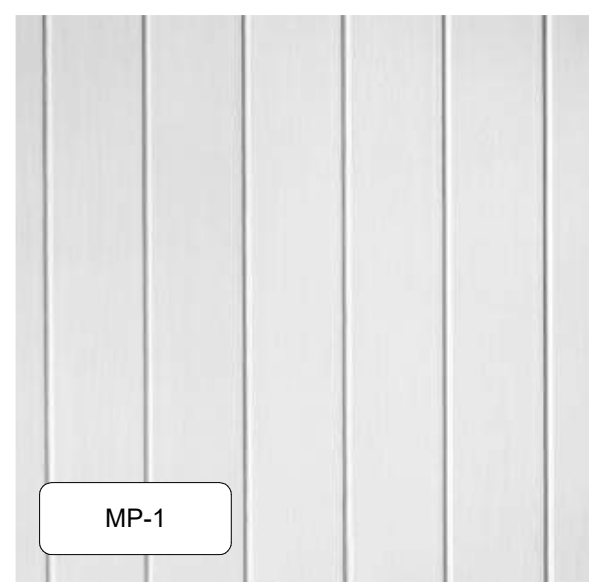
VISION GLASS
OLDCASTLE 1" INSULATING
CLEAR

GL-1



STUCCO - FINE SAND FINISH
SHERWIN WILLIAMS SW7531
'CANVAS TAN'

S-2



METAL PANEL
'SILVER SMITH'

MP-1



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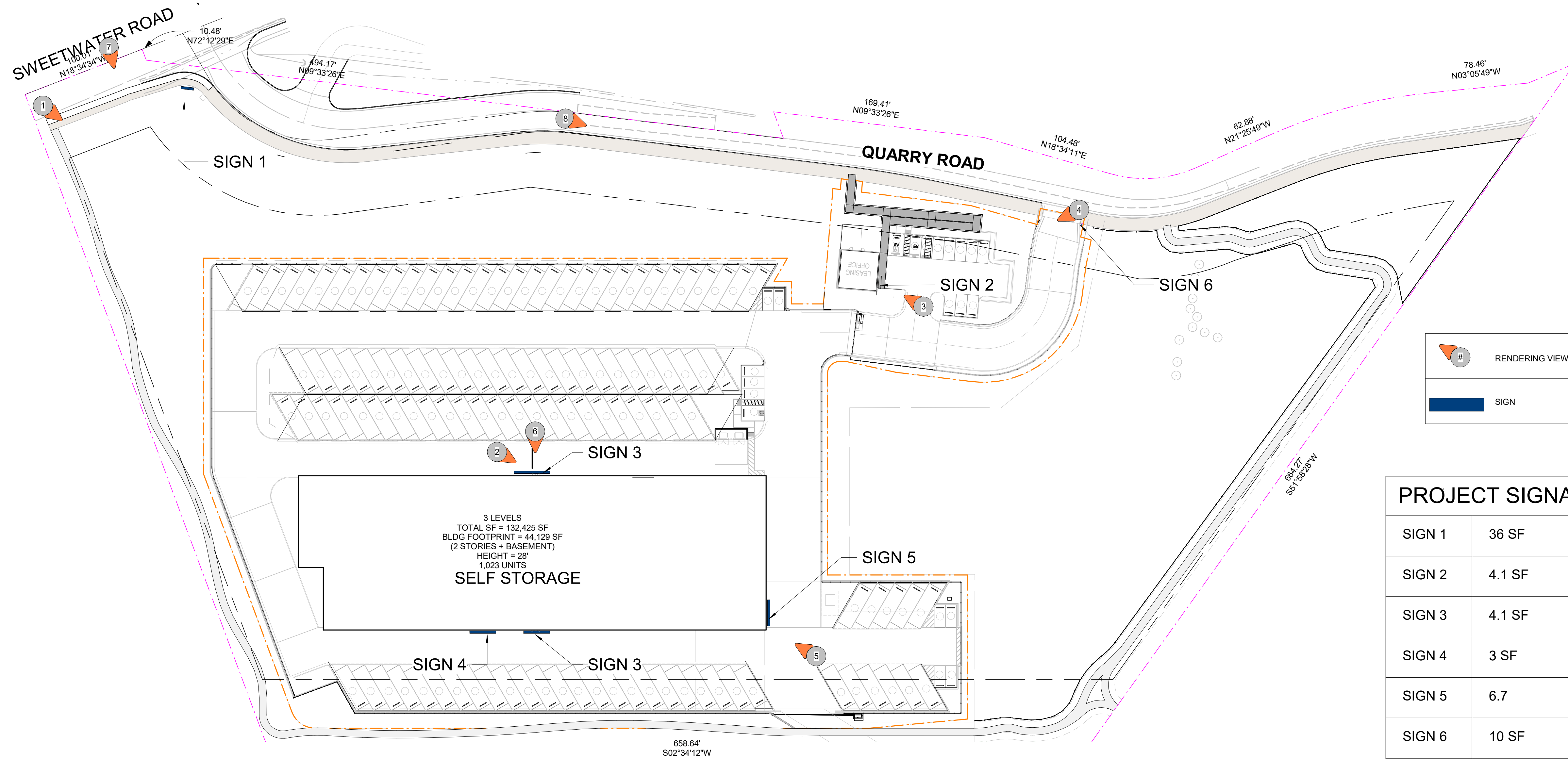
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SECURE SPACE SELF STORAGE
5780 QUARRY RD, BONITA, CA
Schematic Design

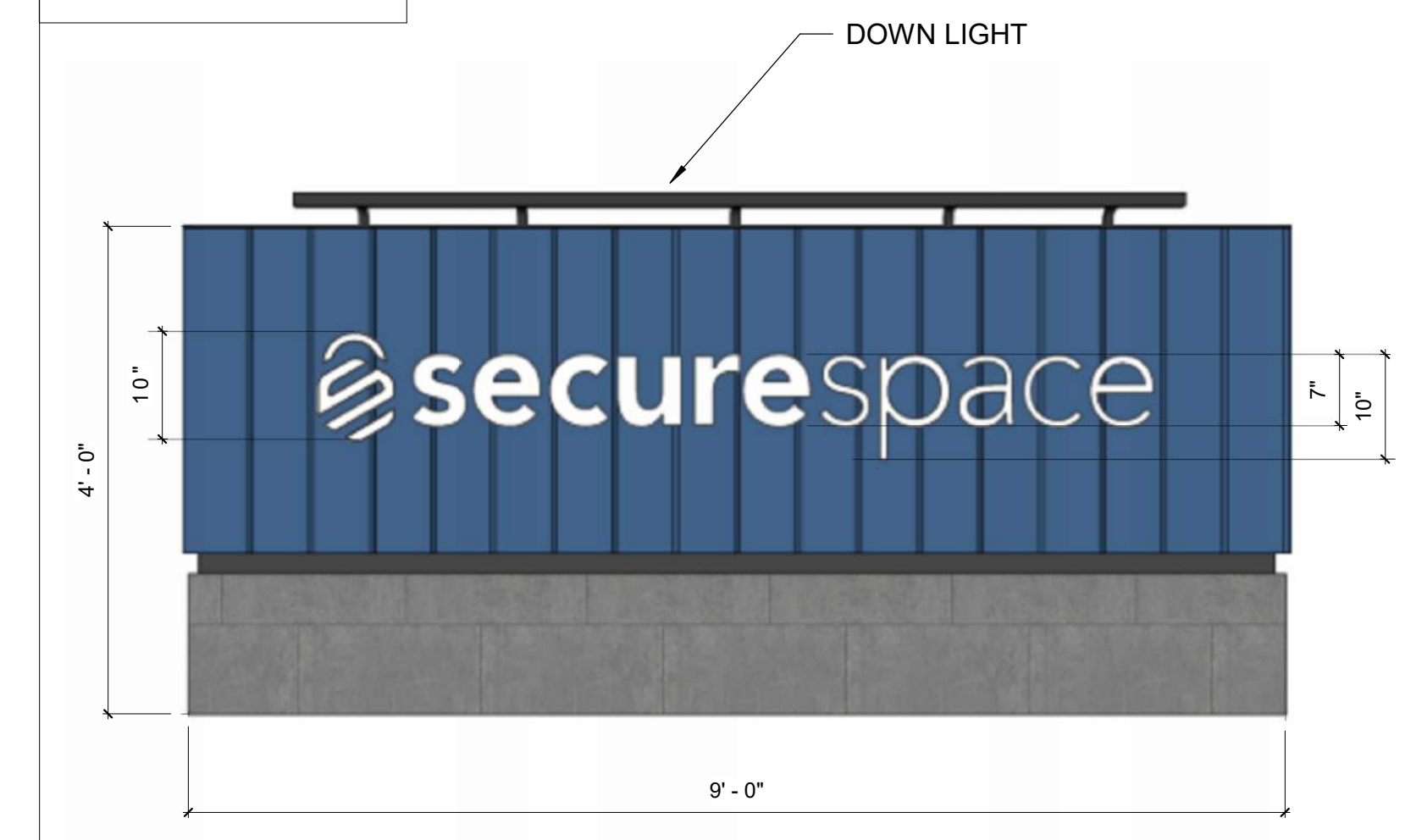
MATERIAL BOARD LEASING
RECORD ID: PDS2021-MUP-21-009

A902



1 OVERALL - PRELIMINARY SIGNAGE PLAN
SCALE: 1" = 50'-0"

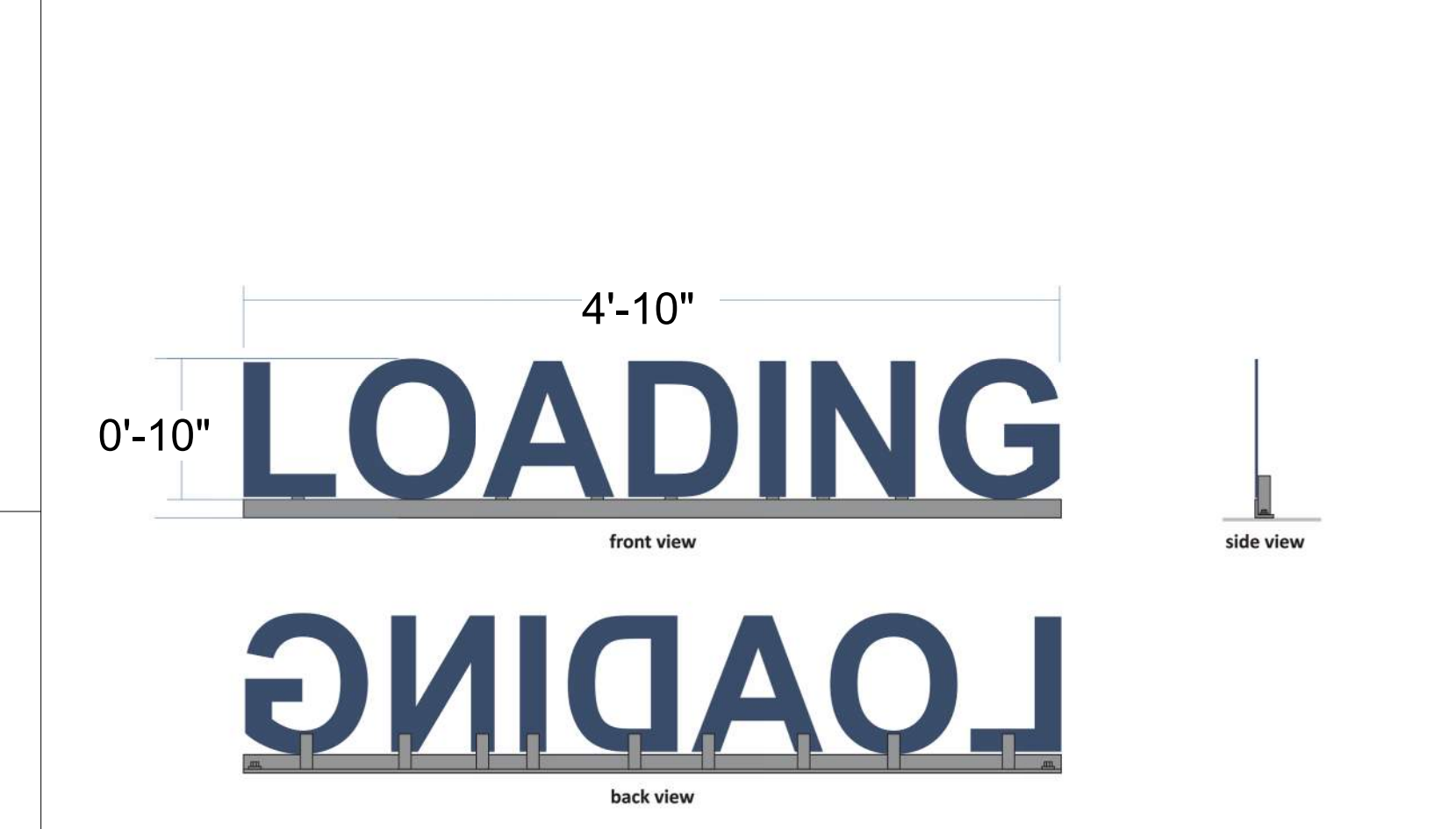
SIGN 1
SIGNAGE AREA: 36 SF
WIDTH: 9'-0"
HEIGHT: 4'-0"



SIGN 2
SIGNAGE AREA: 4.1 SF
WIDTH: 4'-10"
HEIGHT: 10"

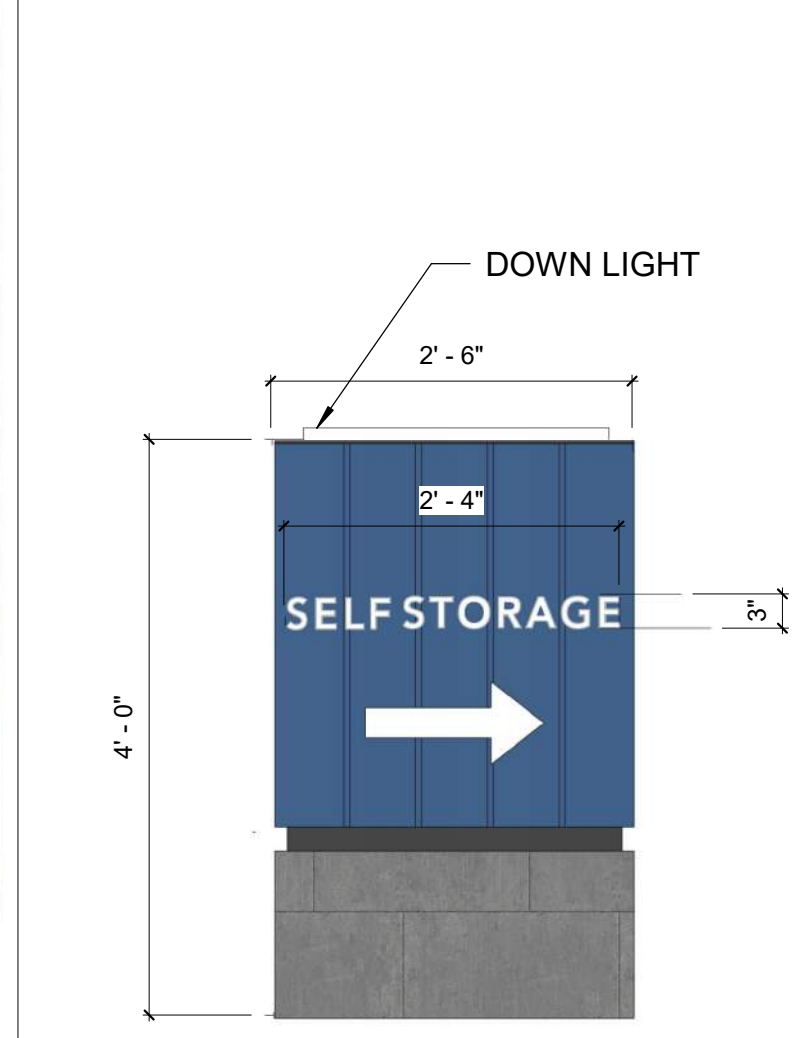


SIGN 3
SIGNAGE AREA: 4.1 SF
WIDTH: 4'-10"
HEIGHT: 10"

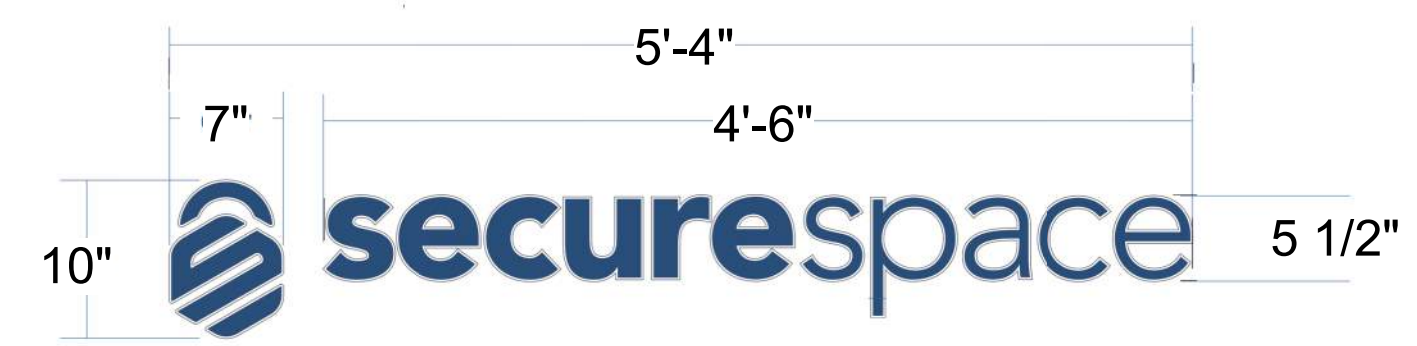


WAYFINDING SIGN

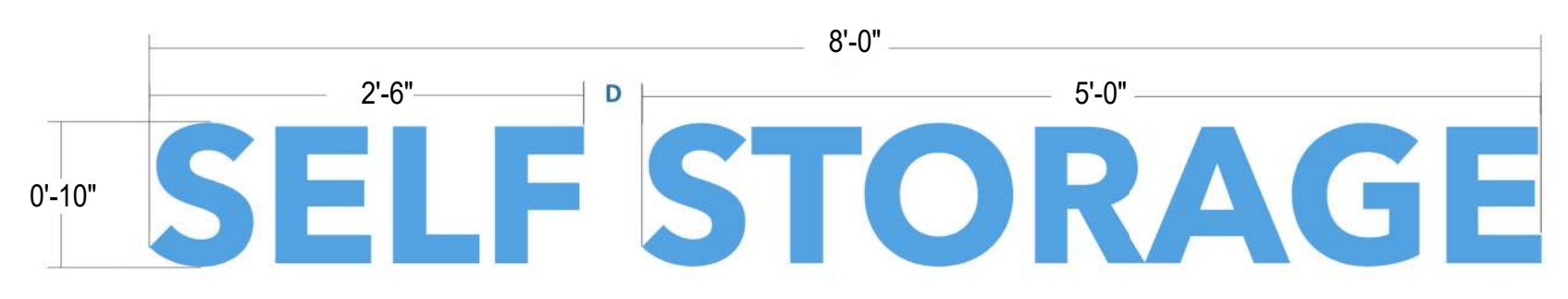
SIGN 6
SIGNAGE AREA: 10 SF
WIDTH: 2'-6"
HEIGHT: 4'-0"



SIGN 4
SIGNAGE AREA: 3 SF
WIDTH: 5'-4"
HEIGHT: 10"



SIGN 5
SIGNAGE AREA: 6.7 SF
WIDTH: 8'-0"
HEIGHT: 0'-10"





PROJECT RENDERING 1



PROJECT RENDERING 2



PROJECT RENDERING 3



PROJECT RENDERING 4



PROJECT RENDERING 5



PROJECT RENDERING 6



PROJECT RENDERING 7



PROJECT RENDERING 8



PROJECT RENDERING 3 - NIGHT



PROJECT RENDERING 4 - NIGHT



PROJECT RENDERING 5 - NIGHT



PROJECT RENDERING 6 - NIGHT



PROJECT RENDERING 9 -NE AXON



PROJECT RENDERING 10 -SE AXON



PROJECT RENDERING 9 -SW AXON



PROJECT RENDERING 9 -NW AXON



NE AXON - NIGHT VIEW



SE AXON - NIGHT VIEW

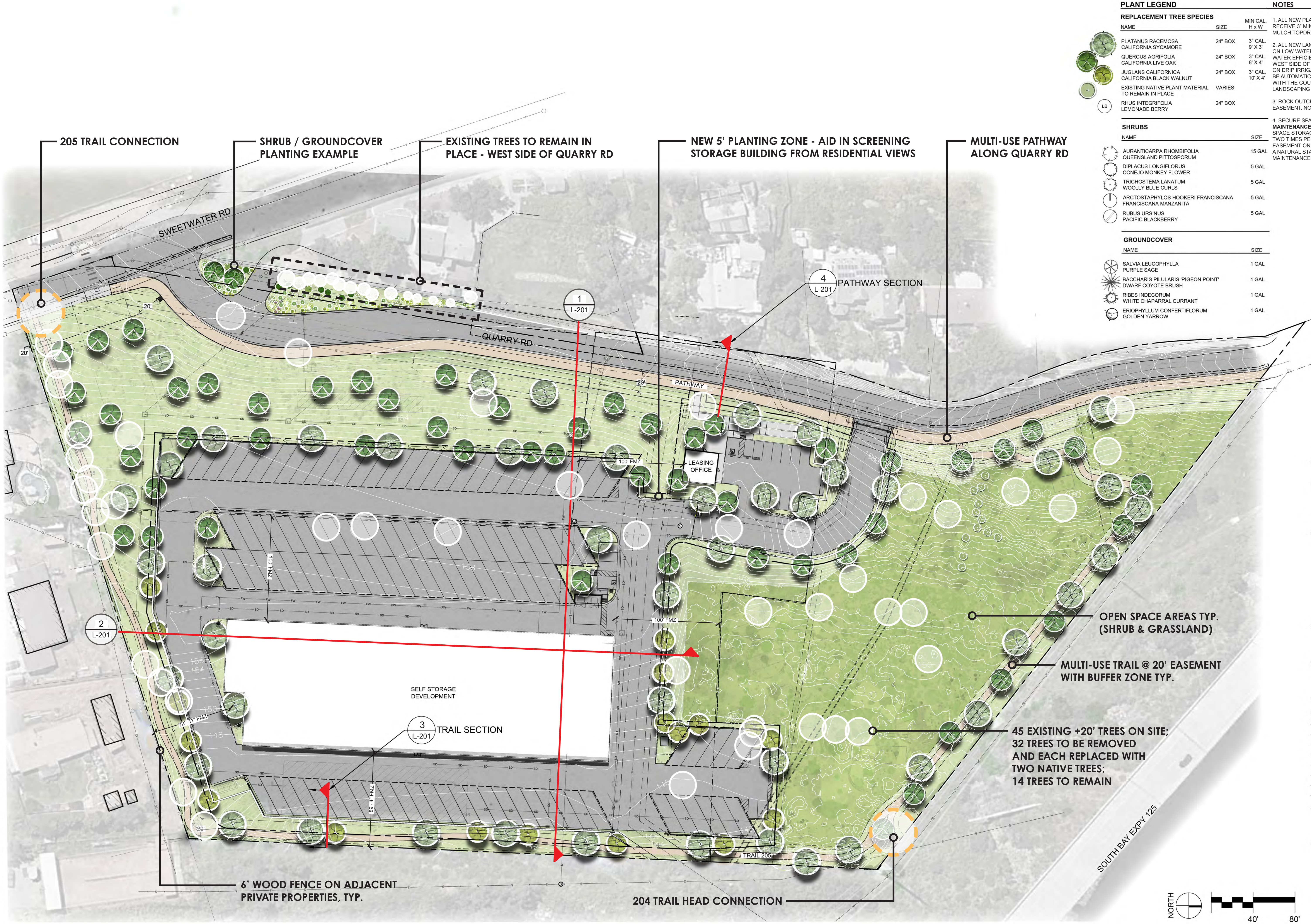


SW AXON - NIGHT VIEW



NW AXON - NIGHT VIEW

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PLANT LEGEND		NOTES
REPLACEMENT TREE SPECIES		
NAME	SIZE	MIN CAL H x W
PLATANUS RACEMOSA	24" BOX	3" CAL 9' X 3"
CALIFORNIA SYCAMORE		
QUERCUS AGRIFOLIA	24" BOX	3" CAL 8' X 4"
CALIFORNIA LIVE OAK		
JUGLANS CALIFORNICA	24" BOX	3" CAL 10' X 4"
CALIFORNIA BLACK WALNUT		
EXISTING NATIVE PLANT MATERIAL TO REMAIN IN PLACE	VARIES	
RHUS INTEGRIFOLIA	24" BOX	
LEMONADE BERRY		
SHRUBS		
NAME	SIZE	
AURANTICARPA RHOMBIFOLIA	15 GAL	
QUEENSLAND PITTOSPORUM		
DIPLACUS LONGIFLORUS	5 GAL	
CONEJO MONKEY FLOWER		
TRICHOSTEMA LANATUM	5 GAL	
WOOLLY BLUE CURLS		
ARCTOSTAPHYLOS HOOKERI FRANCISCANA	5 GAL	
FRANCISCANA MANZANITA		
RUBUS URSINUS	5 GAL	
PACIFIC BLACKBERRY		
GROUNDCOVER		
NAME	SIZE	
SALVIA LEUCOPHYLLA	1 GAL	
PURPLE SAGE		
BACCHARIS PILULARIS 'PIGEON POINT'	1 GAL	
DWARF COYOTE BRUSH		
RIBES INDECORUM	1 GAL	
WHITE CHAPARRAL CURRANT		
ERIOPHYLLUM CONFERTIFLORUM	1 GAL	
GOLDEN YARROW		

1. ALL NEW PLANTING / LANDSCAPE AREAS TO RECEIVE 3" MINIMUM OF ORGANIC STABILIZING MULCH TOPDRESS
2. ALL NEW LANDSCAPE AREAS ARE TO BE PLACED ON LOW WATER USE DRIP IRRIGATION TO ENSURE WATER EFFICIENCY. ALL REMAIN IN PLACE TREES ON WEST SIDE OF QUARRY ROAD WILL ALSO BE PLACED ON DRIP IRRIGATION SYSTEM. ALL IRRIGATION SHALL BE AUTOMATICALLY CONTROLLED AND COMPLIANT WITH THE COUNTY'S WATER CONSERVATION AND LANDSCAPING ORDINANCE
3. ROCK OUTCROP WILL BE LEFT IN CONSERVATION EASEMENT. NO INDIGENOUS EXISTING TREES ON SITE
4. SECURE SPACE STORAGE TO PROVIDE LANDSCAPE MAINTENANCE WITHIN THE MUP BOUNDARY. SECURE SPACE STORAGE TO PROVIDE TRAIL MAINTENANCE TWO TIMES PER YEAR FOR TRAIL 205. CONSERVATION EASEMENT ON PRIVATE PROPERTY WILL BE LEFT IN A NATURAL STATE WITH NO REGULAR LANDSCAPE MAINTENANCE

The Green Room
Landscape Architecture

E: studio@tgrla.com 3002 N. 3RD STREET
P: 480.795.4754 PHOENIX, ARIZONA
www.tgrla.com 85012 - 3002

SECURE SPACE

21028
DRAWN BY: ABILA
CHECKED BY: MT

5780-5790 QUARRY RD
BONITA, CA 91902

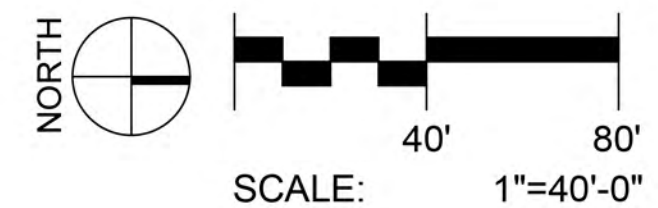
INSITE PROPERTY GROUP
E: xxx@xxx.com
P: xxx.xxx.xxxx

SUBMITTALS	
PHASE/SUBMITTAL	DATE
PDS2021-MUP-21-009	

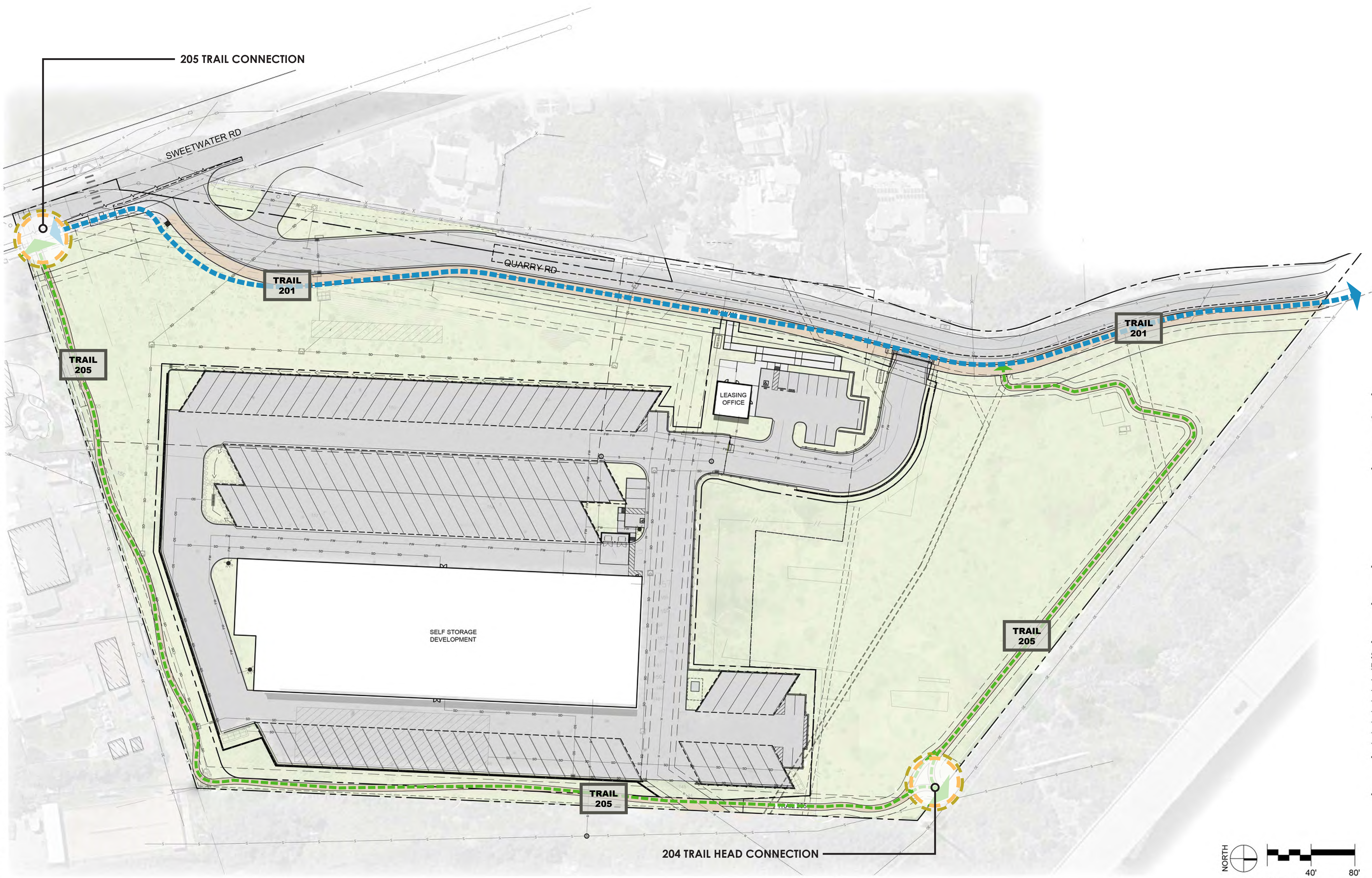
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DESIGN REVIEW

LANDSCAPE PLAN

L-101



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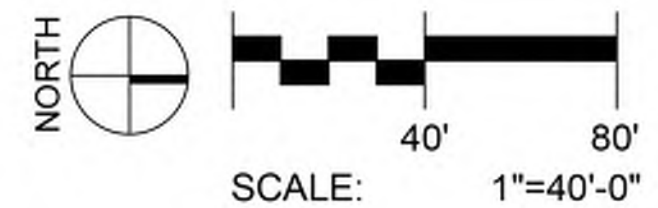
SUBMITTALS

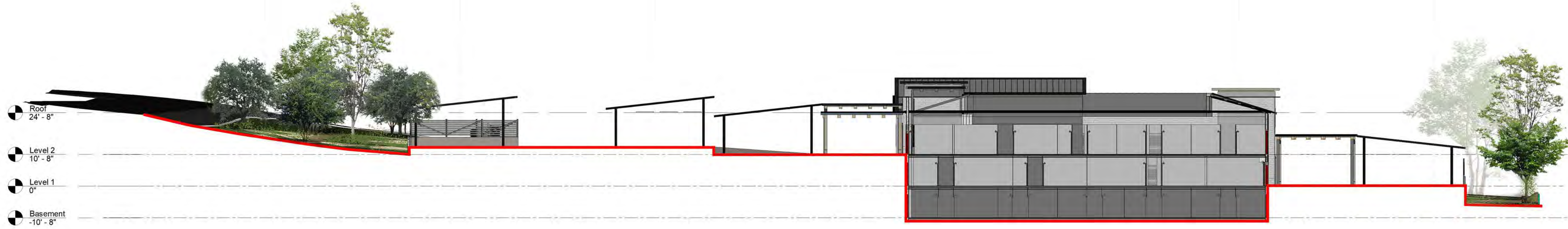
PHASE/SUBMITTAL	DATE
PDS2021-MUP-21-009	

ISSUED FOR:
DESIGN REVIEW

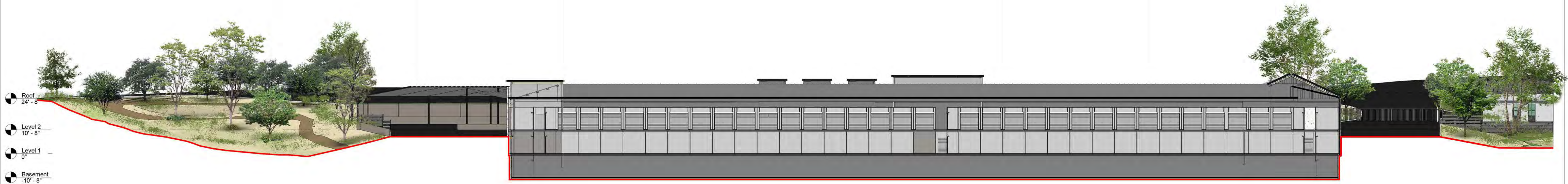
TRAIL EXHIBIT

L-102

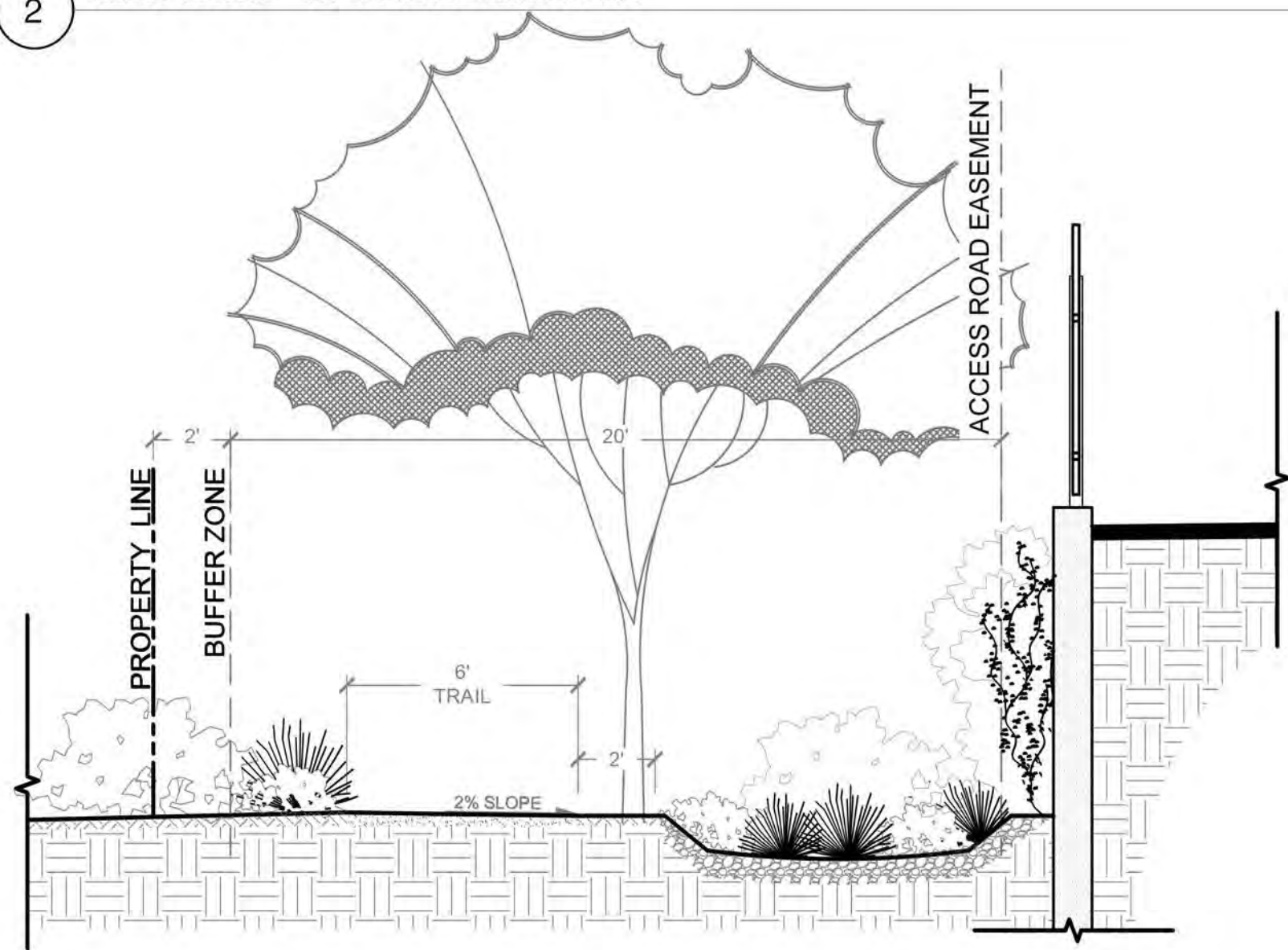




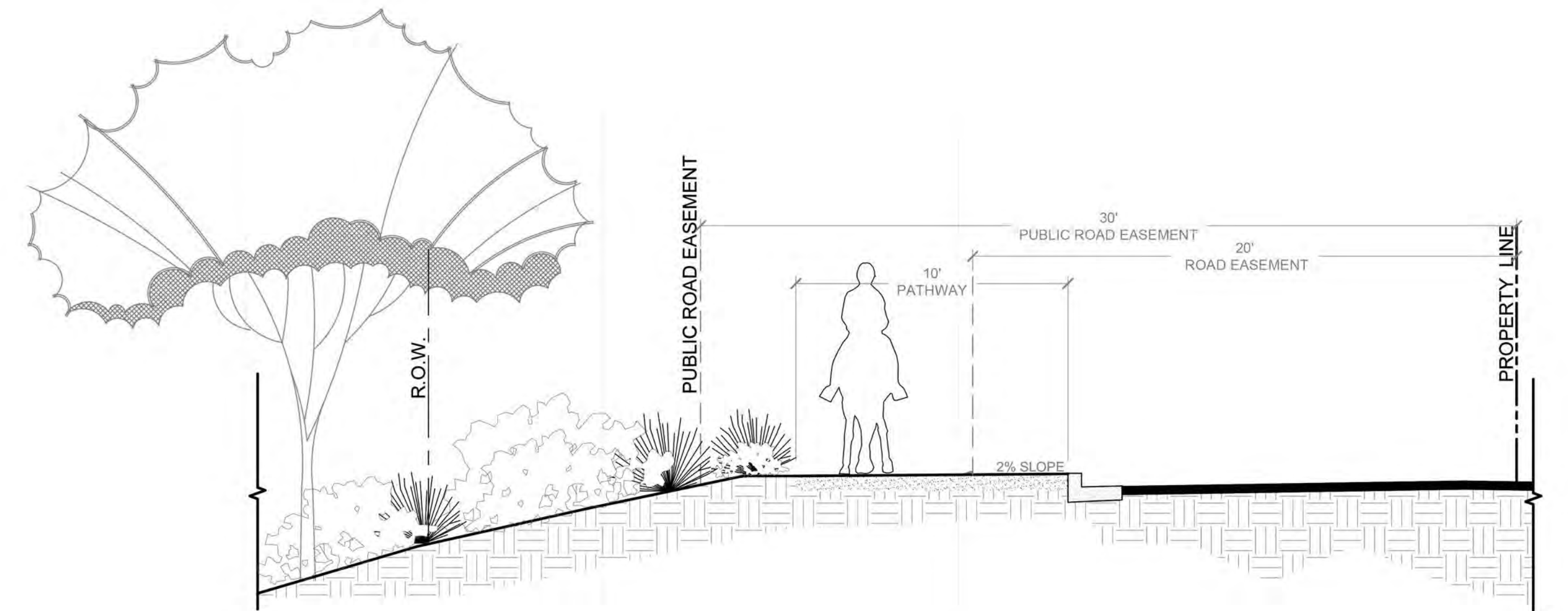
1 SECTION - 10 YEAR GROWTH



2 SECTION - 10 YEAR GROWTH



3 RURAL TRAIL 205 SECTION - 5 YEAR GROWTH
SCALE: 1/4"=1'-0"



4 PATHWAY @ QUARRY ROAD - 5 YEAR GROWTH
SCALE: 1/4"=1'-0"



○ EAST ELEVATION - 10 YEAR GROWTH



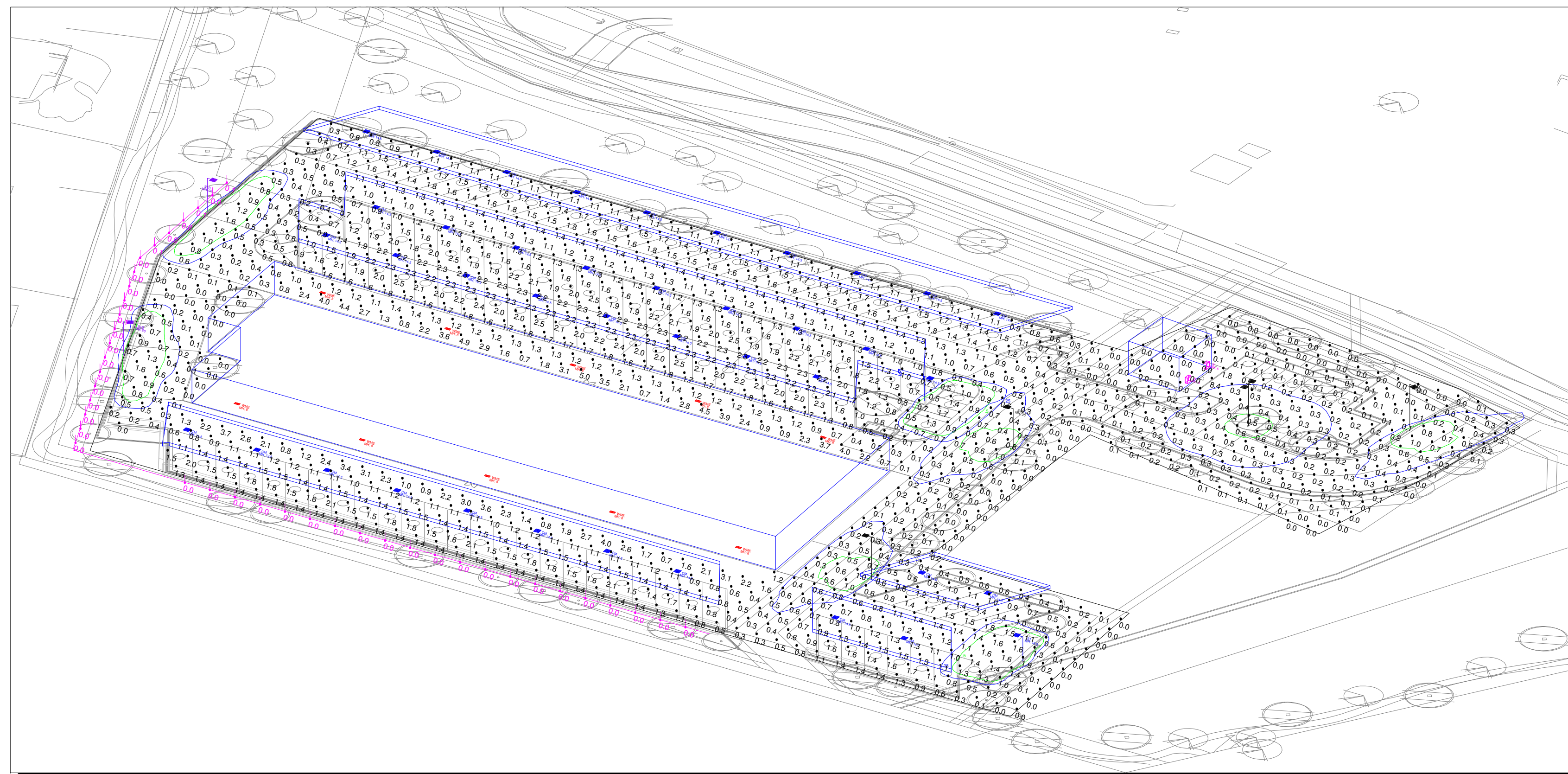
○ SOUTH-EAST ELEVATION - 10 YEAR GROWTH



WEST ELEVATION - 10 YEAR GROWTH
SCALE:



NORTH-EAST ELEVATION - 10 YEAR GROWTH
SCALE:



NLS LIGHTING NV-1-ASA AREA LIGHTING

FORM AND FUNCTION

- Low profile, minimalist design
- Available in multiple finishes and colors
- Available in multiple sizes and configurations
- Available in multiple mounting options
- Available in multiple beam patterns

CONSTRUCTION

- 100% Recycled Aluminum
- One-piece extruded aluminum profile
- Precision-machined components
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

FINISH

- 100% Recycled Aluminum
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

LED LIGHTS

- Cree LED
- 3000K, 4000K, 5000K
- 100lm/W
- 50,000 hours
- 0.05% failure rate

WARRANTY

5-year warranty for labor and parts

NLS LIGHTING NV-W WIDE PERFORMANCE FULL CUT OFF WALL PACK

FORM AND FUNCTION

- Wide performance full cut off wall pack
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

CONSTRUCTION

- 100% Recycled Aluminum
- One-piece extruded aluminum profile
- Precision-machined components
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

FINISH

- 100% Recycled Aluminum
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

LED LIGHTS

- Cree LED
- 3000K, 4000K, 5000K
- 100lm/W
- 50,000 hours
- 0.05% failure rate

WARRANTY

5-year warranty for labor and parts

NLS LIGHTING VSS-S-CM CEILING MOUNTED LIGHTING

FORM AND FUNCTION

- Ceiling mounted lighting
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

CONSTRUCTION

- 100% Recycled Aluminum
- One-piece extruded aluminum profile
- Precision-machined components
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

FINISH

- 100% Recycled Aluminum
- Available in multiple finishes and colors
- Available in multiple mounting options
- Available in multiple beam patterns

LED LIGHTS

- Cree LED
- 3000K, 4000K, 5000K
- 100lm/W
- 50,000 hours
- 0.05% failure rate

WARRANTY

5-year warranty for labor and parts

SUMMARY TABLES:

ALL 16L-1mA FIXTURES DIAL DOWN TO 50W

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BORDER	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.
SITE CALCS	Illuminance	Fc	1.01	8.4	0.0	N.A.	N.A.

Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum Lumens	
	2	B	0.950	HRM-1-T4-16L-7-30K-WALL	36	2952	
	38	CM	0.950	VSS-S-T5-16L-7-30K-CANOPY	36	3972	
	2	S1	0.950	NV-1-T4-16L-1-30K7-HSS-SINGLE	50	3812	
	3	S1A	0.950	NV-1-T3-16L-1-30K7-HSS-SINGLE	50	3793	
	2	S1B	0.950	NV-1-T2-16L-1-30K7-HSS-SINGLE	50	3935	
	1	S2	0.950	NV-1-T5-16L-7-30K-TWIN	36	3996	
	10	WME	0.950	NV-W-T3-16L-53-30K-WALL EMERG @ 8FT	29	3793	

RENDERS:

