

# 426 PALM CANYON DRIVE PRELIMINARY GRADING PLAN

**GENERAL NOTES**

- ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF COUNTY GRADING ORDINANCE SECTION 87.101 THROUGH 87.804.
- IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
- A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
- REGARDLESS OF WHICH BMPs ARE IMPLEMENTED, ALL SLOPES OVER THREE FEET IN HEIGHT WILL BE PLANTED AND MAINTAINED WITH GROUND COVER OR OTHER PLANTING IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:  
  

SAN DIEGO GAS AND ELECTRIC	PHONE NUMBER:
AT&T TELEPHONE	(800) 411-7343
CATV (COX COMMUNICATIONS)	(800) 331-0500
SEWER (RMWD)	(760) 599-6060
WATER (RMWD)	(760) 789-1330
	(760) 789-1330
- A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL OVER 12" IN DEPTH. PDS FORM 73 MINOR GRADING CERTIFICATION AND A COPY OF THE COMPACTION REPORT IS REQUIRED TO BE SUBMITTED PRIOR TO ROUGH GRADING APPROVAL.
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY.
- ALL GRADING DETAILS SHALL BE IN CONFORMANCE WITH THE FOLLOWING SAN DIEGO COUNTY DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS:  
  

DS-08 LOT GRADING
DS-10 GRADING OF SLOPES
DS-11 REQUIRED SETBACKS
D-40 RIP RAP ENERGY DISSIPATER
D-75 DRAINAGE DITCH
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PUBLIC WORKS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED. ISSUANCE OF A GRADING PERMIT SHALL CONSTITUTE AN AUTHORIZATION TO PERFORM ONLY THAT WORK WHICH IS DESCRIBED OR SHOWN ON THE GRADING PERMIT APPLICATION AND APPROVED GRADING PLANS.
- THE DIRECTOR OF PUBLIC WORKS APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOIL IS MADE OR IMPLIED (SECTIONS 87.403 & 87.410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES (PDS).
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6:00PM EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ADJUTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE OR LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS:  
  

CUT--1 1/2: 1 FOR MINOR SLOPES (SLOPES < 15°); 2:1 FOR MAJOR SLOPES.
FILL--2:1
EXCAVATION: 1:1 C. Y. FILL: 1:1 C. Y. WASTE/IMPORT 0 C. Y.

(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR EITHER WASTE OR IMPORT AREAS BEFORE PERMIT TO BE ISSUED).
- SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
- PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT THE APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.
- A CONSTRUCTION PERMIT MUST BE OBTAINED FOR ANY WORK IN THE COUNTY ROAD RIGHT-OF-WAY. FUTURE DEVELOPMENT OF THIS PROPERTY MAY REQUIRE ADDITIONAL PERMITS AND REVIEW BY THE COUNTY OF SAN DIEGO.
- THE PROPERTY OWNER IS AWARE OF THE COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH POLICIES AND WILL OBTAIN DEH APPROVAL DURING BUILDING PERMIT PHASE.

**NOTE:**  
EARTHWORK QUANTITIES ARE ROUGH GRADING ESTIMATES ONLY. THEY DO NOT REFLECT ANY MATERIAL GENERATED BY UTILITY TRENCHING, BUILDING FOOTINGS, BASEMENTS, PRECISE GRADING, ETC. THE QUANTITIES SHOWN ARE INTENDED FOR USE IN ESTABLISHING GOVERNING AGENCY FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID PURPOSES. ANY EXPORT OR IMPORT REQUIRED SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



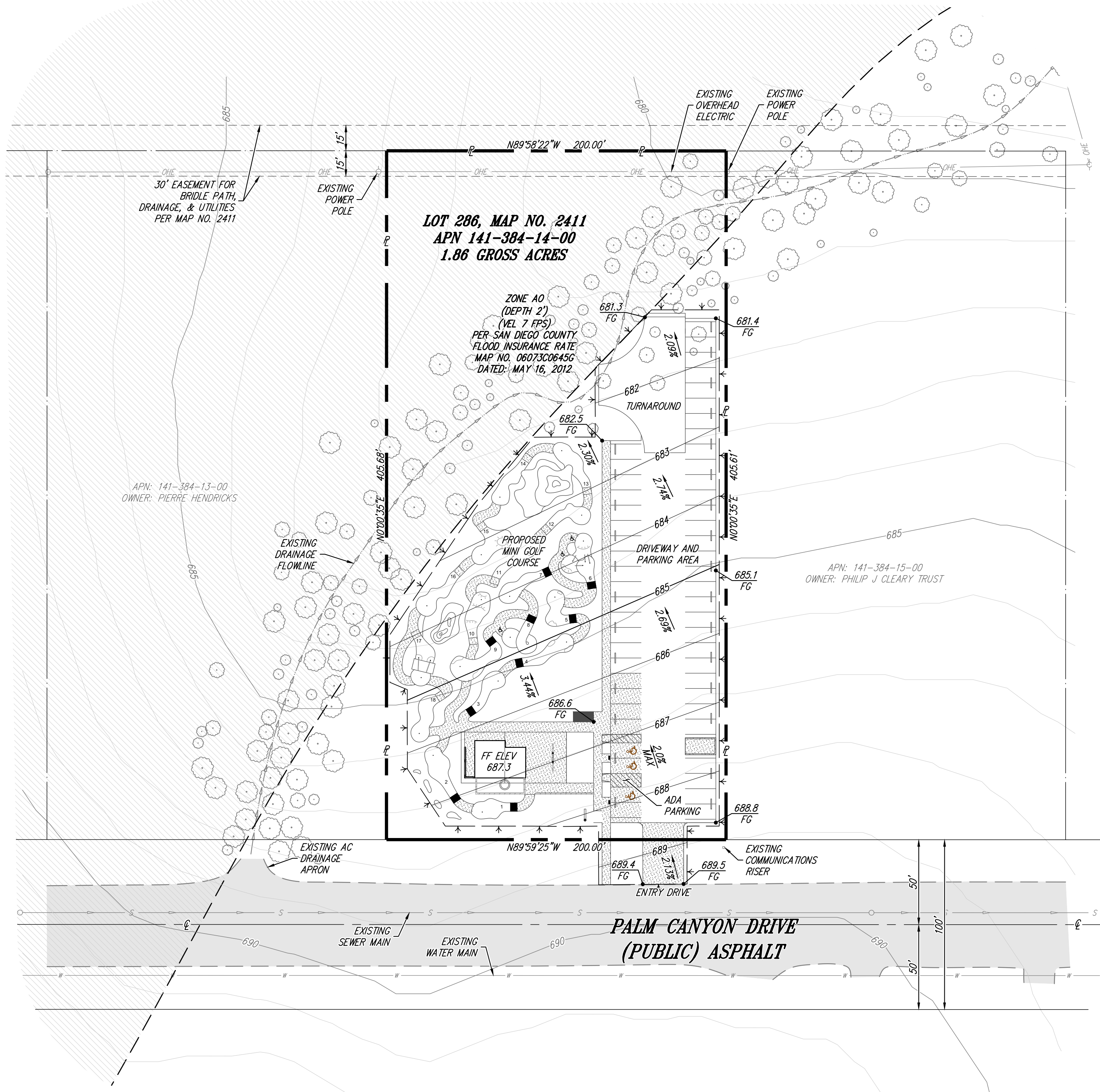
**GRADING PLAN CERTIFICATION**

I, CERTIFY THAT THE GRADING AS SHOWN ON THIS MINOR GRADING PLAN SATISFIES THE REQUIREMENTS OF THE COUNTY OF SAN DIEGO GRADING ORDINANCE.

BY: Paul Fisher DATE: \_\_\_\_\_  
 RCE NO.: 71549 EXPIRES: 12-31-23

THE COUNTY IS NOT RESPONSIBLE FOR THE DESIGN IN ANYWAY.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FOR: MARK WARDLAW, DIRECTOR, DEPARTMENT OF PLANNING & DEVELOPMENT SERVICES

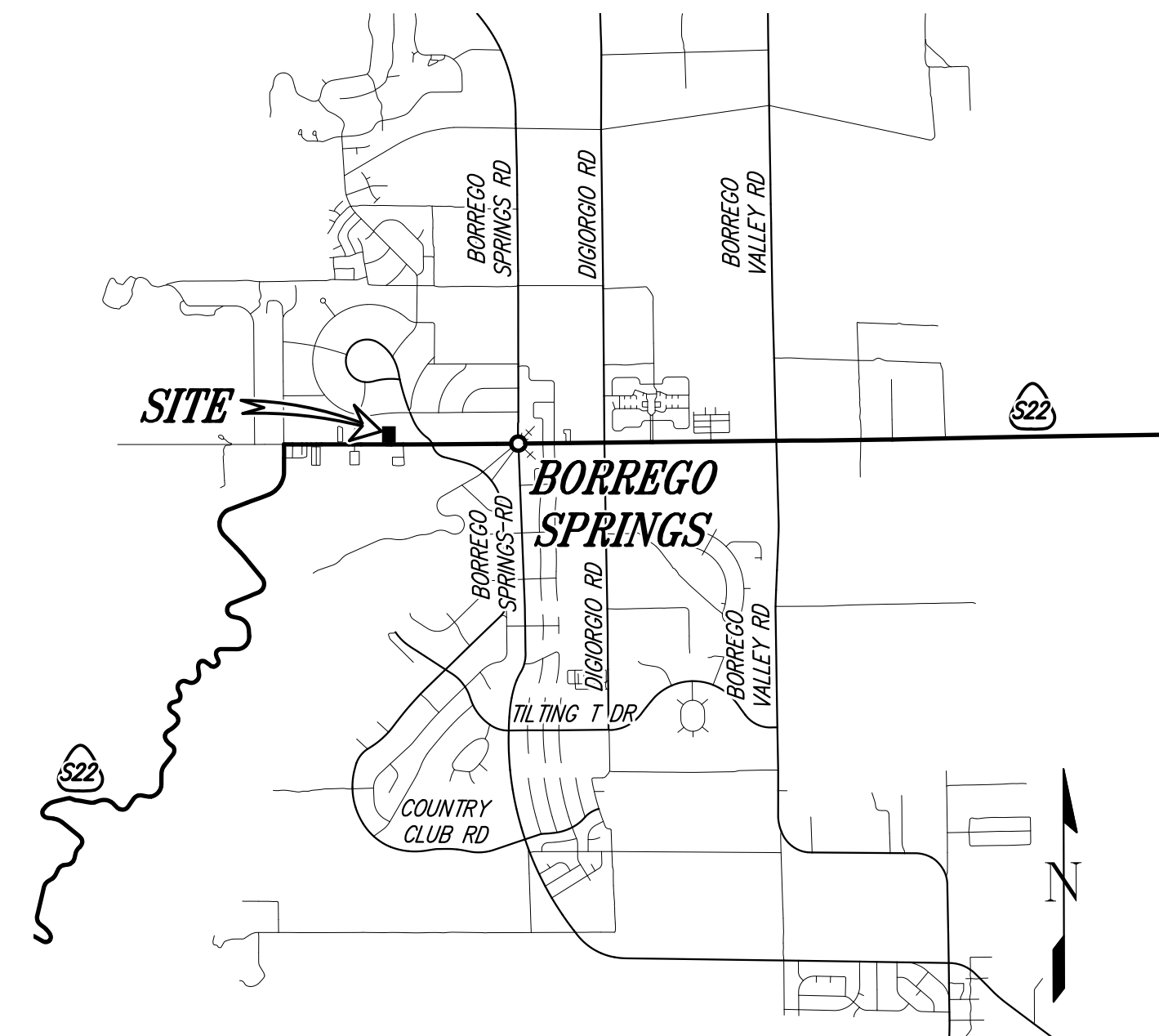
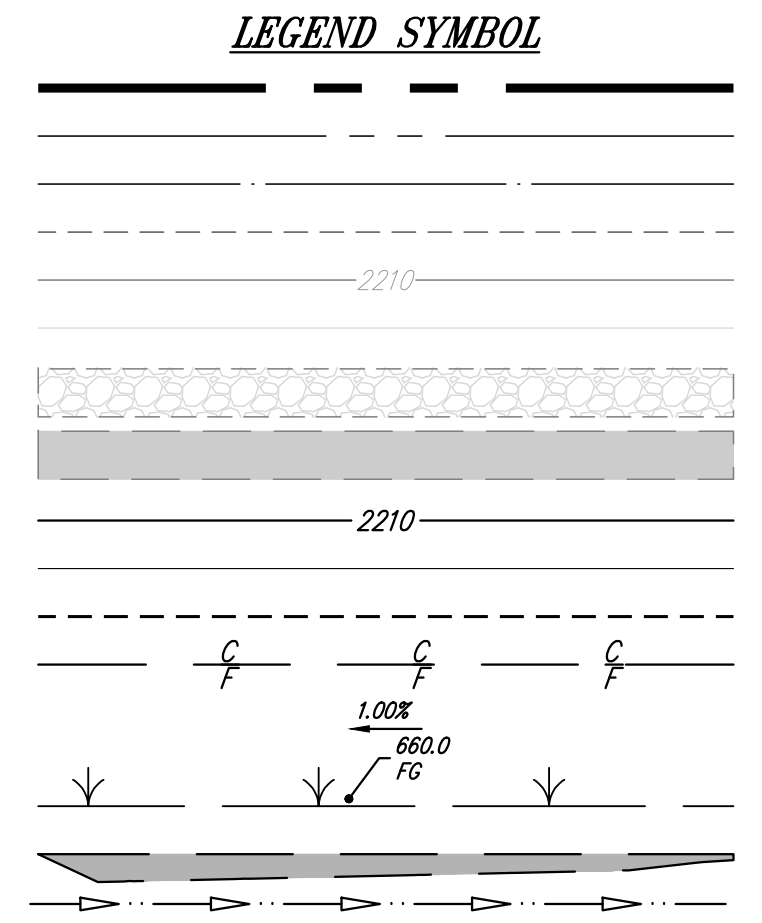


**WORK TO BE DONE**

GRADING AND DRAINAGE WORK CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, THE CURRENT SAN DIEGO AREA REGIONAL STANDARD DRAWINGS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND PER SAN DIEGO COUNTY GRADING ORDINANCE.

**GRADING LEGEND**

- DESCRIPTION**
- EXISTING SUBDIVISION BOUNDARY
  - EXISTING ROAD CENTERLINE
  - EXISTING LOT LINE
  - EXISTING EASEMENT
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING DIRT ROAD SURFACE
  - EXISTING AC PAVING
  - TYPICAL ROUGH GRADE 5' (MAJOR) CONTOUR
  - TYPICAL ROUGH GRADE 1' (MINOR) CONTOUR
  - TYPICAL PAD LIMITS
  - CUT/FILL LINE
  - TYPICAL SLOPE GRADIENT CALLOUT
  - TYPICAL SPOT ELEVATION CALLOUT
  - TYPICAL DAYLIGHT LINE
  - CONSTRUCT SLOPE (2:1 MAX)
  - CONSTRUCT EARTHEN DRAINAGE SWALE PER PDS 659



**VICINITY MAP**

SCALE: 1" = 5,000'

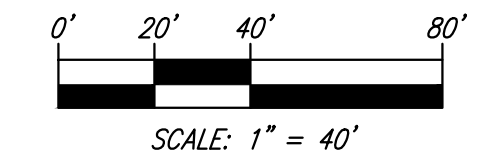
**DISTURBED AREA CALCS**

PAD + SLOPES:	23,008	SF
DRIVEWAY:	18,200	SF
PRIMARY SEPTIC:	0	SF
FIRE CLEARING:	0	SF
TOTAL:	41,208	SF

IF ≥ 1 AC. PROVIDE WID# 0.94 AC. < 1.0 AC.  
 "ALL REQUIRED FIRE CLEARING WILL NOT CREATE A LAND DISTURBANCE ACTIVITY AS DEFINED BY COUNTY CODE."

**SHEET INDEX**

SHT No.	SHEET TITLE
C-1	PRELIMINARY MINOR GRADING PLAN
C-2	PRELIMINARY EROSION CONTROL AND BMP PLAN



OWNER INFORMATION	ENGINEER'S INFORMATION	PARCEL INFORMATION	EXISTING CONDITION BASE MAP INFORMATION	SHEET TITLE
NAME: JOE CARLL ADDRESS: 5024 VIEWRIDGE WAY CITY: OCEANSIDE STATE: CA ZIP: 92056 PHONE: 760-522-8530 FAX: N/A EMAIL: JOEMCARLL@GMAIL.COM	NAME: PROJECTION ENGINEERING, INC. ADDRESS: 1230 CEDAR STREET CITY: RAMONA STATE: CA ZIP: 92065 PHONE: 760-443-6504 FAX: N/A EMAIL: PAULFISHER@PROJECTIONENGINEERING.COM	APN: 141-384-14-00 (SAN DIEGO COUNTY) SITE ADDRESS: PALM CANYON DRIVE LEGAL DESCRIPTION: LOT 286, MAP NO. 2411, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA PARCEL SIZE: 1.86 GROSS ACRES GENERAL PLAN DESIGNATION: RURAL COMMERCIAL USE REGULATIONS: C42 (COMMERCIAL) SPECIAL AREA REGULATIONS: B ANIMAL REGULATIONS: 0 FRONT YARD SETBACK: TBD INTERIOR SIDE YARD SETBACK: TBD EXTERIOR SIDE YARD SETBACK: TBD REAR YARD SETBACK: TBD	SOURCE OF TOPOGRAPHY: LOW RESOLUTION TOPOGRAPHIC DATA SHOWN HEREON WAS OBTAINED BY GIS MEANS BY PROJECTION ENGINEERING, INC., ACCURACIES ARE SUBJECT TO THE ACCURACY OF AVAILABLE GIS COUNTY DATA. SOURCE OF MAPPING: ALL MAPPING INFORMATION SHOWN ON THIS EXHIBIT WAS OBTAINED THROUGH RECREATING BEARINGS AND DISTANCES FROM MAP NO. 2411 FILED WITH THE COUNTY OF SAN DIEGO SURVEYOR. NO FIELD SURVEY WAS CONDUCTED ON SAID PARCELS. THIS EXHIBIT SHOULD BE USED FOR VISUAL PURPOSES ONLY. PROJECT COORDINATE INFORMATION: COORDINATE SYSTEM CATEGORY: USA, CALIFORNIA STATE PLANES PROJECTION: LAMBERT CONFORMAL CONIC DATUM: NAD83 ZONE: VI UNITS: US SURVEY FOOT UNDERGROUND UTILITY NOTE: ALL UNDERGROUND UTILITIES (SEWER, WATER, STORM DRAIN, ELECTRICAL, TELEPHONE, CABLE, ETC.) SHOWN ON THIS EXISTING BASE MAP ARE APPROXIMATIONS BASED ON FIELD RECONNAISSANCE AND THE PHOTO-DOCUMENTATION OF ABOVE GRADE VISIBLE FEATURES. PLEASE NOTE, THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL ACTUAL UTILITY LOCATIONS PRIOR TO ANY GRADING OR CONSTRUCTION.	PRELIMINARY MINOR GRADING PLAN SHEET NUMBER C-1

**SDC PDS RCVD 01-11-22  
STP21-016**

PAPER SIZE: Arch D (24" x 36") PLOTTED: 12/16/2021 3:54 PM  
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 ATTACHED IMAGES: XRef: 426 Palm Canyon Drive - Plot Plan; XRef: 426 Palm Canyon Drive - Topo; XRef: 426 Palm Canyon Drive - Mapping; XRef: 426 Palm Canyon Drive - Site



**EROSION CONTROL NOTES**

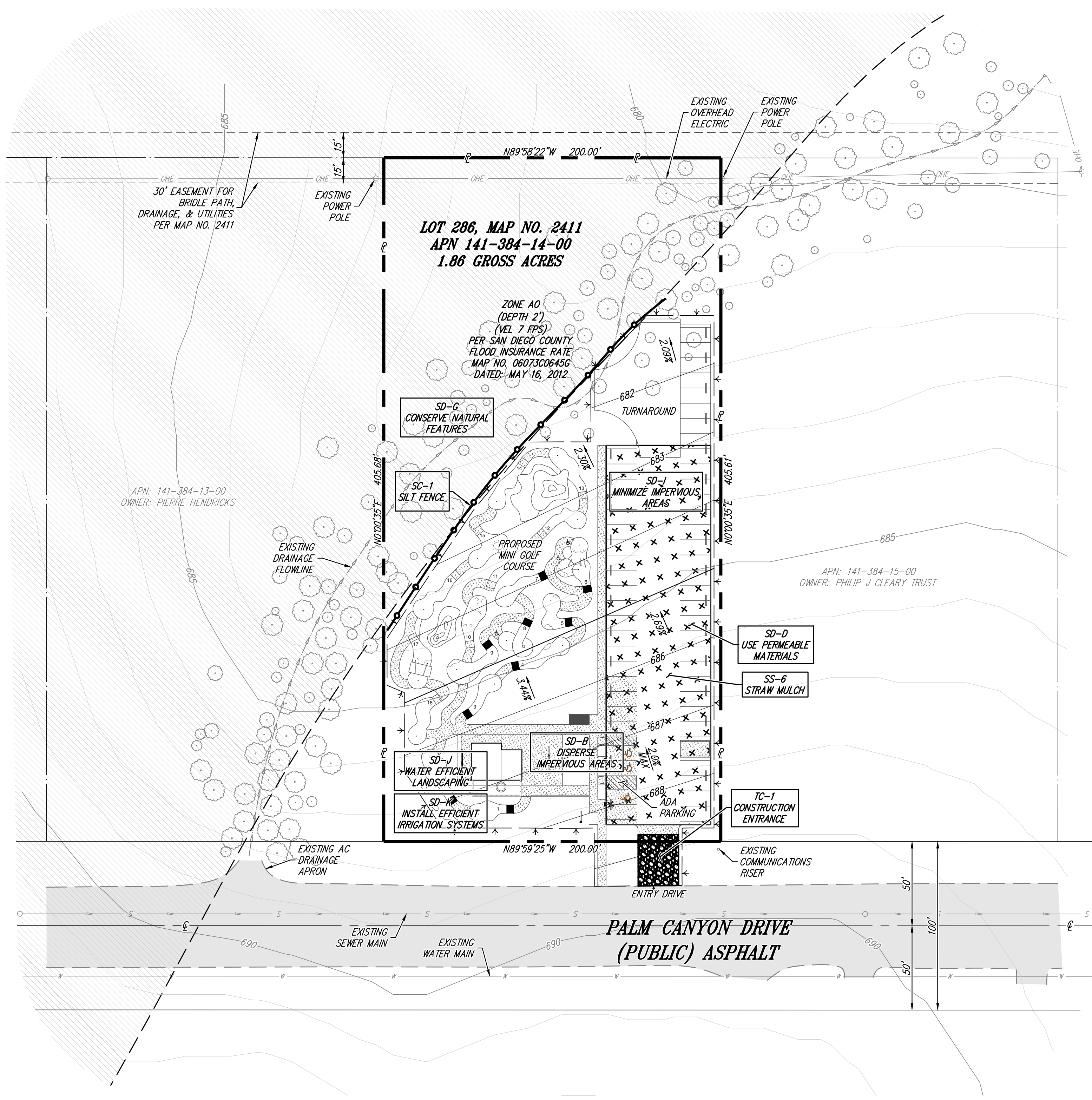
- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS BETWEEN OCTOBER 1 AND APRIL 15. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- SAND BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND BAGS, CATCH BASINS AND DESILTING BASINS AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.

**STORMWATER MANAGEMENT NOTES**

- DURING THE RAINY SEASON THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
- NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE SAN DIEGO COUNTY DPW DIRECTOR'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
- THE PROPERTY OWNER IS OBLIGATED TO INSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMP'S (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORMWATER QUALITY. THE MAINTENANCE OF THE BMP'S IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMP'S MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMP'S FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
- ON PROJECTS OF GREATER THAN 1 ACRE ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND THAT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS00002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE NOI NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS [NOI#] [ALTERNATIVE: NOT YET ASSIGNED, BUT WILL BE PROVIDED BEFORE A PERMIT IS ISSUED]. THE PERMITTEE SHALL KEEP A COPY OF THE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY COUNTY.

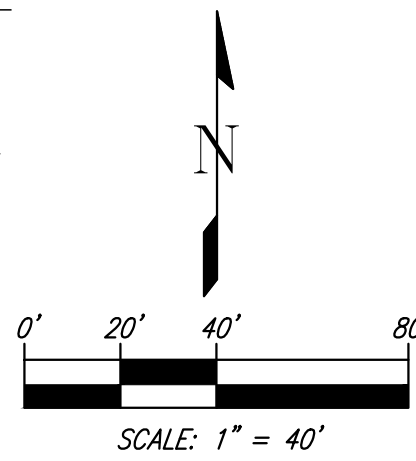
**BMP LEGEND**

- PDS-659 BROW DITCH
  - PDS-659 BERM
  - DIRECTION OF LOT DRAINAGE
- MATERIALS & WASTE MANAGEMENT CONTROL BMPs**
- WM-1 MATERIAL DELIVERY & STORAGE
  - WM-4 SPILL PREVENTION AND CONTROL
  - WM-8 CONCRETE WASTE MANAGEMENT
  - WM-5 SOLID WASTE MANAGEMENT
  - WM-9 SANITARY WASTE MANAGEMENT
  - WM-6 HAZARDOUS WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMPs**
- SS-2 PRESERVATION OF EXISTING VEGETATION
  - SS-3 BONDED OR STABILIZED FIBER MATRIX (WINTER)
  - SS-4 HYDROSEEDING (SUMMER)
  - SS-6 STRAW OR WOOD MULCH
  - SS-7 PHYSICAL STABILIZATION (WINTER)
  - SS-10 ENERGY DISSIPATOR
  - SC-1 SILT FENCE
  - SC-2 SEDIMENT / DESILTING BASIN
  - SC-5 FIBER ROLLS
  - SC-6 GRAVEL OR SAND BAGS
  - SC-7 STREET SWEEPING AND VACUUMING
  - SC-10 STORM DRAIN INLET PROTECTION
  - NS-2 DEWATERING FILTRATION
  - TC-1 STABILIZED CONSTRUCTION ENTRANCE
  - TC-2 CONSTRUCTION ROAD STABILIZATION
  - TC-3 ENTRANCE / EXIT TIRE WASH
- POST-CONSTRUCTION SITE DESIGN BMPs**
- 4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDRAULIC FEATURES
  - 4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
  - 4.3.3 MINIMIZE IMPERVIOUS AREA
  - 4.3.4 MINIMIZE SOIL COMPACTION
  - 4.3.5 IMPERVIOUS AREA DISPERSION
  - 4.3.6 RUNOFF COLLECTION
  - 4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES
  - 4.3.8 HARVESTING AND USING PRECIPITATION
- POST-CONSTRUCTION SOURCE CONTROL BMPs**
- 4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
  - 4.2.2 STORM DRAIN STENCILING AND POSTING OF SIGNAGE
  - 4.2.3 PROTECTED OUTDOOR MATERIALS STORAGE AREAS
  - 4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS
  - 4.2.5 PROTECT TRASH STORAGE AREAS
  - 4.2.6 ADDITIONAL BMPs BASED ON POTENTIAL RUNOFF POLLUTANTS:
- A ON-SITE STORM DRAIN INLETS
  - B INTERIOR FLOOR DRAINS & ELEVATOR SHAFT SUMPS
  - C INTERIOR PARKING GARAGES
  - D NEED FOR FUTURE INDOOR & STR. PEST CONTROL
  - E LANDSCAPE/OUTDOOR PESTICIDE USE
  - F POOLS, SPAS, PONDS, FOUNTAINS, & WATER FEATURES
  - G FOOD SERVICE
  - H TRASH OR REFUSE AREAS
  - I INDUSTRIAL PROCESSES
  - J OUTDOOR STORAGE OF EQUIP. OR MATERIALS
  - K VEHICLE AND EQUIPMENT CLEANING
  - L VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE
  - M FUEL DISPENSING AREAS
  - N LOADING DOCKS
  - O FIRE SPRINKLER TEST WATER
  - P MISCELLANEOUS DRAIN OR WASH WATER
  - Q PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS



**EROSION CONTROL LEGEND**

- TC-1 CONSTRUCTION ENTRANCE
- SC-1 SILT FENCE
- SS-6 STRAW MULCH



WM-1 MATERIAL DELIVERY AND STORAGE	WM-6 HAZARDOUS WASTE MANAGEMENT	SC-C DRAIN FEATURE TO PERVIOUS AREA	SC-F ISOLATE FLOWS ADJACENT AREAS
WM-4 SPILL PREVENTION CONTROL	WM-8 CONCRETE WASTE MANAGEMENT	SC-D CONTAINMENT FOR SPILLS	SC-G PREVENT WIND DISPERSAL
WM-5 SOLID WASTE MANAGEMENT	WM-9 SANITARY WASTE MANAGEMENT	SC-E PREVENT CONTACT WITH RAINFALL	

**GRADING PLAN CERTIFICATION**

I, CERTIFY THAT THE GRADING AS SHOWN ON THIS MINOR GRADING PLAN SATISFIES THE REQUIREMENTS OF THE COUNTY OF SAN DIEGO GRADING ORDINANCE.

BY: *Paul Fisher* DATE: \_\_\_\_\_  
 RCE NO.: 71549 EXPIRES: 12-31-23

THE COUNTY IS NOT RESPONSIBLE FOR THE DESIGN IN ANYWAY.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

FOR: MARK WARDLAW, DIRECTOR, DEPARTMENT OF PLANNING & DEVELOPMENT SERVICES



<b>SHEET TITLE</b>
PRELIMINARY EROSION CONTROL AND BMP PLAN
<b>SHEET NUMBER</b>
C-2

PAPER SIZE: Arch D (24" x 36") PLOTTED: 12/16/2021 3:54 PM  
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