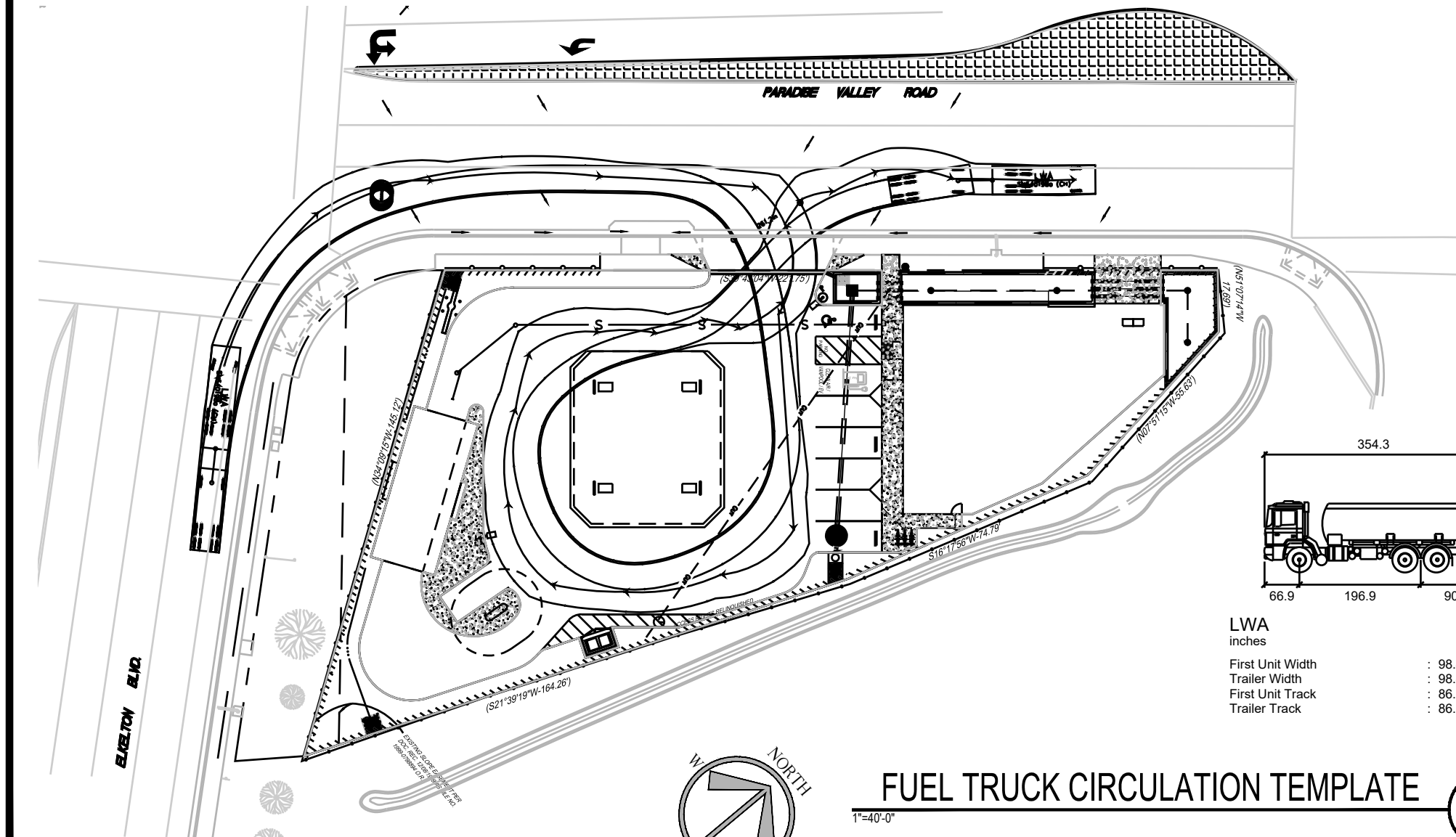
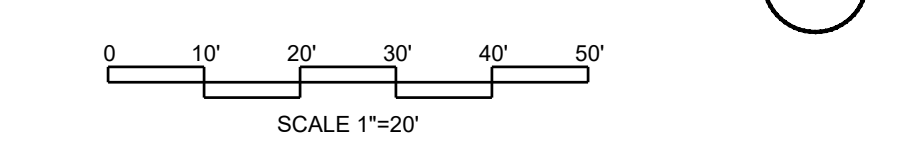
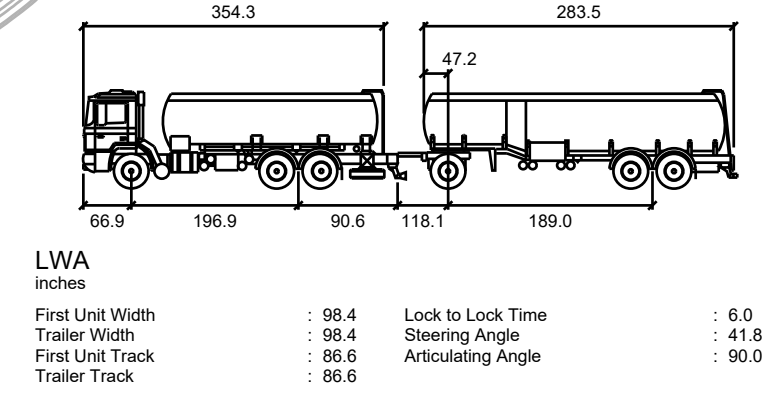


ARCHITECTURAL SITE PLAN



FUEL TRUCK CIRCULATION TEMPLATE



LWA			
First Unit Width	: 98.4	Lock to Lock Time	: 6.0
Trailer Width	: 98.4	Steering Angle	: 41.8
First Unit Track	: 86.6	Articulating Angle	: 90.0
Trailer Track	: 86.6		

ENTITLEMENT PROCESS NOTES

- PLANNING & DEVELOPMENT SERVICES (PDS) PLANNING & CEQA
 1. ALL OUTDOOR LIGHTINGS SHALL CONFORM TO SECTION 59.101 ET. SEQ. OF THE SAN DIEGO COUNTY CODE AND WITH SECTION 6322 THROUGH ET. SEQ. OF THE COUNTY ZONING ORDINANCE.

SITE ANALYSIS

APN	584-160-52-00
PARCEL AREA	± 21,548 SF (± 0.49 A)
PROPOSED RETAIL BLDG. AREA	4,713 SF
1ST FLOOR AREA	3,559 SF
MEZZANINE AREA	1,154 SF
PROPOSED CARWASH BLDG. AREA	855 SF
COVERAGE	20%
PROPOSED BLDG. USE	GAS STATION w/ RETAIL & CARWASH
ZONING	M52/M54 - LIMITED INDUSTRIAL
PROPOSED CONSTRUCTION TYPE	V-B
PROPOSED OCCUPANCY GROUP	B/M
AREA SEPARATION WALLS (FIRE BARRIER)	NO
BLDG. SPRINKLERED	TBD
SETBACKS	FRONT YARD: 60' (ELKELTON PL.) INTERIOR SIDE YARD: 0' STREET SIDE YARD: 35' (PARADISE VALLEY RD.) REAR YARD: 15'

PARKING ANALYSIS

PARKING REQUIREMENT:
 PARKING REQUIRED WILL BE ESTABLISHED WITHIN THE PERMIT DECISION FOR THE PROJECT PER SECTION 6782 OF THE ZONING ORDINANCE.

TOTAL PARKING PROVIDED (NOT INCLUDED PARKING AT GAS PUMPS)	08 STALLS
STANDARD SPACES	06 STALLS
ACCESSIBLE SPACES	01 STALL
CLEAN AIR/VAN POOL/EP (PER CGC TABLE 5.106.5.2)	01 STALL
ADDITIONAL STAND. SPACES AT GAS PUMPS	08 STALLS
BICYCLE PARKING PROVIDED	3

SURVEYORS NOTES

- THIS SURVEY IS BASED ON PRELIMINARY TITLE REPORT NO. 09193261-919-KRC-KRE, DATED AUGUST 1, 2017, ISSUED BY COMMONWEALTH LAND TITLE COMPANY. EFFECTS OF AGREEMENTS, PERMITS, LIENS, ASSESSMENTS, LEASES, COVENANTS AND OR RESTRICTIONS APPEARING IN SAID POLICIES ARE NOT NOTED ON THIS SURVEY.
- EXISTING LAND USE: VACANT
- FIELD SURVEY OF THIS SITE WAS PERFORMED ON MARCH 6 & 8, 2018 BY STEVEN M. HOWELL, LAND SURVEYOR, LS 5758.
- ASSESSOR PARCEL NO. 584-160-52-00
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND IS BASED ON RECORD INFORMATION AND FIELD LOCATION OF SURFACE FACILITIES INDICATED ON THIS SURVEY.
- LEGAL DESCRIPTIONS SHOWN UNDER THE CAPTION (LEGAL DESCRIPTION) ARE FROM THE PRELIMINARY TITLE REPORT DESCRIBED IN NOTE 1 AND ARE BASED ON RECORD INFORMATION ONLY AND MAY NOT REFLECT ADJUSTMENTS MADE BY BOUNDARY SURVEYS AND FUTURE MAPPING EFFORTS.
- TOTAL GROSS AREA: 21,468 SQ. FT. (0.493 ACRES)
- BOUNDARY SHOWN IS BASED ON RECORD INFORMATION AND FOUND MONUMENTS PER RECORD OF SURVEY MAP NO. 18760.

EASEMENTS - EXCEPTIONS

- EASEMENTS AND EXCEPTIONS PER SCHEDULE B OF PRELIMINARY TITLE REPORT BY COMMONWEALTH LAND TITLE COMPANY - ORDER NO. 09193261-919-KRC-KRE, DATED AUGUST 1, 2017
- AGREEMENT FOR IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY ORDINANCE 4815 EXECUTED BY CHARLES M. ERRECA, LOUISE ERRECA, ERNEST M. STANLEY & NINA G. STANLEY PER DOCUMENT RECORDED DECEMBER 4, 1978 AS INSTRUMENT NO. 78-520244 OF OFFICIAL RECORDS. NON-PLOTTABLE
 - THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT RECORDED DECEMBER 8, 1999 AS INSTRUMENT NO. 99-0798894 OF OFFICIAL RECORDS. (NOTED HEREON) NON-PLOTTABLE
 - AN EASEMENT FOR SLOPE PURPOSES IN FAVOR OF STATE OF CALIFORNIA PER DOCUMENT RECORDED DECEMBER 8, 1999 AS INSTRUMENT NO. 1999-0798894 OF OFFICIAL RECORDS. (PLOTTED HEREON)

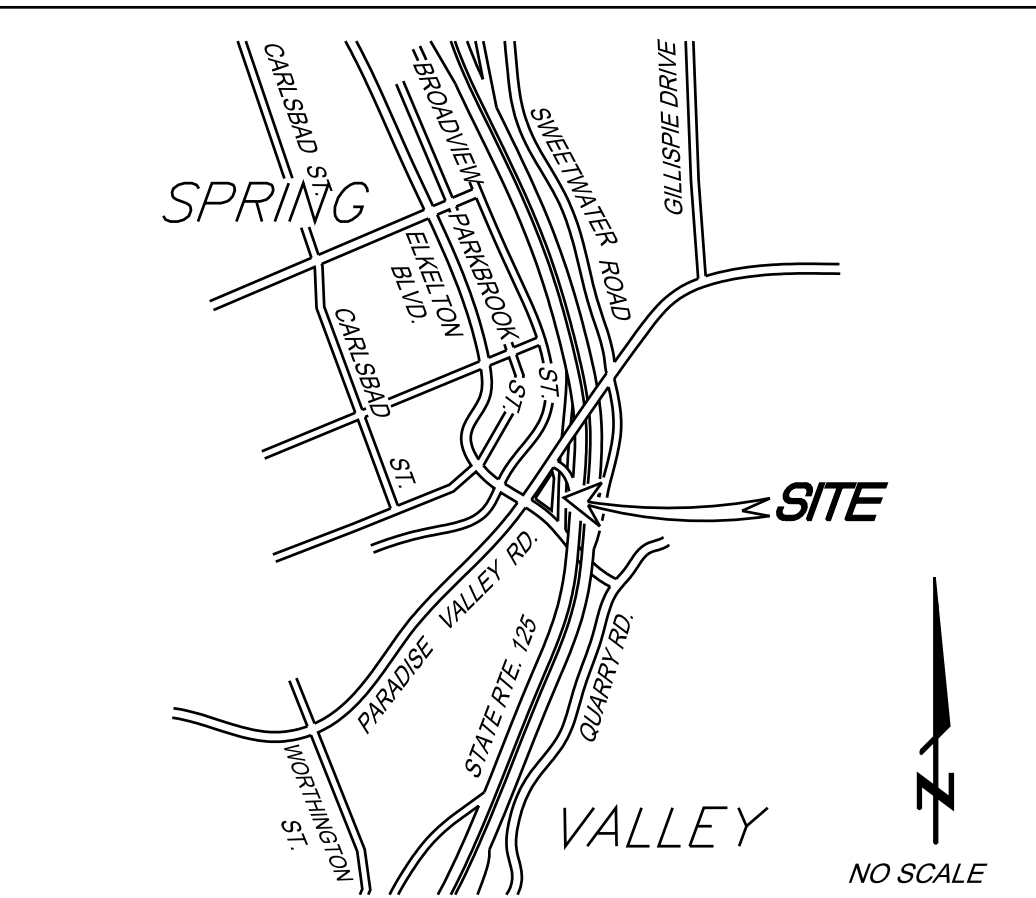
LEGAL DESCRIPTION

THAT PORTION OF QUARTER SECTION 1 OF RANCHO DE LA NACION, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 166, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY AS CONVEYED IN FINAL ORDER OF CONDEMNATION TO THE STATE OF CALIFORNIA AS PARCEL 30173 OF SAID CONDEMNATION RECORDED JULY 14, 1998 AS INSTRUMENT NO. 1998-0435558 IN THE OFFICE OF SAID RECORDER DESCRIBED AS FOLLOWS:
 COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID PARCEL;
 THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL NORTH 34° 09' 25" WEST, 20.78 FEET TO THE POINT OF BEGINNING;
 THENCE (1) NORTH 21° 39' 19" EAST, 10.46 FEET;
 THENCE (2) NORTH 21° 39' 19" EAST, 153.80 FEET;
 THENCE (3) NORTH 16° 17' 56" EAST, 74.79 FEET;
 THENCE (4) NORTH 07° 51' 15" WEST, 55.53 FEET;
 THENCE (5) NORTH 51° 07' 14" WEST, 17.35 FEET;
 THENCE (6) SOUTH 39° 42' 24" WEST, 50.00 FEET;
 THENCE (7) CONTINUING SOUTH 39° 42' 24" WEST, 127.19 FEET;
 THENCE (8) CONTINUING SOUTH 39° 42' 24" WEST, 44.48 FEET TO SAID SOUTHWESTERLY LINE;
 THENCE (9) ALONG SAID LINE SOUTH 34° 09' 25" EAST, 145.47 FEET TO THE POINT OF BEGINNING.

SITE LEGEND

●	INDICATES FOUND 1" IRON PIPE W/ DISK "CAL DOT" PER ROS 18760. ACCEPTED AS DEED CORNER.
■	INDICATES BRASS DISK IN CONCRETE "CAL DOT" PER ROS 18760, NS011536" W, 5.00' FROM PROPERTY CORNER.
---	INDICATES SITE BOUNDARIES
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING GAS LINE
SWR	EXISTING MANHOLE (SWR=SEWER) (SD=STORM DRAIN)
WTR	EXISTING WATER GATE VALVE
TS	EXISTING TRAFFIC SIGNAL
TS	EXISTING TRAFFIC SIGNAL W/ ARM AND LIGHT
⊙	EXISTING TREE
---	INDICATES EXISTING CONCRETE CURB AND GUTTER
TC	INDICATES TOP OF CURB
FL	INDICATES FLOWLINE
GRD	INDICATES EXISTING GROUND
TW	INDICATES TOP OF WALL
AC	INDICATES ASPHALT
CONC	INDICATES CONCRETE
TS	INDICATES TRAFFIC SIGNAL
SL	INDICATES STREET LIGHTING
ROS	INDICATES RECORD OF SURVEY MAP
---	(E) 6" HIGH CHAIN LINK FENCE ALONG PROPERTY LINE PERIMETER TO REMAIN
#	NUMBER OF PARKING SPACES
---	PROPOSED LANDSCAPE AREA, PER LANDSCAPE PLANS
---	PROPOSED PCC DRIVABLE PAVEMENT AREA, PER CIVIL PLANS
---	PROPOSED BIO RETENTION AREA, PER CIVIL PLANS
---	PROPOSED BIO RETENTION AREA, PER CIVIL PLANS

VICINITY MAP



MPA ARCHITECTS INC.
 3578 30th Street
 San Diego, CA 92104
 V. 619.236.0595
 F. 619.236.0557
 www.mpa-architects.com
 MEMBER
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CLIENT
JOSEPH BRIKHO
 245 HIGHLAND AVE.
 NATIONAL CITY, CA 91950
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PROJECT
 A PROPOSED COMMERCIAL DEVELOPMENT LOCATED AT:
NEC PARADISE VALLEY RD. & ELKELTON PL.
 SPRING VALLEY, CA 91977

REVISIONS

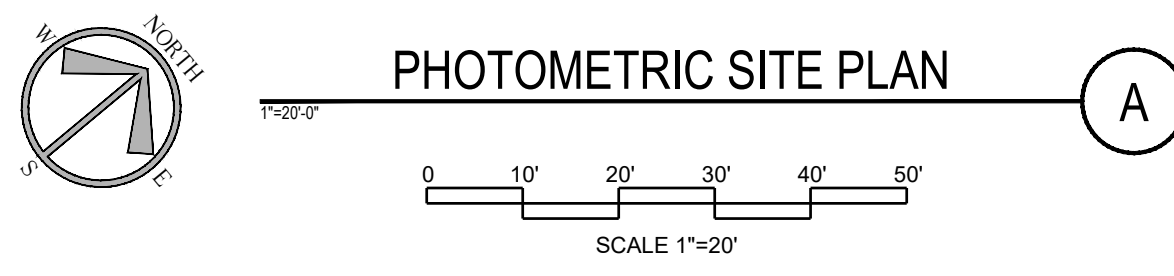
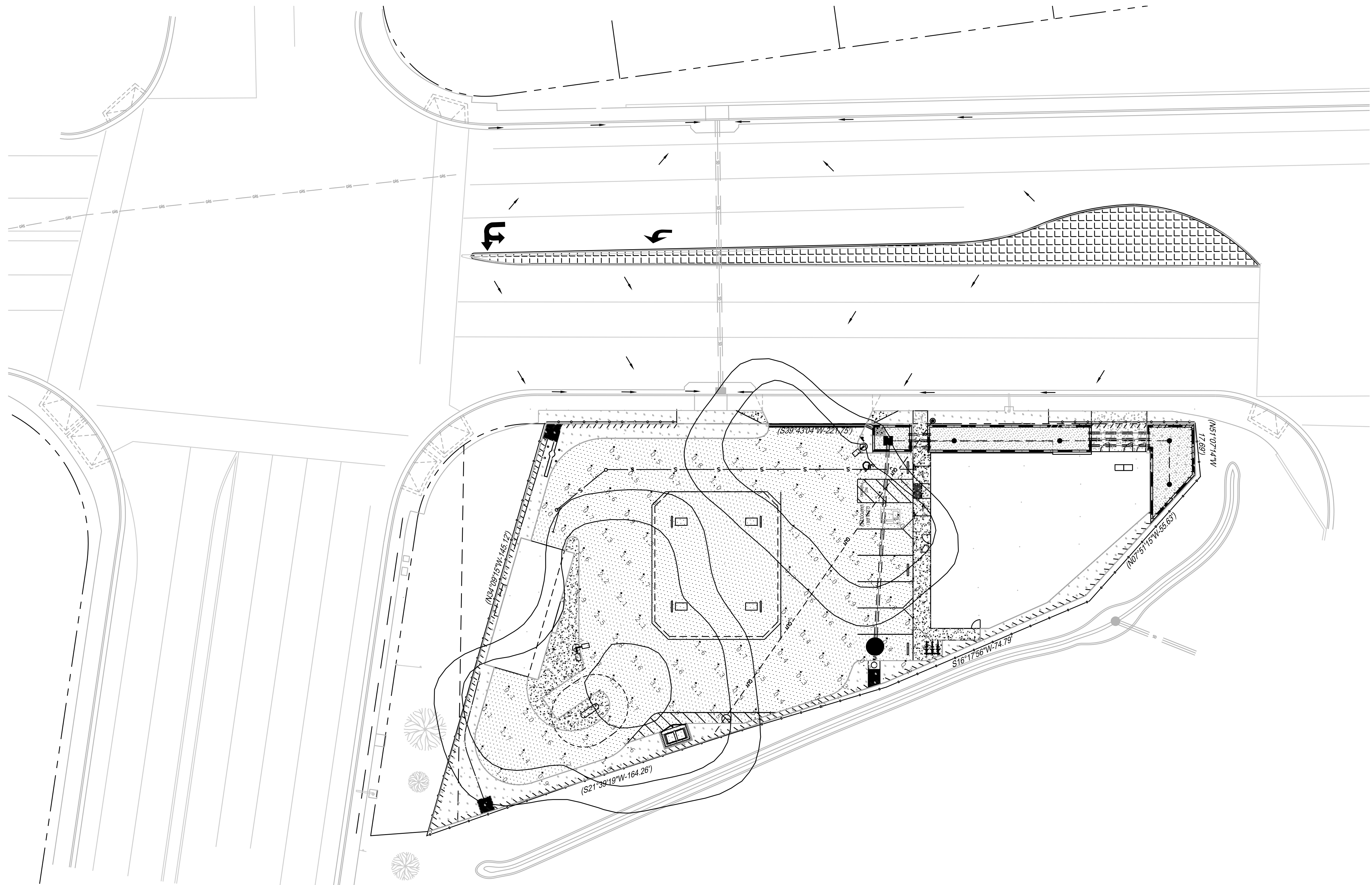
NO.	DESCRIPTION	DATE
1	PLANNING DEPT. COMMENTS & PLAN COORDINATION	10-15-20
2	PLANNING DEPT. COMMENTS	12-03-21
3	PLANNING DEPT. COMMENTS	12-02-21
4	PLANNING DEPT. COMMENTS	04-12-23
5	PLANNING DEPT. COMMENTS	03-19-23

PDS2019-ZAP-19-003,
 PDS2020-ER-20-18-001

PLAN SUBMITTAL LOG

PLAN DATE	DESCRIPTION
10-15-20	SUBMITTAL TO PLANNING DEPT. - 5R REVIEW
11-09-20	SUBMITTAL TO PLANNING DEPT. - 3R REVIEW
11-15-20	SUBMITTAL TO PLANNING DEPT. - 3R REVIEW
06-26-21	SUBMITTAL TO PLANNING DEPT. - 4R REVIEW
12-03-21	SUBMITTAL TO PLANNING DEPT. - 5R REVIEW
02-16-23	SUBMITTAL TO PLANNING DEPT. - 5R REVIEW
04-12-23	SUBMITTAL TO PLANNING DEPT. - 7R REVIEW

SHEET TITLE
ARCHITECTURAL SITE PLAN
 DATE: 04-12-23 SCALE: AS NOTED
 DRAWN BY: L. DALE DATE: 17084.DWG
 CHECKED BY: SHEET NUMBER:
 PROJECT NO: 17084 **AS1.0**



Symbol	Qty	Label	Arrangement	Lum. Lumens	BUG Rating	ELF	Description
1	1	RARI-160L-70-4K7-4W	SINGLE	3414	B2-U0-G3	0.900	RARI-160L-70-4K7-4W
2	2	2#90 - RARI-160L-70-4R7-4W	2 @ 90 DEGREES	3414	B2-U0-G3	0.900	RARI-160L-70-4K7-4W

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object 4 Planar	Illuminance	Fc	1.35	4.1	0.0	N.A.	N.A.

NOTES:

- POLE FIXTURE MOUNTING HEIGHT: 20'-0" A.F.F.
- CALC PTS @ GROUND: 0'-0" A.F.F.
- CANOPY FIXTURES NOT INCLUDED IN PHOTOMETRIC

Calculations have been performed according to information provided regarding room dimensions, reflectances, furniture and architectural element placement. Some differences between measured values and calculated results may occur if the real environment conditions do not match the input data.

Photometric Data used as input for these calculations is based on established IES procedures and published lamp & ballast ratings.

Field Performance will depend on actual lamp, ballast, electrical and site characteristics.

For design reference only - All calculations should be reviewed for accuracy by a certified electrical engineer.

HUBBELL Outdoor Lighting

RATIO Series
AREA-SITE LIGHTER

FEATURES

- Low profile LED area-site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPM
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available

CONTROL TECHNOLOGY

SiteSight™, NX DISTRIBUTED INTELLIGENCE™, WISCAPÉ™

RELATED PRODUCTS

Aico # Cimaron LED # Ratio Family

KEY DATA

Lumen Range	3,000-32,000
Wattage Range	25-227
Efficacy Range (LPW)	118-155
Future Projected Life (Hours)	L70>36K
Weights lbs. (kg)	13.5-24 (6.1-10.9)

HUBBELL Outdoor Lighting

RATIO Series
AREA-SITE LIGHTER

ORDERING GUIDE

Example: RARI-80L-25-3K7-2-UNI-ASG-BL-NW6E-BC

ORDERING INFORMATION

Series	Ratio Area Size	LEDs	Wattage	Lumens	CCT/CR	Distribution	Optics	Options	Voltage
RARI	80L-25	25W	25W	3,000 Lumens	3000K/70 CR	2	IES TYPE I	ASG	Universal 120-277V
	80L-50	50W	50W	6,000 Lumens	4000K/70 CR	3	IES TYPE II	L	Optic rotation left
	80L-100	100W	100W	12,000 Lumens	5000K/70 CR	4	IES TYPE IV	R	Optic rotation right
RAR2	140L-25	25W	25W	3,000 Lumens	3000K/70 CR	2	IES TYPE I	ASG	Universal 120-277V
	140L-50	50W	50W	6,000 Lumens	4000K/70 CR	3	IES TYPE II	L	Optic rotation left
	140L-100	100W	100W	12,000 Lumens	5000K/70 CR	4	IES TYPE IV	R	Optic rotation right
	140L-150	150W	150W	18,000 Lumens	5000K/70 CR	5	IES TYPE V	R	Optic rotation right
	140L-200	200W	200W	24,000 Lumens	5000K/70 CR	6	IES TYPE V	R	Optic rotation right

ORDERING INFORMATION CONTINUED

Mounting	Color	Control Options Network	Options
AS2	BL	NOWE	BC
ASQ	DB	NOSFW	CD
ASU	GT	NOSFW	F
ASV	GS	NOSFW	TB
A	PS	NOSFW	2PW
AU	WH	NOSFW	
W	CC	SCR40F	
MAF		7PR	
K		7PR-SC	
		7PR-MD4F	
		7PR-TL	

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CR	Voltage	Distribution	Mounting	Finish
RARI-100-4K-3	12,000	100W	10L	4000K/70CR	120-277V	Type 3	Square Arm	Brnze
RARI-100-4K-4W	12,000	100W	10L	4000K/70CR	120-277V	Type 4W	Square Arm	Brnze
RARI-140-4K-3	18,000	140W	14L	4000K/70CR	120-277V	Type 3	Square Arm	Brnze
RARI-140-4K-4W	18,000	140W	14L	4000K/70CR	120-277V	Type 4W	Square Arm	Brnze
RARI-160-4K-3	24,000	160W	16L	4000K/70CR	120-277V	Type 3	Square Arm	Brnze
RARI-160-4K-4W	24,000	160W	16L	4000K/70CR	120-277V	Type 4W	Square Arm	Brnze

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3578 30th Street
San Diego, CA 92104
V. 619.236.0595
F. 619.236.0557
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CLIENT

JOSEPH BRIKHO
245 HIGHLAND AVE.
NATIONAL CITY, CA 91950

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F: (619) 954.9705

PROJECT

A PROPOSED COMMERCIAL DEVELOPMENT LOCATED AT:

NEC PARADISE VALLEY RD. & ELKELTON PL.
SPRING VALLEY, CA 91977

REVISIONS

NO.	DESCRIPTION	DATE

PDS2019-ZAP-19-003,
PDS2020-ER-20-18-001

SHEET TITLE

PHOTOMETRIC SITE PLAN

DATE: 04-12-23 SCALE: AS NOTED
DRAWN BY: L DALE DATE: 17084.DWG
CHECKED BY: SHEET NUMBER:
PROJECT NO: 17084 **AS.1.1**

PARTY TIME MARKET SIGNAGE PLAN

Table of Contents	Page
Site Plan	2
Market Building	3
Northwest Elevation - Facing Paradise Valley Rd	3
Signage Elevation - Facing Lot Interior	4
Party Time Market - Wall Sign Details	5
Car Wash Building	6
West & South Elevations	7
North & East Elevations	8
Car Wash - Accessory Sign Details for Drive-Through Building	9
Enter & Exit - Accessory Sign Details for Drive-Through Building	10
Monument Sign	11
Monument Sign Location Plan	11
Pole Sign	12

Project: Party Time Market
Car Wash, Market & Gas Station
8565 Paradise Valley Road
Spring Valley, CA 91977
Record ID: PDS2019-ZAP-19-003

Property Owner:
13158 ARCTIC CIR.
SAN DIEGO, CA 92121
PH: 619.438.5188
WWW.TDSIGNS.COM

Contract for signage:
13158 ARCTIC CIR.
SAN DIEGO, CA 92121
PH: 619.438.5188
WWW.TDSIGNS.COM

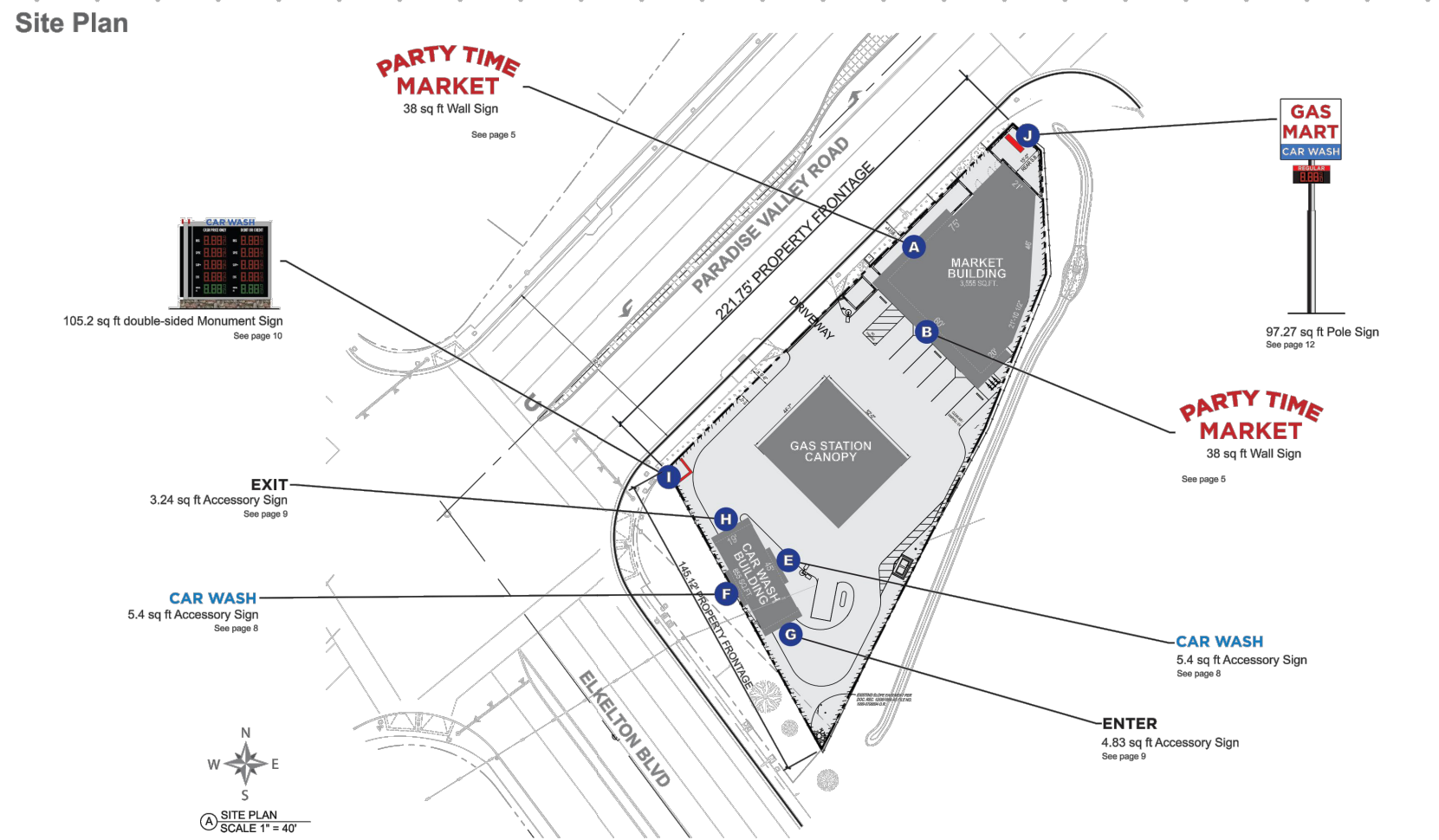
Latest revision date: Nov 9, 2021
Rev 1: 11/9/21
Rev 2: 11/9/21
Rev 3: 11/9/21
Rev 4: 11/9/21

Site Area: ± 21.548 SF (± 1.9 A)

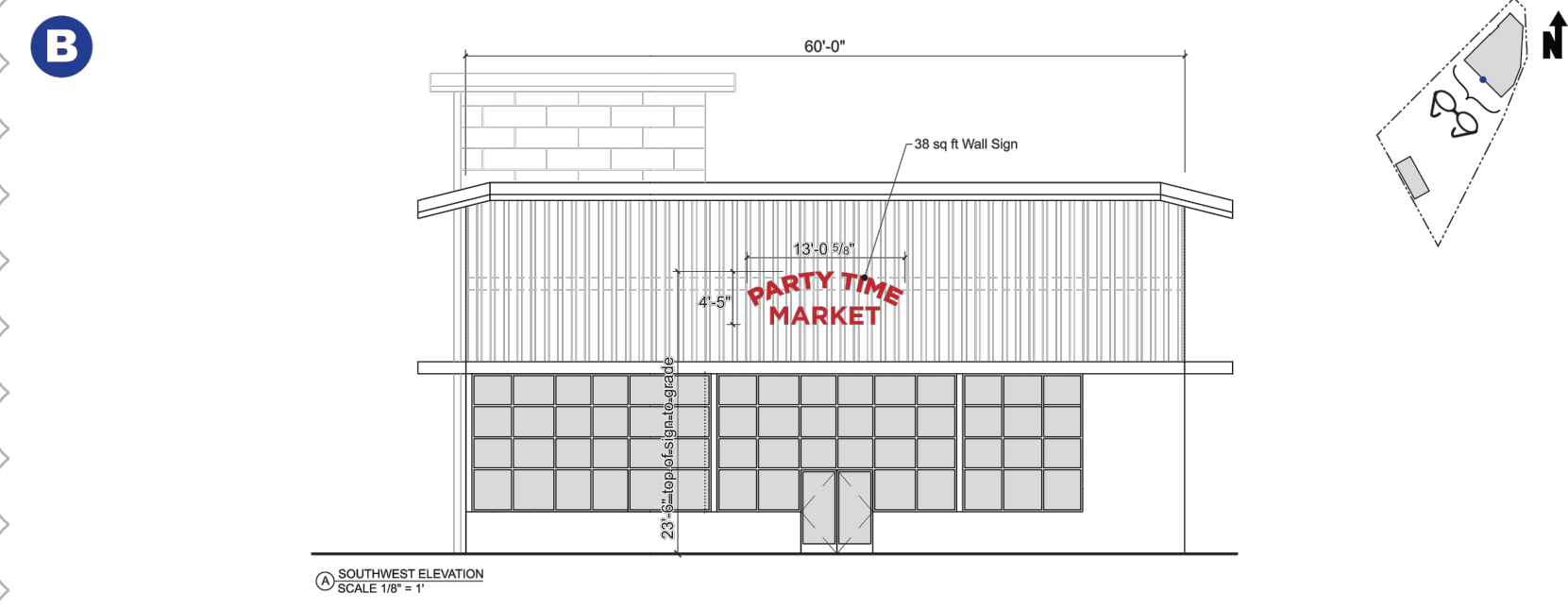
APN: 084-160-02-00

Zone: M25M4 - LIMITED INDUSTRIAL

Building Area:
Market Building: 3,535 SF
Car Wash Building: 855 SF

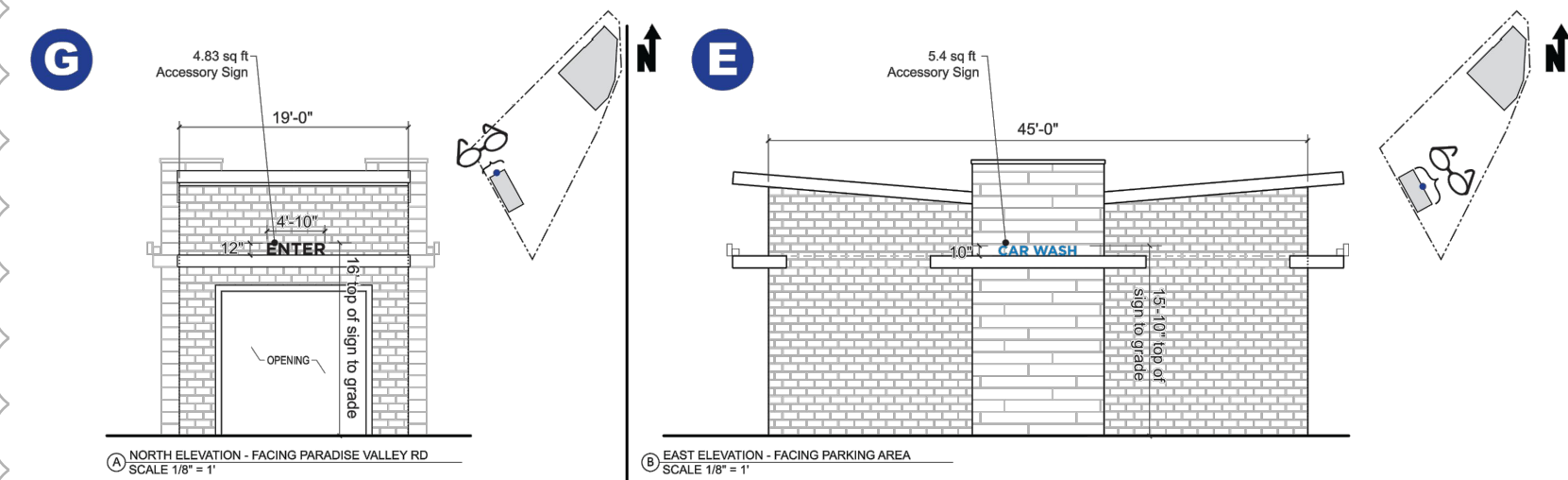


Market Building - Southwest Elevation - Facing Lot Interior



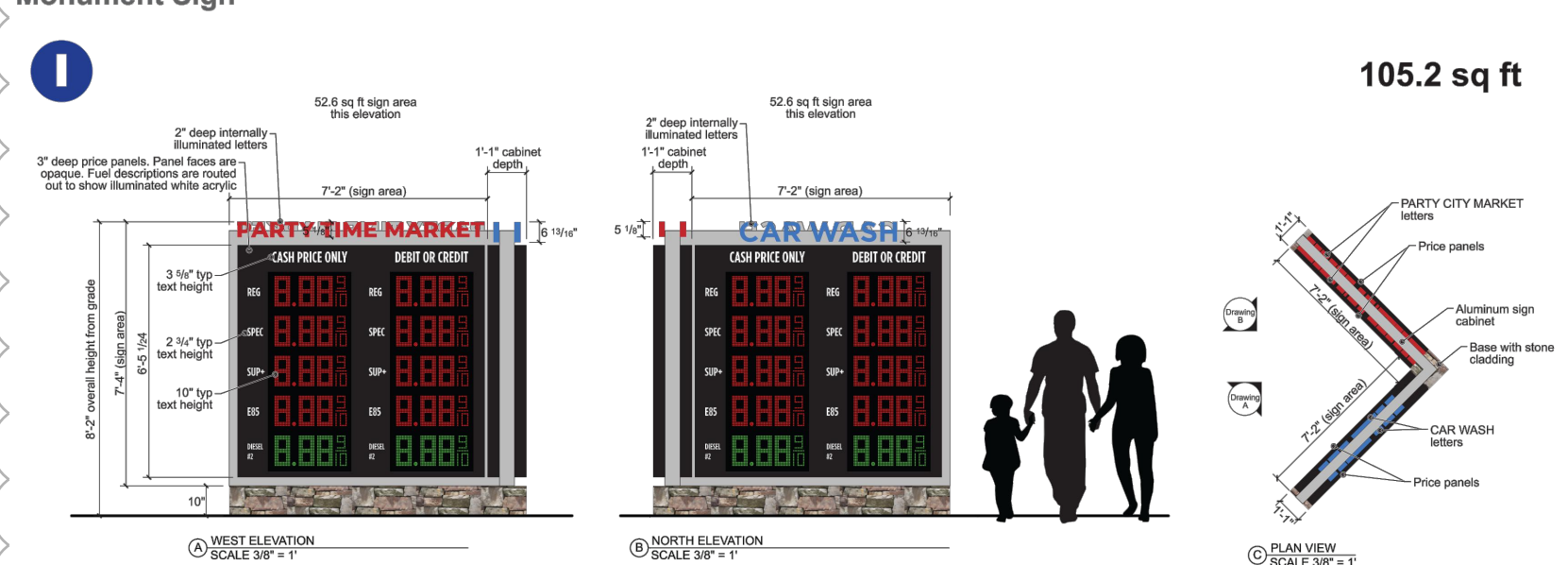
Market Building	Building Frontage (Linear Feet)	Max sign area allowed per building face (Frontage x 3.5 = max sign area)	Proposed sign area per elevation	Conform to Ordinance Section 6263.2-2
NorthWest - Facing Paradise Valley Rd	75	112.5	38	Yes
SouthWest - Facing lot interior	60	90	38	Yes
Total			76	

Carwash Building - North & East Elevations



Car wash building	Building Frontage (Linear Feet)	Max sign area allowed per building face (Frontage x 3.5 = max sign area)	Proposed sign area per elevation	Conform to Ordinance Section 6263.2-2
West - Facing Elvelton Blvd	45	67.5	5.4	Yes
North - Facing Paradise Valley Rd	19	28.5	3.24	Yes
East - Facing lot interior	45	67.5	5.4	Yes
South	18	27	4.83	Yes
Total			18.87	

Monument Sign

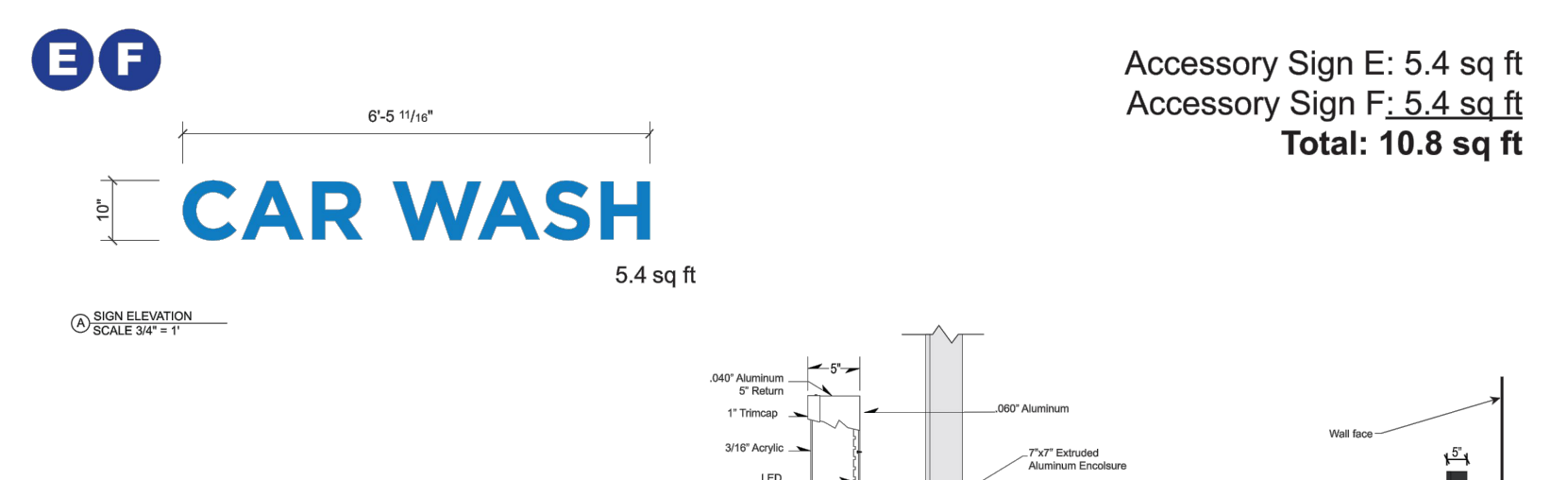


Specifications:
Cabinet: Aluminum angle frame cabinet with .063 aluminum
Letters: 2" deep internally illuminated letters with internal illumination
Face panels: 4" deep fabricated aluminum cabinet with prime panels
Base: Aluminum angle frame cabinet with .063 aluminum cabinet with prime panels
Switch: Electrical toggle disconnect switch with lock
All wiring and components to meet U.L. standards
Signage that conveys the effect of movement, or flashing, intermittent or variable intensity lighting shall not be permitted. Digital wall sign shall not contain a moving message, or a message that appears to move.

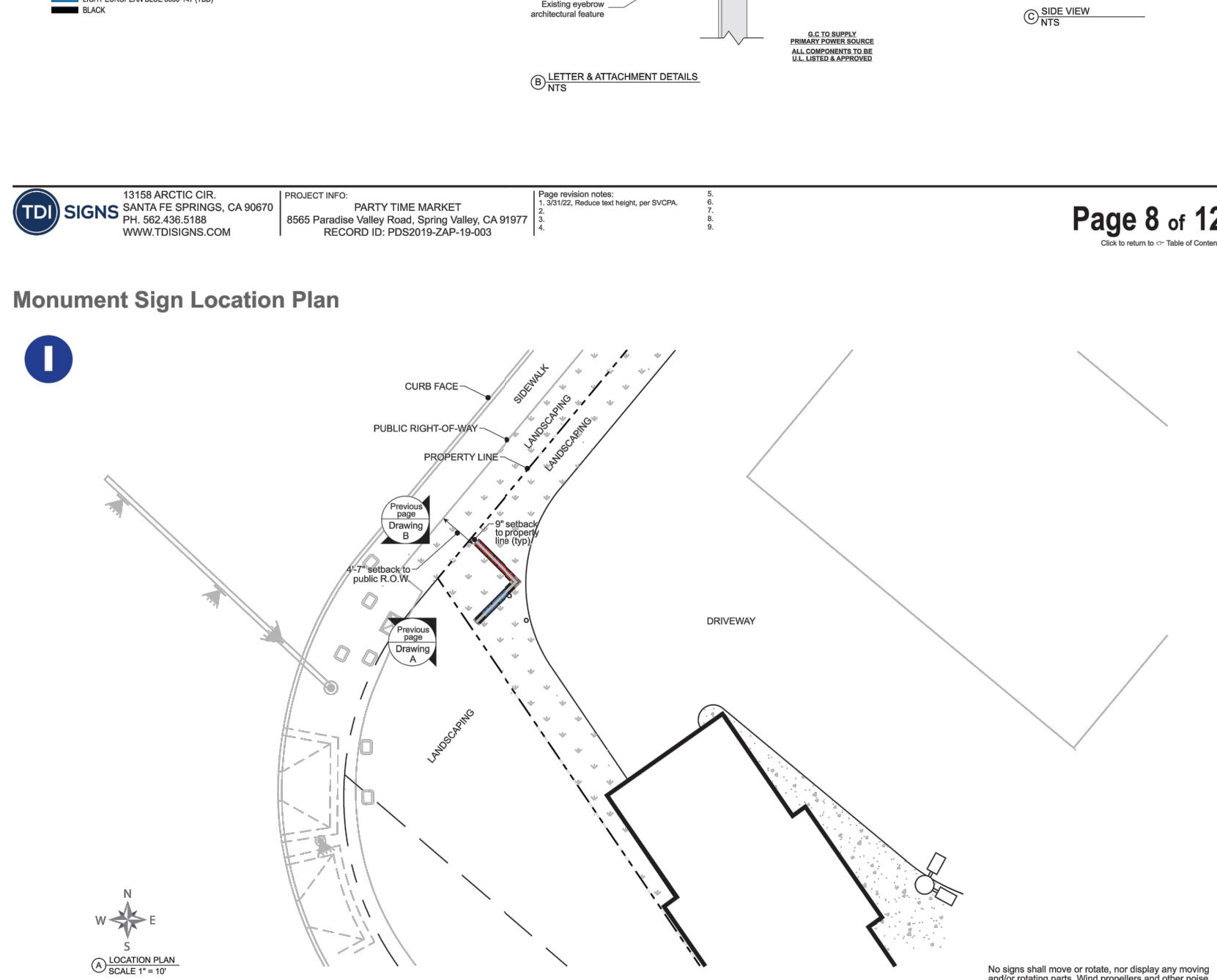
Market Building - Party Time Market - Wall Sign Details



Carwash Building - Car Wash - Accessory Sign Details for Drive-Through Building



Monument Sign Location Plan

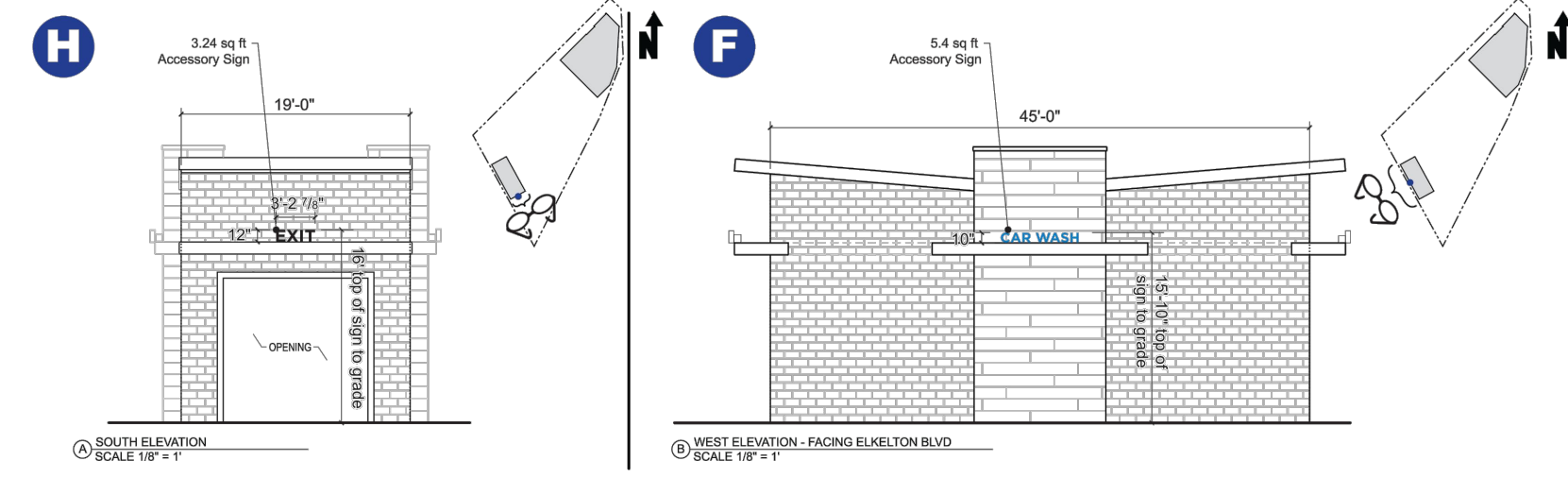


Market Building - Northwest Elevation - Facing Paradise Valley Rd



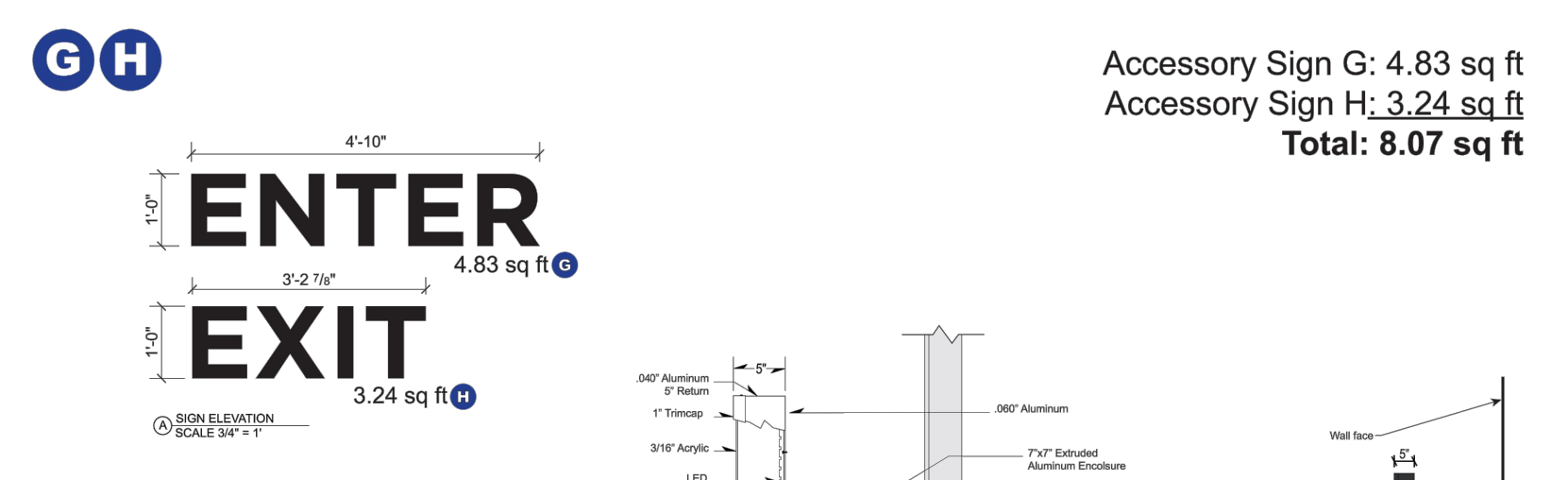
Market Building	Building Frontage (Linear Feet)	Max sign area allowed per building face (Frontage x 3.5 = max sign area)	Proposed sign area per elevation	Conform to Ordinance Section 6263.2-2
NorthWest - Facing Paradise Valley Rd	75	112.5	38	Yes
SouthWest - Facing lot interior	60	90	38	Yes
Total			76	

Car Wash Building - West & South Elevations

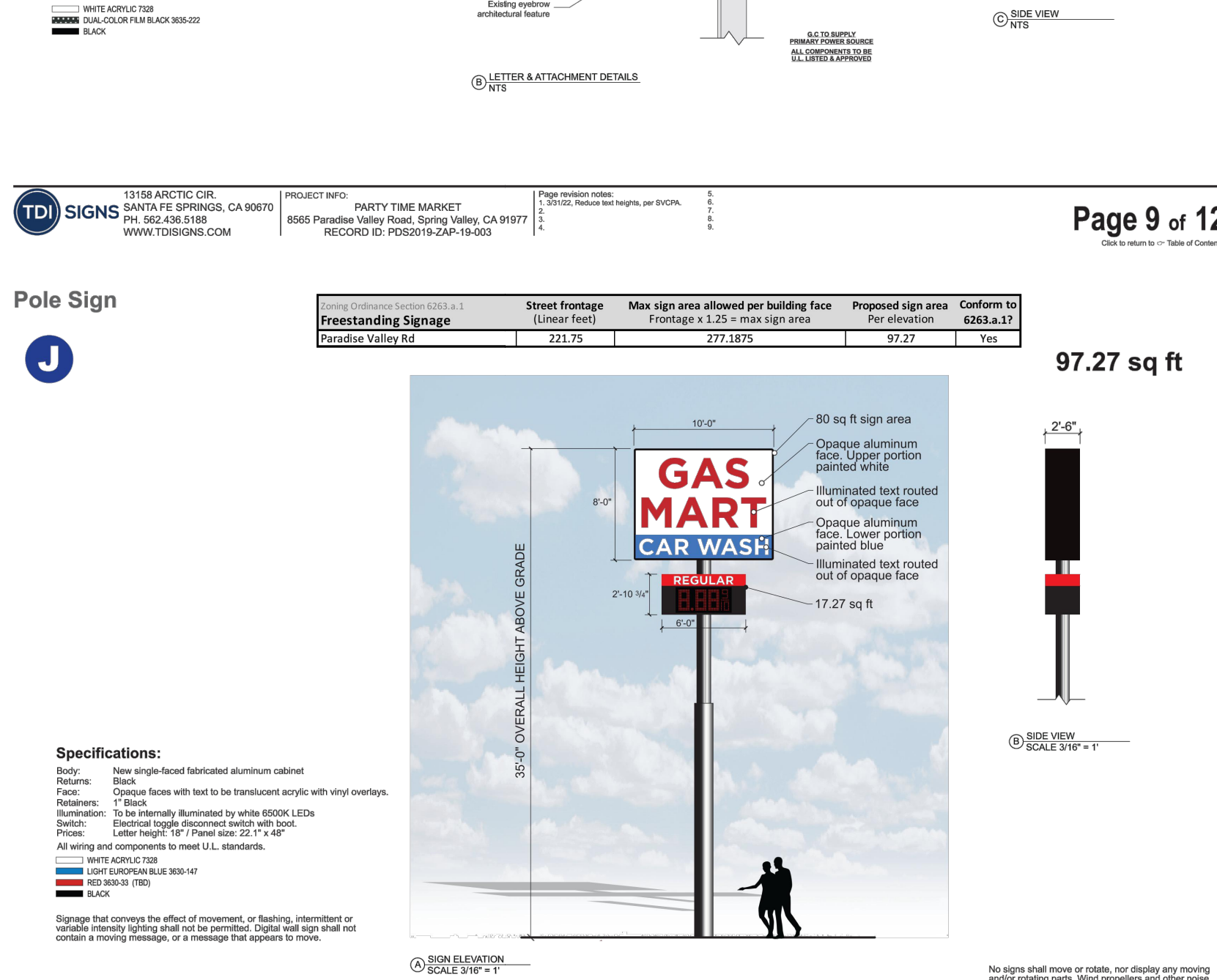


Car wash building	Building Frontage (Linear Feet)	Max sign area allowed per building face (Frontage x 3.5 = max sign area)	Proposed sign area per elevation	Conform to Ordinance Section 6263.2-2
West - Facing Elvelton Blvd	45	67.5	5.4	Yes
North - Facing Paradise Valley Rd	19	28.5	3.24	Yes
East - Facing lot interior	45	67.5	5.4	Yes
South	18	27	4.83	Yes
Total			18.87	

Carwash Building - Enter & Exit - Accessory Sign Details for Drive-Through Building



Pole Sign



ENTITLEMENT PROCESS NOTES

1. SIGNAGE THAT CONVEYS THE EFFECT OF MOVEMENT, OR FLASHING, INTERMITTENT OR VARIABLE INTENSITY LIGHTING SHALL NOT BE PERMITTED. DIGITAL WALL SIGN SHALL NOT CONTAIN A MOVING MESSAGE, OR A MESSAGE THAT APPEARS TO MOVE.
2. NO SIGNS SHALL MOVE OR ROTATE, NOR DISPLAY ANY MOVING AND/OR ROTATING PARTS, WIND PROPELLERS AND OTHER NOISE-CREATING DEVICES SHALL NOT BE PERMITTED.

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SPRING VALLEY, CA 91977

REVISIONS

NO.	DESCRIPTION	DATE
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2	PLANNING DEPT. COMMENTS	12-01-21
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4	PLANNING DEPT. COMMENTS	04-12-23
5	PLANNING DEPT. COMMENTS	03-12-23

PDS2019-ZAP-19-003,
PDS2020-ER-20-18-001

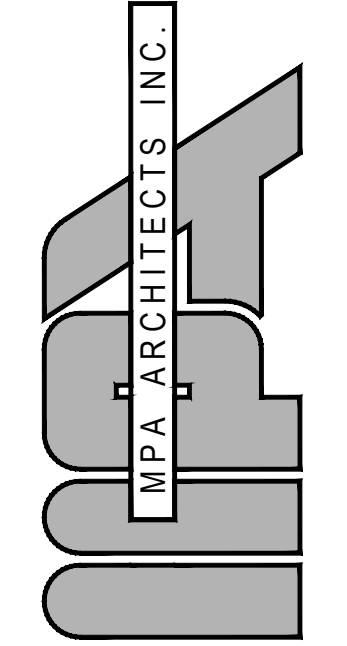
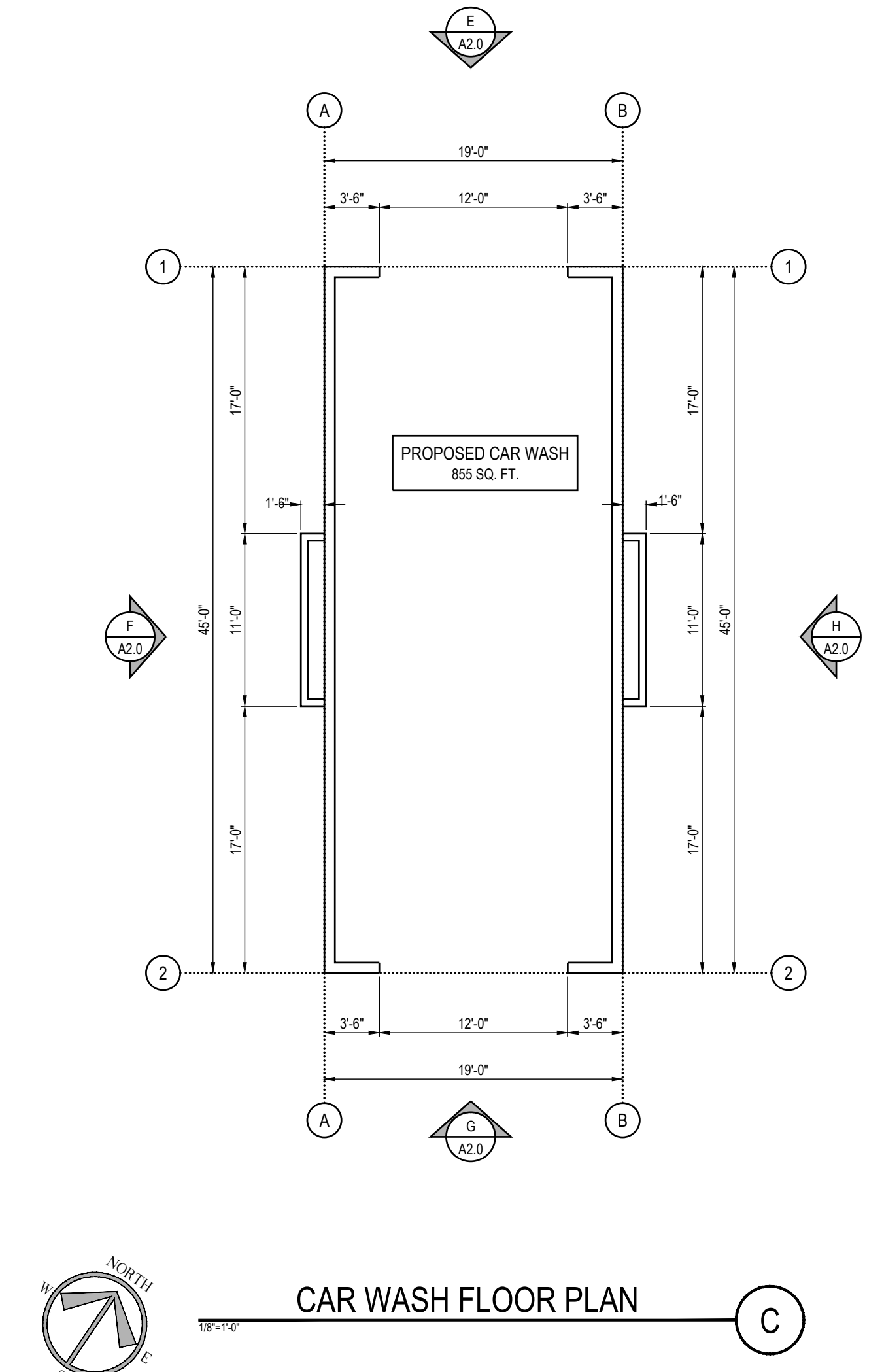
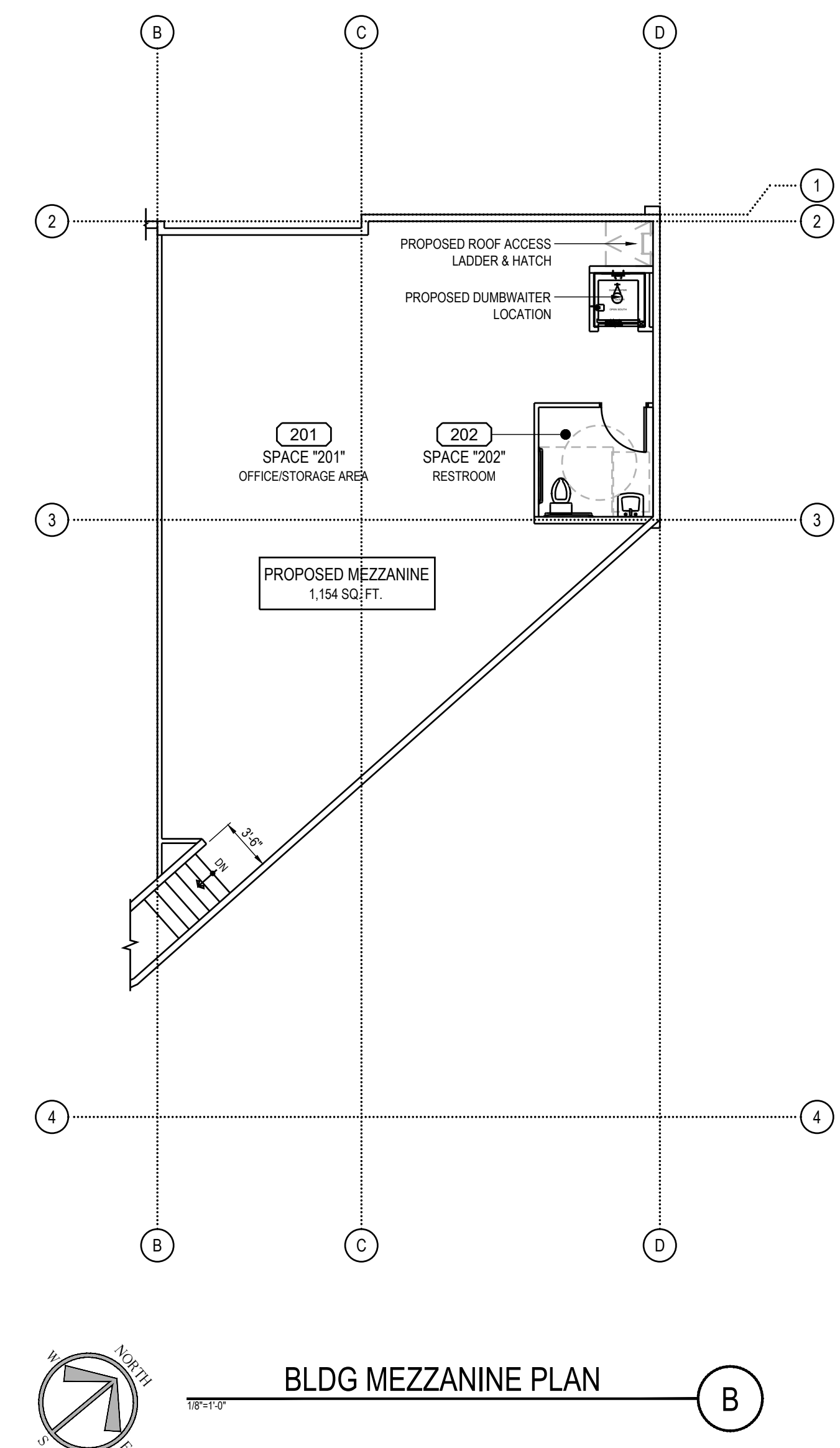
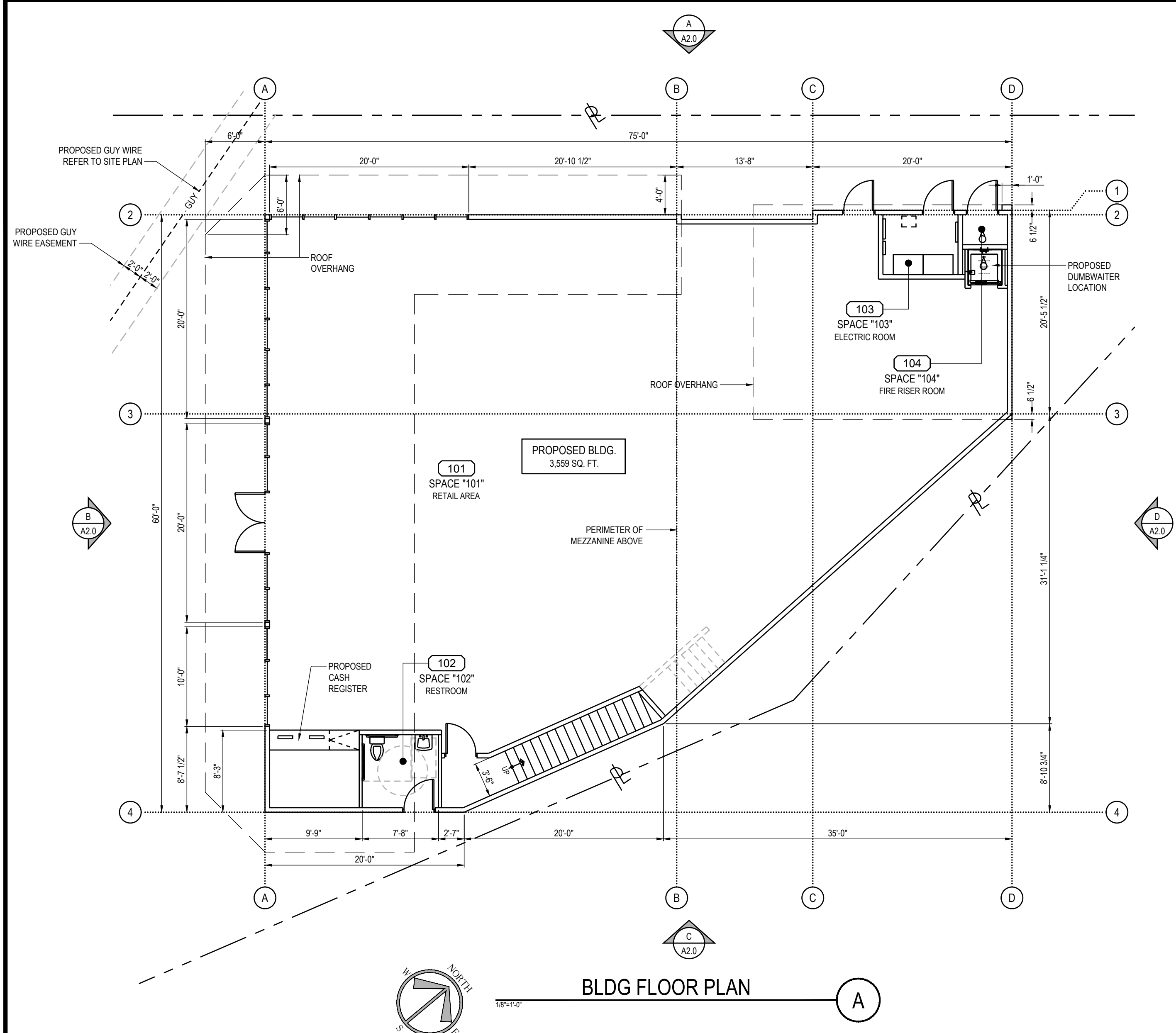
SHEET TITLE

SINAGE PLAN

DATE: 04-12-23 SCALE: AS NOTED

DRAWN BY: L. DALE DATE: 17084.DWG

PROJECT NO: 17084 SHEET NUMBER: AS.1.2



3578 30th Street
 San Diego, CA 92104
 V. 619.236.0595
 F. 619.236.0557
 www.mpa-architects.com
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REVISIONS

NO.	DESCRIPTION	DATE

PDS2019-ZAP-19-003,
 PDS2020-ER-20-18-001

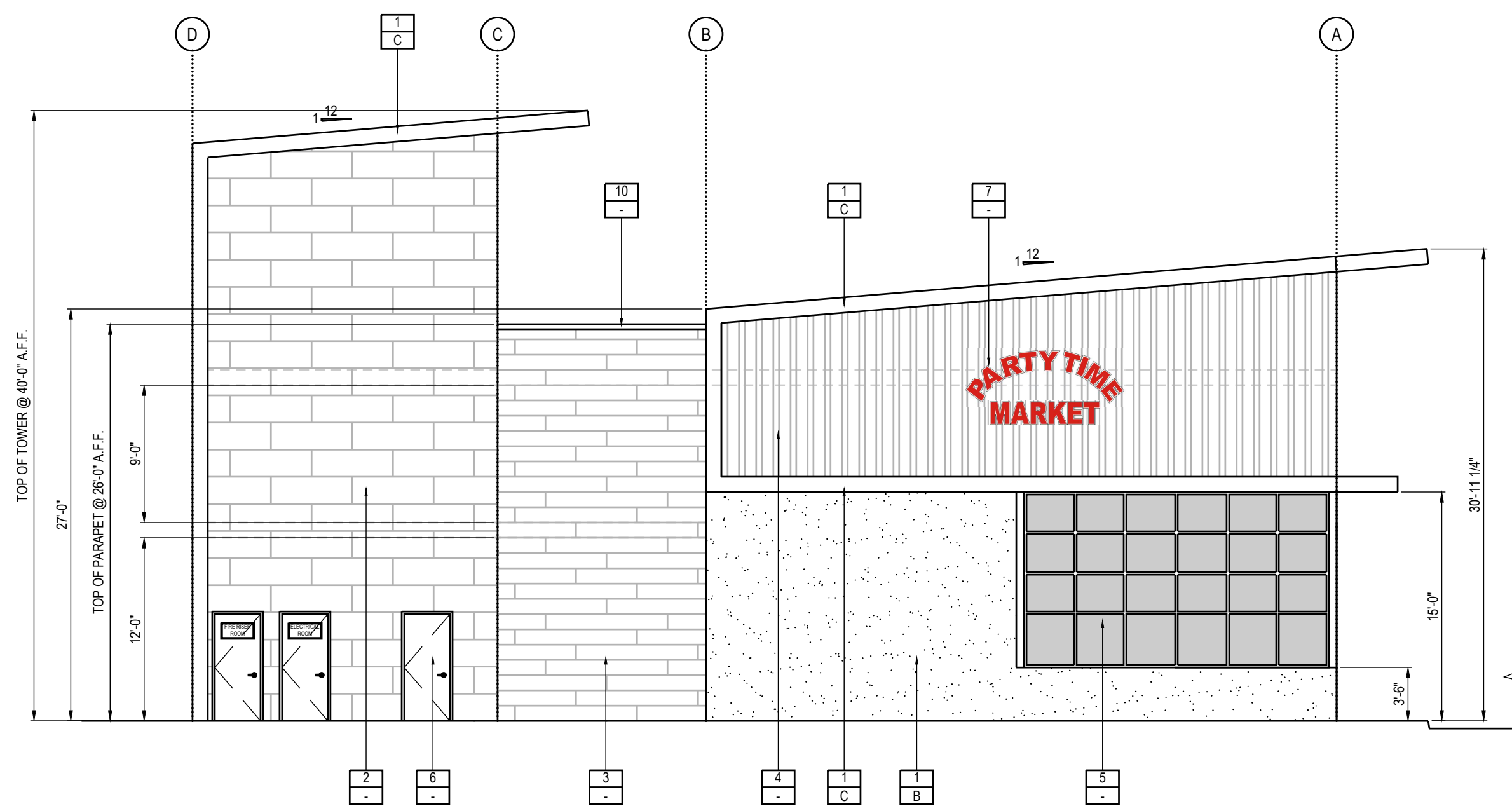
SHEET TITLE
FLOOR PLAN

DATE: 04-12-23 SCALE: AS NOTED
 DRAWN BY: L. DALE DATE: 17084.DWG
 CHECKED BY: SHEET NUMBER:
 PROJECT NO: 17084

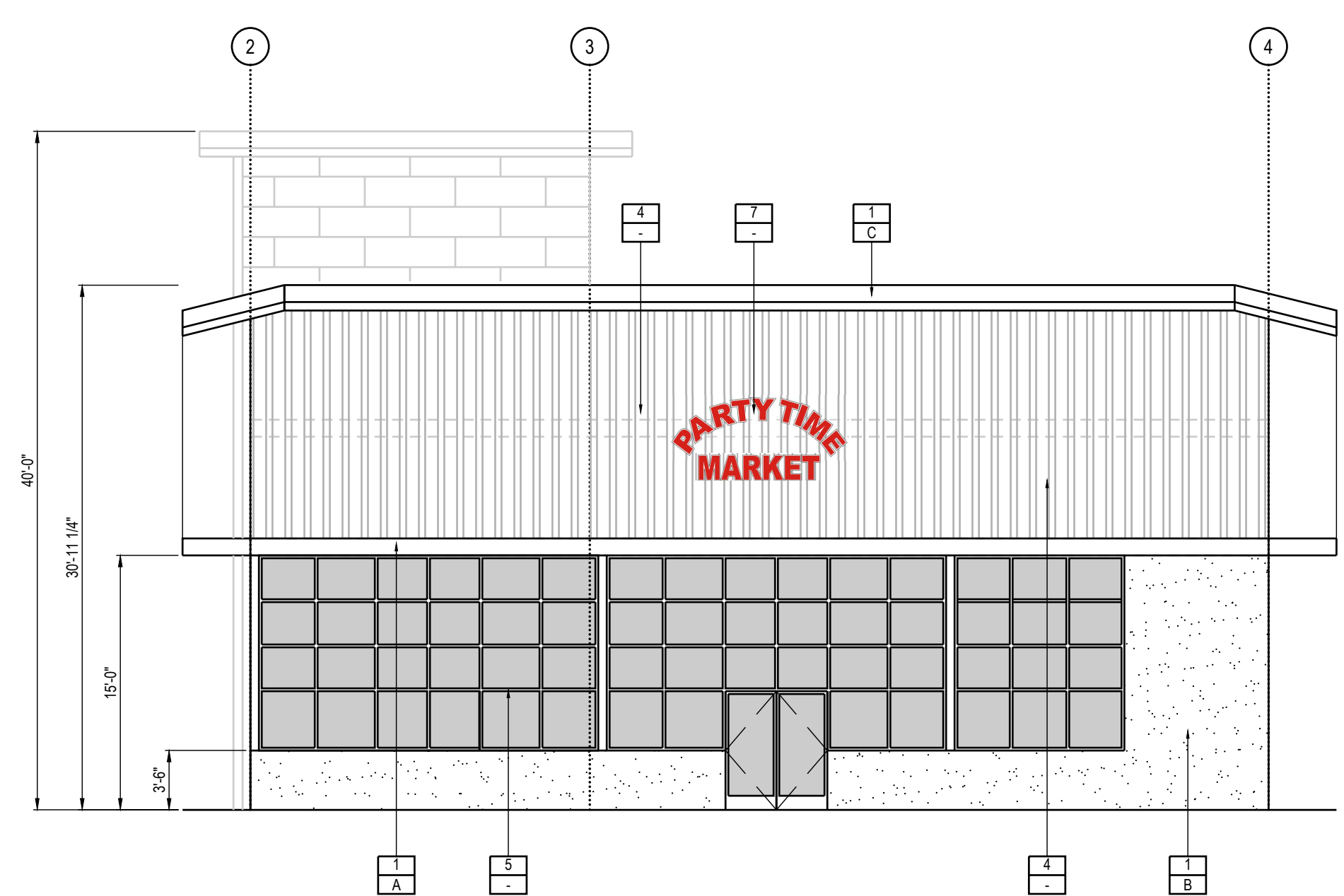
A1.0

NO.	DESCRIPTION	DATE
1	PLANNING DEPT. COMMENTS & PLAN COORDINATION	10/15/20
2	PLANNING DEPT. COMMENTS	12/02/21

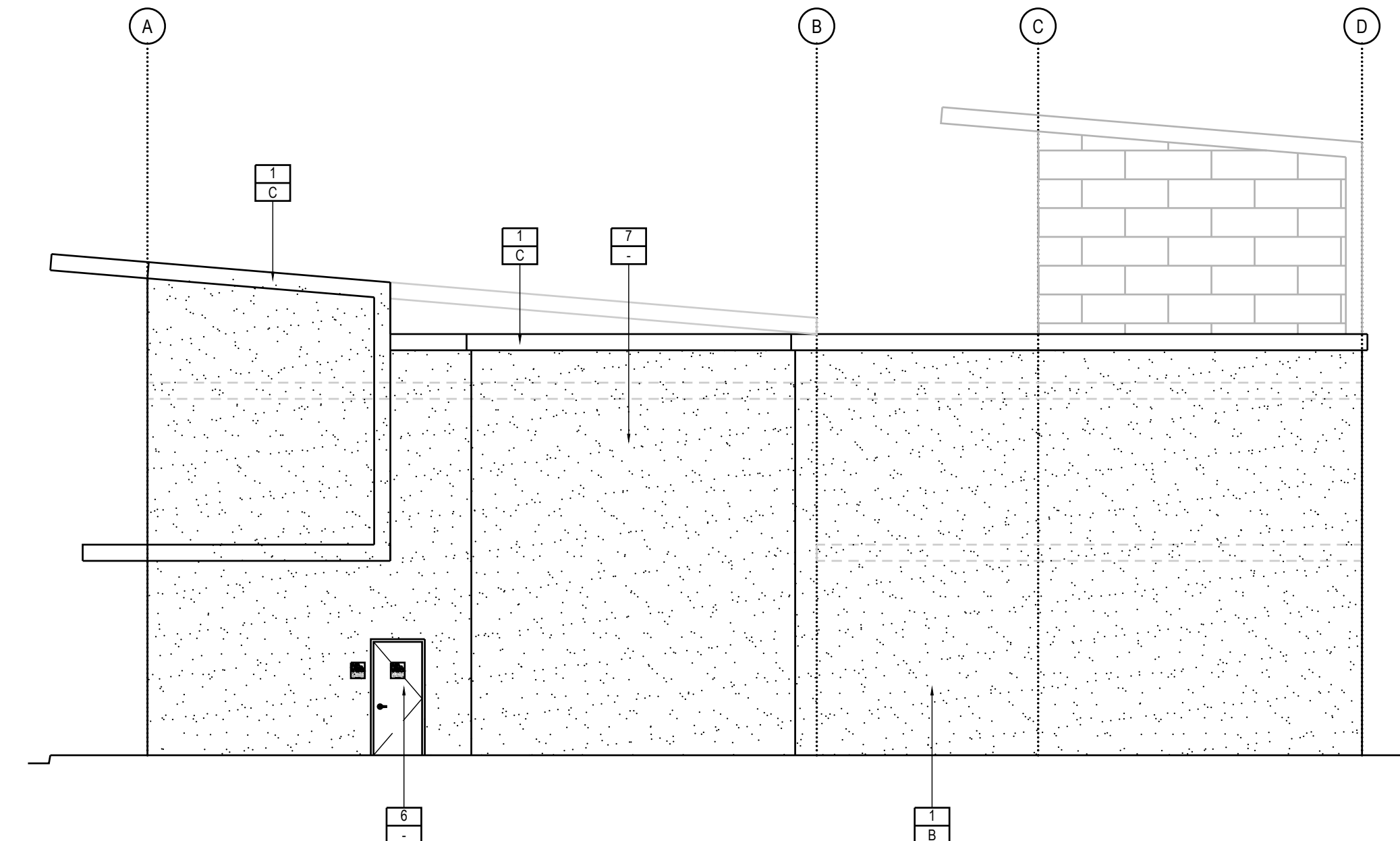
NOTE:
BUILDING PARAPETS SHALL SCREEN ALL ROOF TOP MECHANICAL EQUIPMENT.



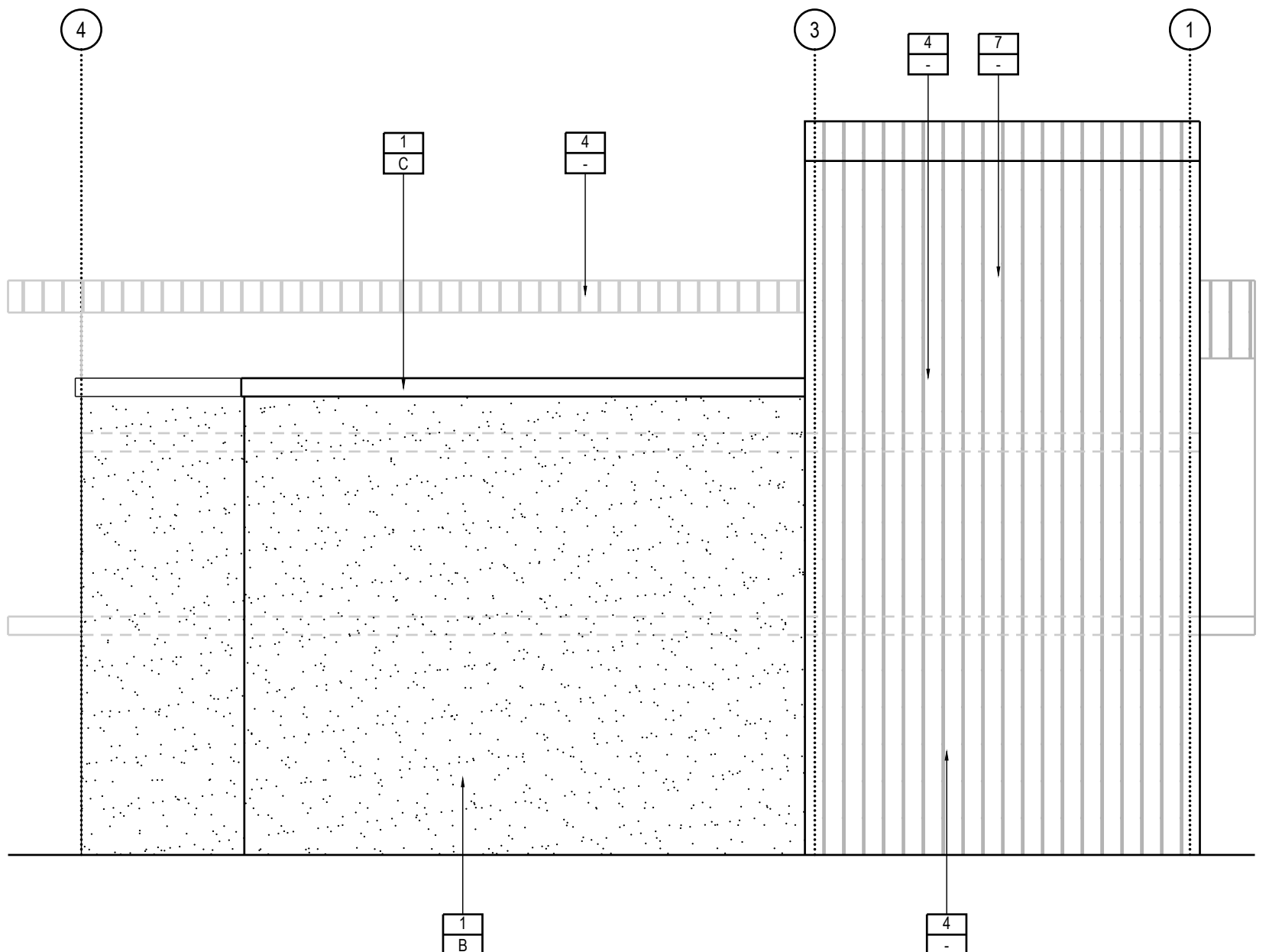
BLDG NORTHWEST ELEVATION (A)
(@ PARADISE VALLEY RD.)



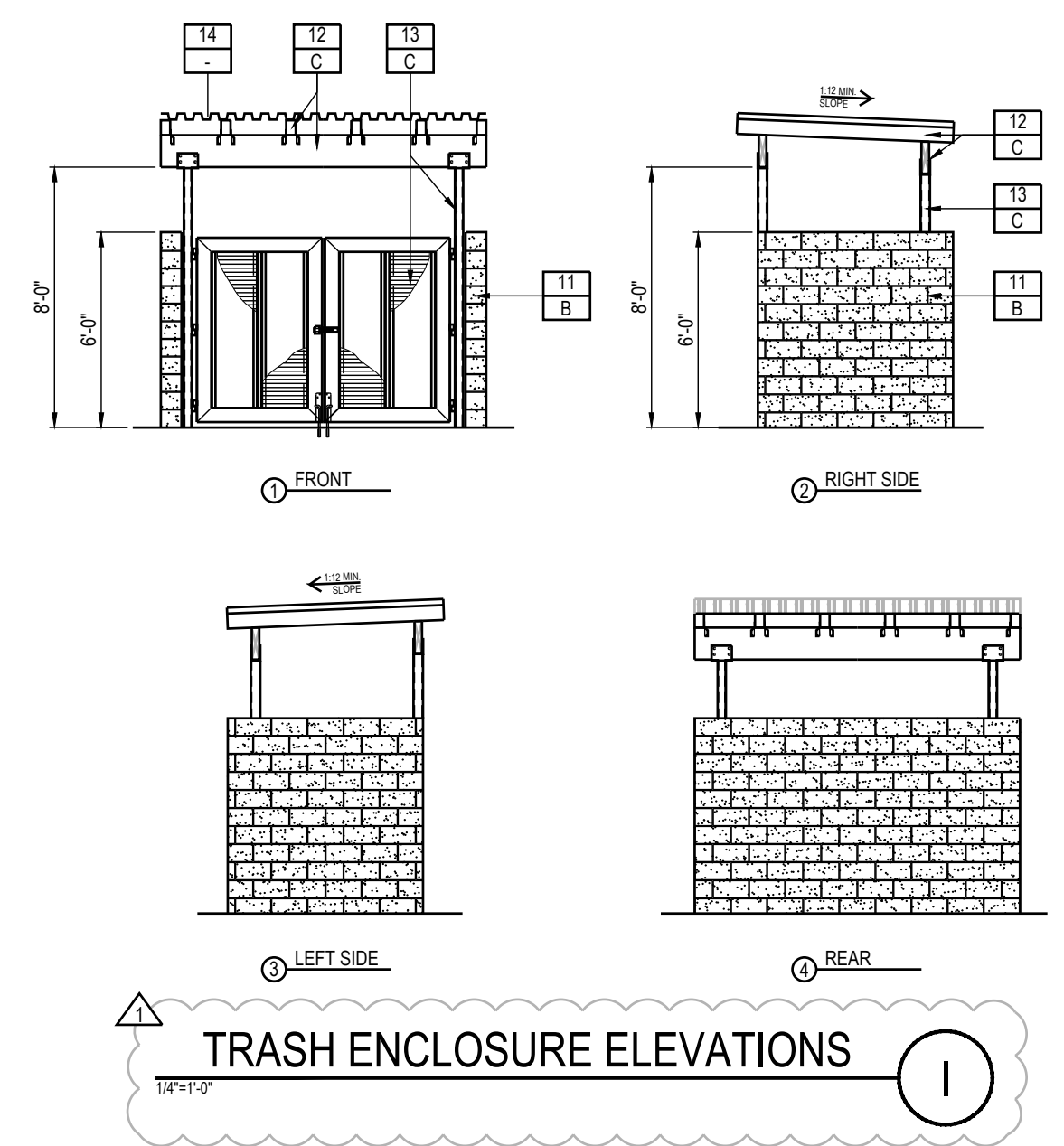
BLDG SOUTHWEST ELEVATION (B)
(@ ELKELTON BLVD.)



BLDG SOUTHEAST ELEVATION (C)



BLDG NORTHEAST ELEVATION (D)



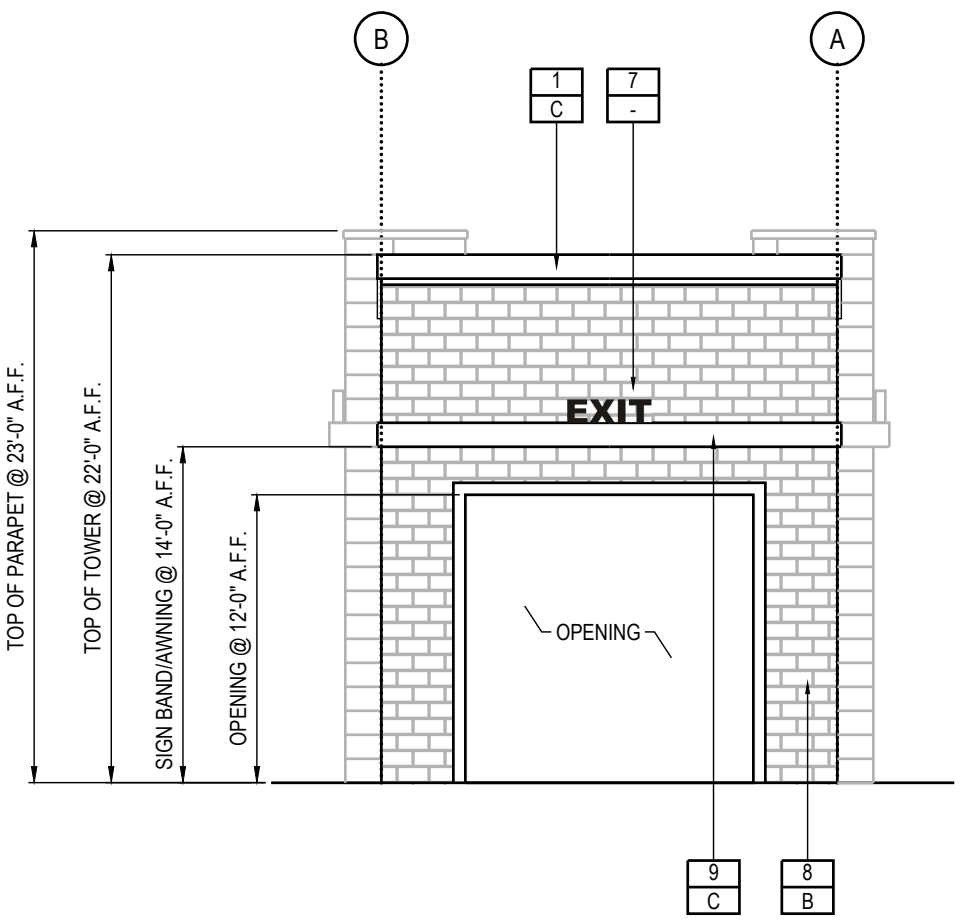
TRASH ENCLOSURE ELEVATIONS (I)

EXTERIOR MATERIALS

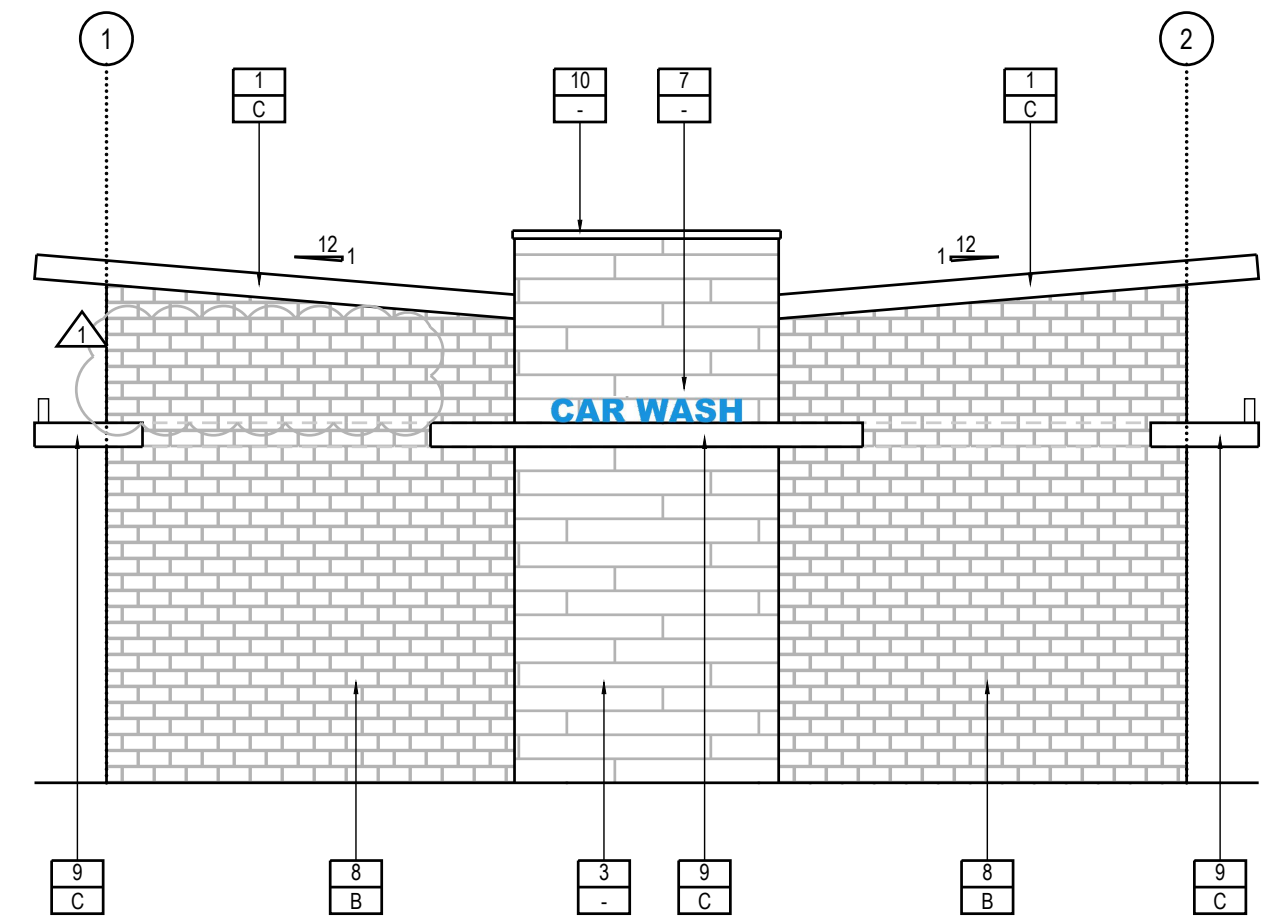
- 1 EXTERIOR CEMENT PLASTER WITH SMOOTH FINISH
- 2 NICHHA - TYPE: ILLUMINATION SERIES; COLOR: 3 COLORS (SW9161 'DUSTBLU' = 60%) (SW9178 'IN THE NAVY' = 20%) (SW7662 'EVENING SHADOW' = 20%)
- 3 NICHHA - TYPE: VINATGE WOOD PANELS; COLOR: CEDAR
- 4 AEP SPAN METAL PANEL; COLOR: ZINK GREY (ALT. COLONIAL RED)
- 5 STOREFRONT SYSTEM WITH ALUMINIUM FRAME AND CLEAR GLAZING
- 6 HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH ADJACENT SURFACE
- 7 PROPOSED EXTERIOR SIGN LOCATION. SHOWN FOR REFERENCE ONLY. ALL EXTERIOR SIGNS SHALL BE UNDER A SEPARATE PERMIT BY OTHERS.
- 8 8" PRECISION FACE C.M.U. BLOCK WALL
- 9 12"x 2"W METAL "C" CHANNEL
- 10 GA. METAL COPING, PAINTED TO MATCH ADJACENT SURFACE
- 11 8" SPLIT-FACE C.M.U. BLOCK WALL
- 12 EXPOSED WOOD FRAMING MEMBERS PER TRASH ENCLOSURE PLANS.
- 13 METAL GATES & STEEL COLUMNS PER TRASH ENCLOSURE PLANS.
- 14 METAL RIB ROOF U-PANEL 22 GA. W/ #6 SCREWS @ 8" O/C.

EXTERIOR COLORS

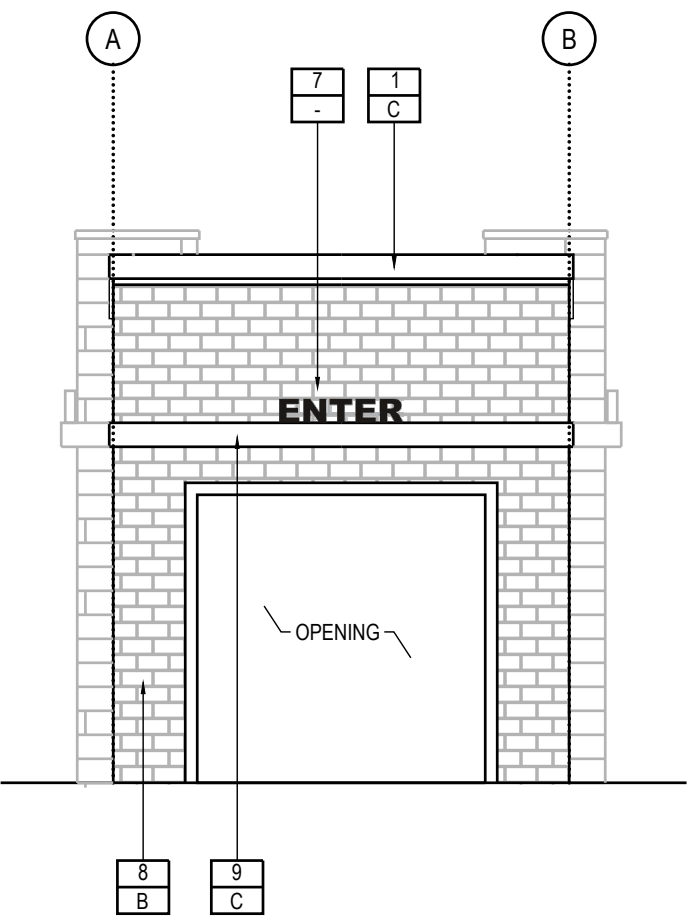
- A COLOR TO MATCH: SHERWIN-WILLIAMS # SW6871 'POSITIVE RED'
- B COLOR TO MATCH: SHERWIN-WILLIAMS # SW7662 'EVENING SHADOW'
- C COLOR TO MATCH: SHERWIN-WILLIAMS # SW7005 'PURE WHITE'
- D



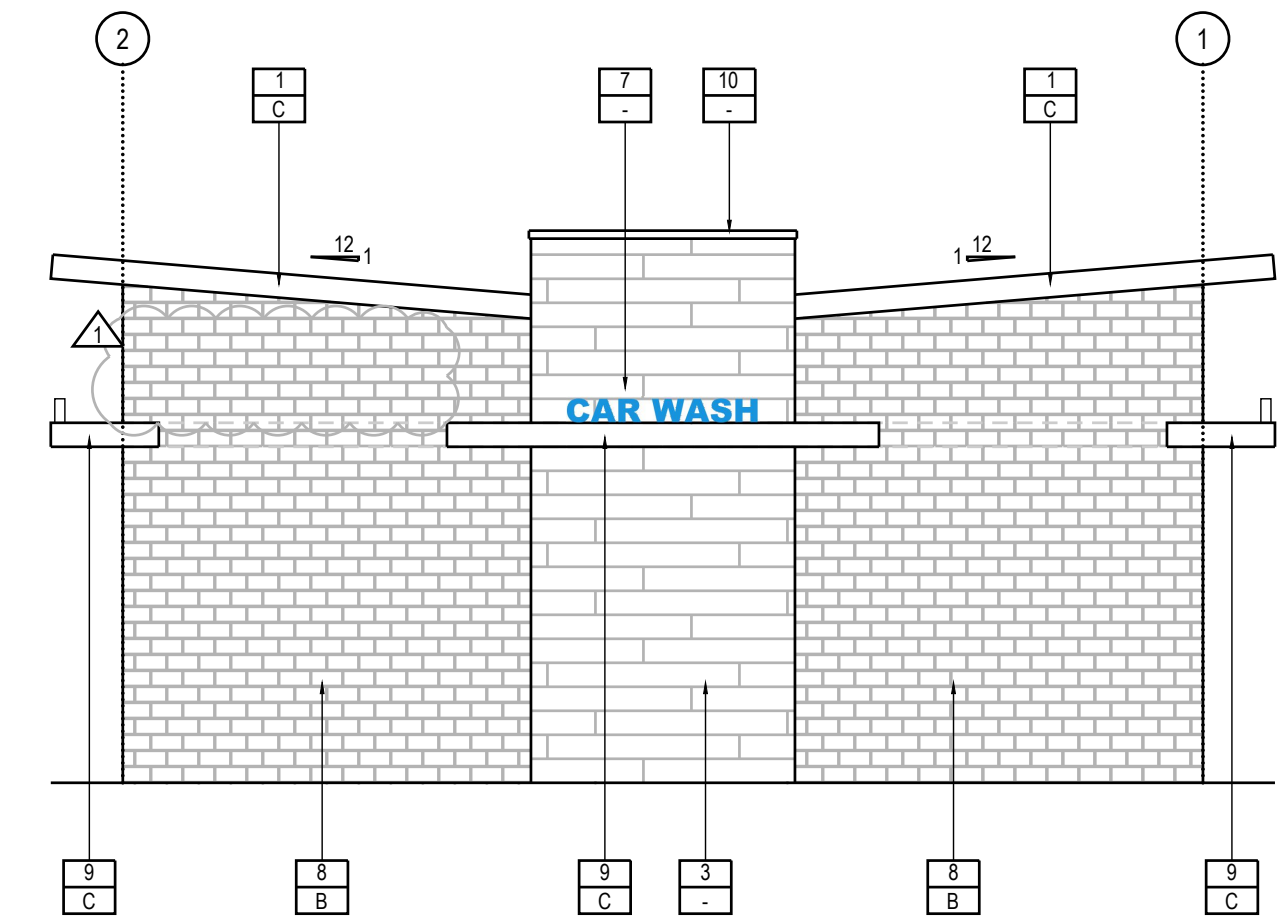
CAR WASH NORTHWEST ELEVATION (E)
(@ PARADISE VALLEY RD.)



CAR WASH SOUTHWEST ELEVATION (F)
(@ ELKELTON BLVD.)



CAR WASH SOUTHEAST ELEVATION (G)



CAR WASH NORTHEAST ELEVATION (H)



SOUTHWEST ELEVATION
 (@ ELKELTON BLVD.) (A)



NORTHWEST ELEVATION
 (@ ELKELTON BLVD.) (B)



3578 30th Street
 San Diego, CA 92104
 V. 619.236.0595
 F. 619.236.0557
 www.mpa-architects.com

MEMBER
 AMERICAN INSTITUTE OF ARCHITECTS

CLIENT

JOSEPH BRIKHO
 245 HIGHLAND AVE.
 NATIONAL CITY, CA 91950

P: (619) 726.7741
 F: (619) 954.9705

PROJECT

A PROPOSED COMMERCIAL DEVELOPMENT LOCATED AT:
 NEC PARADISE VALLEY RD. & ELKELTON PL.
 SPRING VALLEY, CA 91977

REVISIONS

NO.	DESCRIPTION	DATE

PDS2019-ZAP-19-003,
 PDS2020-ER-20-18-001

SHEET TITLE

COLOR RENDERINGS

DATE:	04-12-23	SCALE:	AS NOTED
DRAWN BY:	L. DALE	DRAWING:	17084.DWG
CHECKED BY:	-	SHEET NUMBER:	-
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SOUTHEAST ELEVATION
 (@ ELKELTON BLVD.) C



SOUTHWEST ELEVATION
 (@ PARADISE VALLEY RD. & ELKELTON BLVD.) D



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