

2.0 LAND USE AND DESIGN

2.1 DESIGN VISION

The Valiano community is unique in both its natural and manmade setting. The natural attributes of the site, expansive vistas, oak studded grasslands and semi-rural character has been an attraction for many residents over the years. The existing agriculture provides a unique opportunity to continue the agricultural tradition of the site and area. Another unique opportunity of the Plan area is its location near regional transportation infrastructure (SR-78 and SPRINTER), employment centers, services, educational campuses and shopping opportunities.

The design addresses basic community planning goals and concepts as well as community wide issues of conservation and design. These goals include the preservation of the hillsides and open space through careful layout and orientation of roads and neighborhoods. These goals include:

- Design the major roadway system as an amenity that will become a unique feature and centerpiece of the community.
- Create neighborhoods that are linked by the community roadway with a series of interconnected trails, sidewalks and open space. A network of trails provides opportunities for physical activity to improve fitness and mental health. These will connect residents to the regional trail system and community center. Neighboring residents will also be connected to the regional trail system.
- Maintain the semi-rural character of the community by using natural materials that enhance the existing unique features and identity of the Site.
- Create a series of built features or icons that are found throughout the community that bring together architecture and landscape and establish a distinct identity.
- Protect open space for a variety of informal outdoor experiences where regular use is encouraged through careful placement and attractive design.
- Provide for the efficient use of water through the use of natural drainage systems, the onsite well, drought tolerant landscaping and use of pervious surfaces.

2.1.1 Land Use Plan

The Valiano Specific Plan (Plan) is an approximately 238-acre residential community. The Plan is comprised of two primary components, the residential neighborhoods and the open space, park and recreation areas.

The Plan has been designed to demonstrate sustainable design practices through a variety of measures including energy efficient home design, functional street trees, native and drought resistant plant materials, and Low Impact Development (LID) storm water facilities, which are intended to reduce the overall footprint of the community. A significant amount of vegetation is proposed and many existing trees are preserved. A system of interconnected public and private trails provides an alternative mode of travel. The Plan shall use landscape shading of paved and hardscape surfaces and employ the use of high reflective and porous materials that will significantly reduce the heat gain of pavements by the sun. The Plan shall use cool pavement technology where possible for roadways and sidewalks to help reduce energy consumption, air pollution, and greenhouse gas emissions. The final location of the cool pavement areas will be identified during final engineering.

In addition to regulatory requirements, the Project would incorporate several design features and best management practices to reduce construction and operational GHG emissions. The energy features would also be verified in the Title 24 Compliance Report submitted during the building permit process. These features include:

- Participation in the California Green Builder Program;
- Enhanced heating, ventilation and air condition (HVAC) systems and duct seals insulation (15 percent above 2008 Title 24);
- Enhanced ceiling, attic and wall insulation (15 percent above 2008 Title 24);
- High-efficiency water heaters (with 19 percent of residential water heating needs accommodated by solar water heaters);
- Energy-efficient three-coat stucco exteriors;
- High-efficiency window glazing;
- Energy Star appliances and energy-efficient lighting;
- Rooftop solar photovoltaic panels that would supply at minimum of 30 percent of residential electricity needs per planning area (Neighborhoods 1-5);
- Residential electric vehicle charging stations that would provide electrical capacity and appropriate circuitry in proximity to vehicle parking areas and/or garages;

- Parallel hot water piping or hot water recirculation systems;
- Buyer-optional high-efficiency clothes washers;
- Drought-tolerant landscaping plan;
- High efficiency drip irrigation systems;
- The use of reclaimed water from the proposed wastewater treatment and water reclamation facility (WTWRF) for outdoor irrigation;
- The Project would provide areas for storage and collection of recyclables and yard waste for each residence;
- Maximization of shade and minimization of impervious surfaces;
- Low-Volatile Organic Compounds (VOC) coatings and sealants during construction and operation;
- Natural gas fireplaces;
- Traffic calming measures where allowed;
- Use of Tier 4 construction equipment;
- Building products that have at least 10 percent recycled content; and
- Use of recycled materials for flooring, and sustainable wood products and other recycled materials where possible.

2.1.2 Residential Neighborhoods

Residential development is proposed in five neighborhoods within the Plan area. **Figure 2-1** depicts the neighborhood layout. Each neighborhood will have a unique housing product type. Descriptions of each neighborhood, including the number of units and average lot size is provided below.

Neighborhood 1

Neighborhood 1 includes 96 single family residential units. Lot sizes in Neighborhood 1 will be a minimum of approximately 5,630 square feet with an average lot size of approximately 8,300 square feet. Two housing types are planned within this area including: (1) a cluster of detached courtyard homes sharing a common lot with home sizes ranging from approximately 1,800 to 2,100 s.f. and (2) standard lots with homes ranging from approximately 2,350 s.f. to 2,750 s.f. Second Dwelling Units are not allowed in Neighborhood 1.

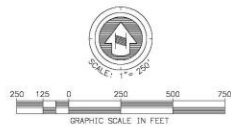
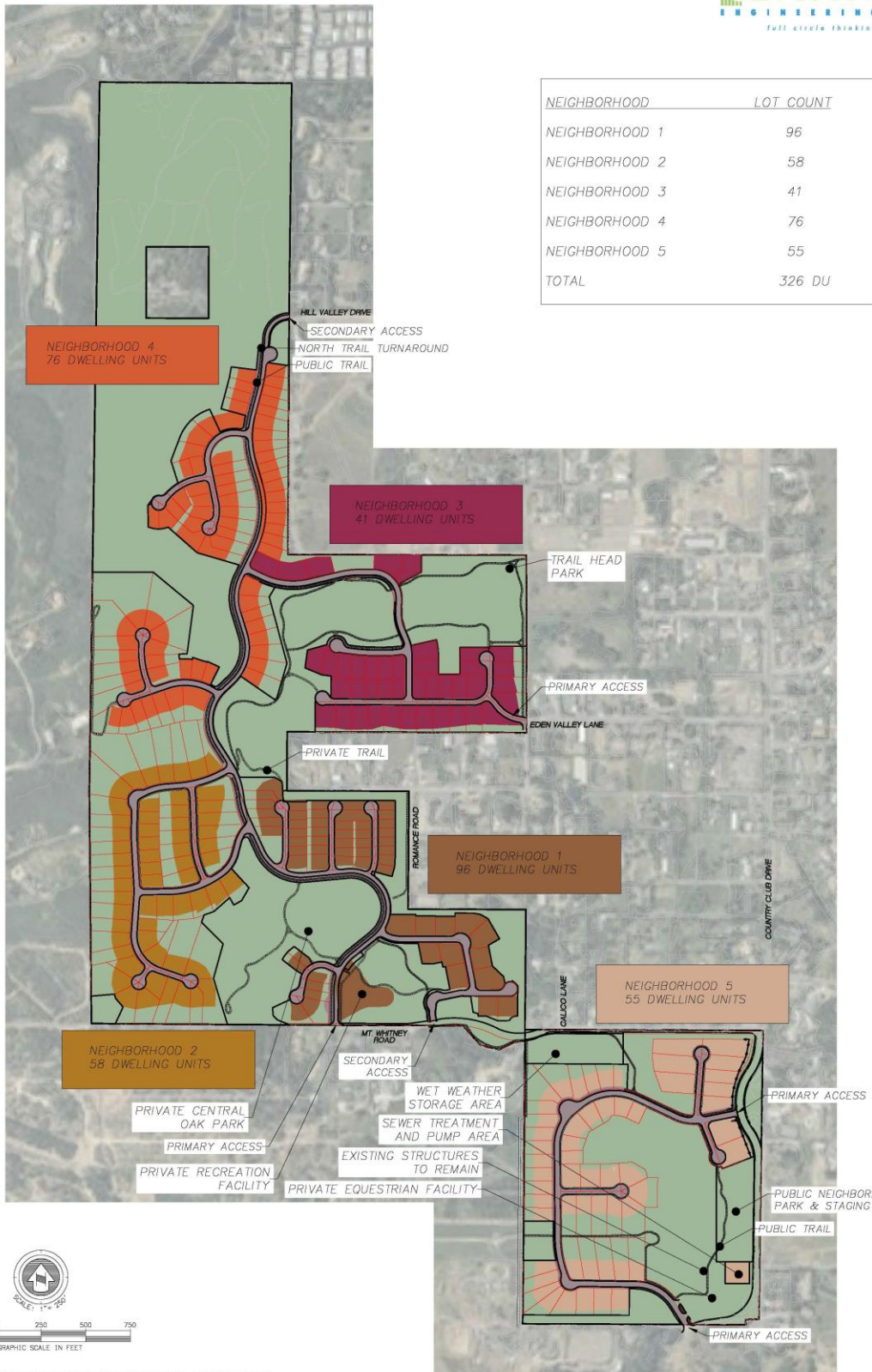
Figure 2-2a shows a typical lot configuration, setback and product footprint for this neighborhood. Lots will be a minimum of 50 feet wide and 100 feet deep. Homes will be set back five feet from the side yard

lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home.

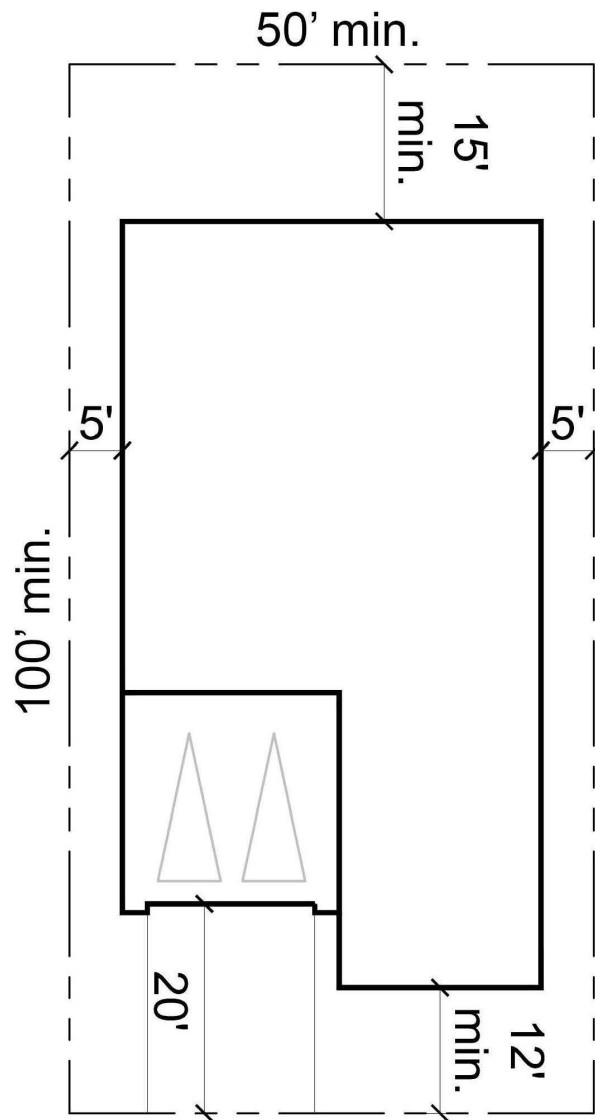
Figure 2-2b shows a typical courtyard configuration, setback and product footprint for the smaller lot homes. These detached condos share a common lot with a minimum of 100 feet wide and 120 feet deep. Homes will be set back 5 feet from the side yard lot lines, a minimum of 20 feet from the rear lot line, and a minimum of 15 feet from the front lot line. There will be a minimum of 10 feet between homes. Garages are oriented to the interior shared driveway.

Neighborhood 2

Neighborhood 2 includes 58 single family residential units. Lots are clustered to limit impact footprints. Lot sizes in Neighborhood 2 will be a minimum of 8,620 square feet with an average lot size of approximately 19,200 square feet. Neighborhood 2 homes will range from approximately 3,600 s.f. to 4,000 s.f. in size. Neighborhood 2 can accommodate 23 Second Dwelling Units.



VALIANO NEIGHBORHOOD EXHIBIT
MARCH 17, 2015
SCALE: 1"=250'

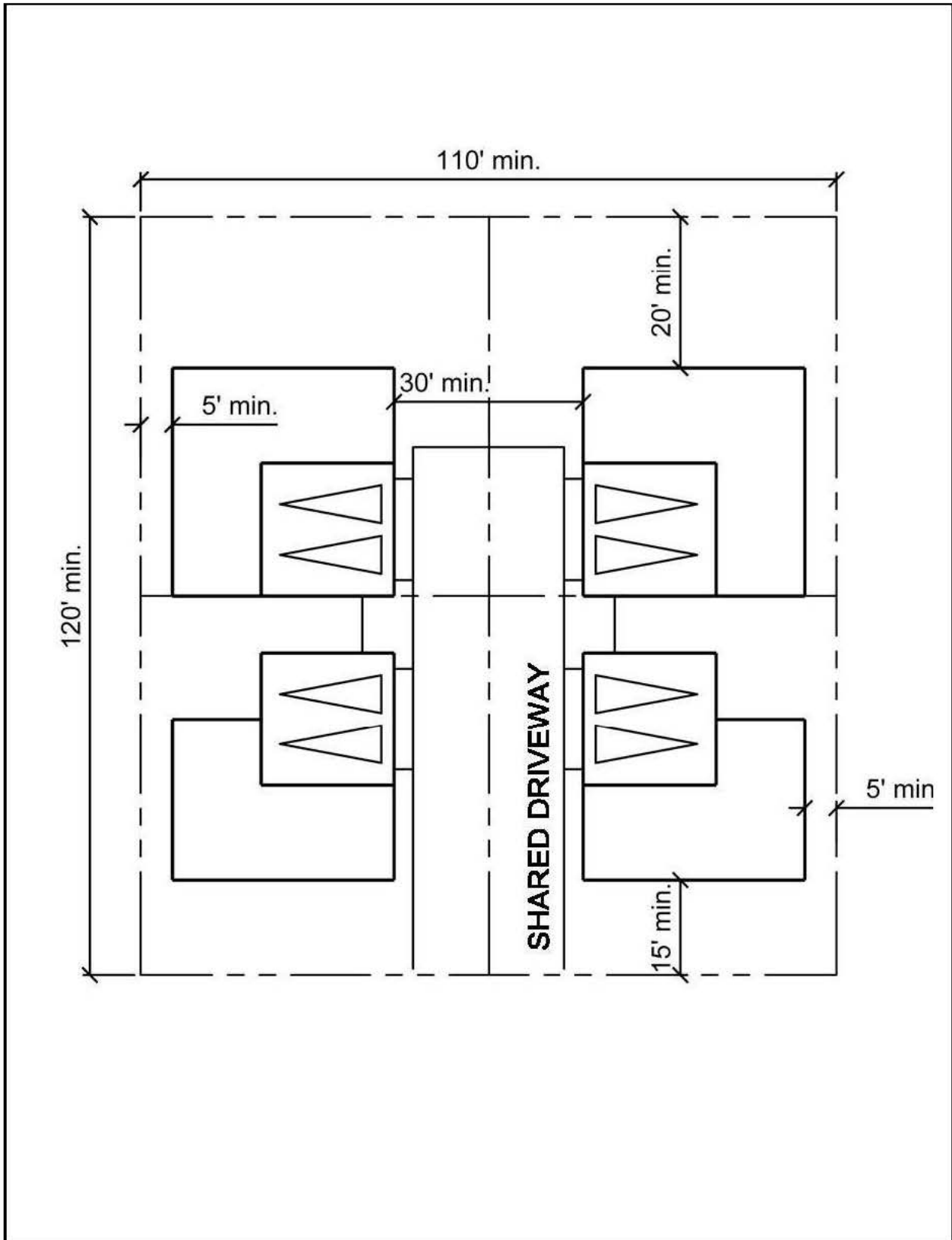


NEIGHBORHOOD 1

Source: Summa Architecture

Valiano Specific Plan
County of San Diego

Figure 2-2a
Neighborhood 1 - Typical Configuration
Footprint and Setbacks



Source: Summa Architecture

Valiano Specific Plan
County of San Diego

Figure 2-2b
Neighborhood 1 - Courtyard Configuration
Footprint and Setbacks

Figure 2-3a shows a typical lot configuration, setback and product footprint for this neighborhood. Lots will be a minimum of 70 feet wide and will be a minimum of 113 feet deep. Homes will be set back five feet from the side yard lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home. Neighborhood 2 may have Second Dwelling Units which are ideal for multi-generational families. The unit could be attached or detached and would be a minimum of 8 feet from the rear lot line and no greater than 50 percent of the width of the main structure. **Figure 2-3b** presents configuration examples for these secondary units. Secondary Dwelling Units would comply with section 6156(x) and other applicable sections of the Zoning Ordinance, except that they would be allowed on lots smaller than 20,000 square feet as long as they met the setbacks set by this Specific Plan and the Vesting Site Plan. In addition, Second Dwelling Units within the Valiano Specific Plan could provide one parking space instead of two because they will not exceed 640 square feet and are expected to house extended family members instead of two-car families.

Neighborhood 3

Neighborhood 3 includes 41 single family residential units. Lots are clustered to limit impact footprints and to maximize the areas for the Trail Head recreation feature and trail components. Lot sizes in Neighborhood 3 will be a minimum of 9,650 square feet with an average lot size of over 14,400 square feet. Neighborhood 3 homes will range from approximately 3,800 s.f. to 4,200 s.f. in size.

Lot configurations, setbacks and product footprints for this neighborhood will be the same as Neighborhood 2. Garages will be attached and set back from the front of the home.

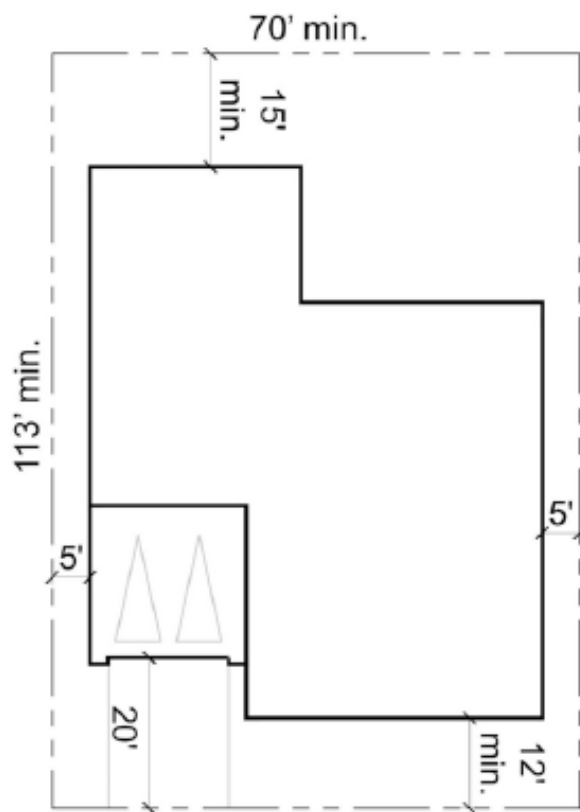
Neighborhood 3 can also accommodate up to 11 Second Dwelling Units. The unit could be attached or detached, up to 640 square feet in size, and would be a minimum of 8 feet from the rear lot line and no greater than 50 percent of the width of the main structure.

Neighborhood 3 can also accommodate an animal enclosure on some lots. Animal enclosures must have the same front setback as the home, a side yard setback of 15 feet and a rear seatback of 10 feet. **Figure 2-4** depicts a typical layout and setback for a lot that includes an animal enclosure. The project CC&Rs and HOA would allow grazing of leisure and market animals in residential fenced front yards.

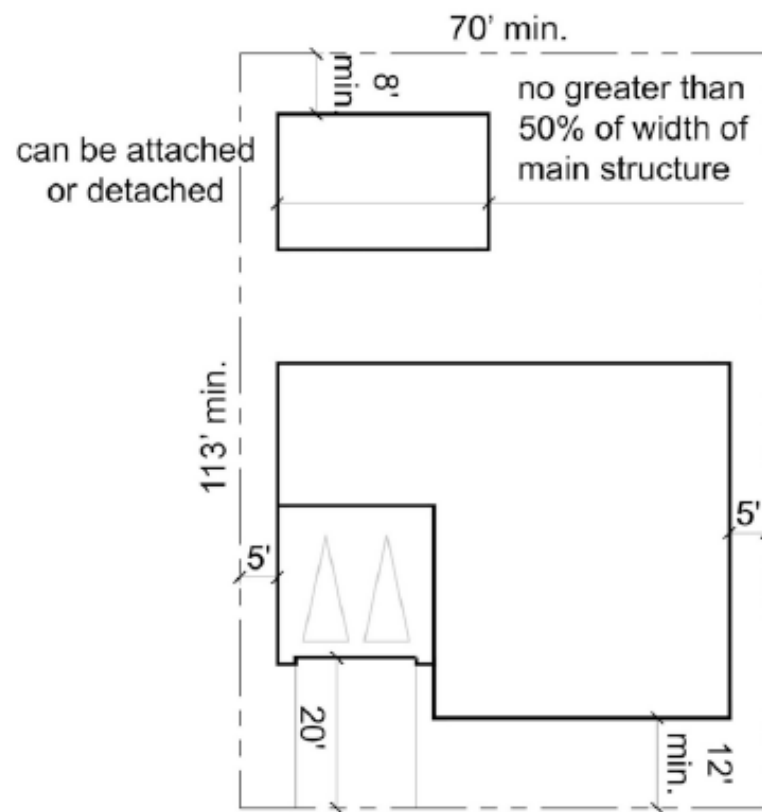
Neighborhood 4

Neighborhood 4 includes 76 single family residential units. Lots are clustered to limit impact footprints and to maximize retention of existing agriculture in the Plan area. Lot sizes in Neighborhood 4 will be a minimum of 7,000 square feet with an average lot size over 14,900 square feet. Neighborhood 4 homes will range from approximately 3,200 s.f. to 3,600 s.f. in size.

Figure 2-5.a shows a typical lot configuration, setback and product footprint for this neighborhood. Lots will be a minimum of 63 feet wide and 105 feet deep. Homes will be set back five feet from the side yard lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home. Second Dwelling Units would not be allowed in Neighborhood 4.

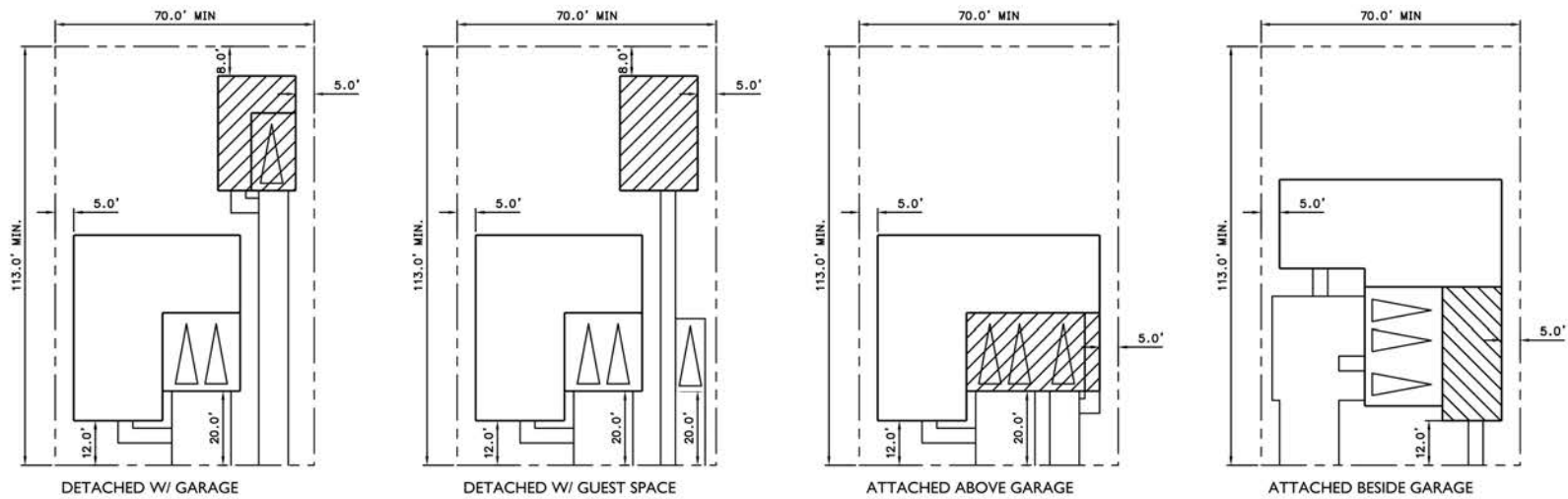


NEIGHBORHOOD 2, 3



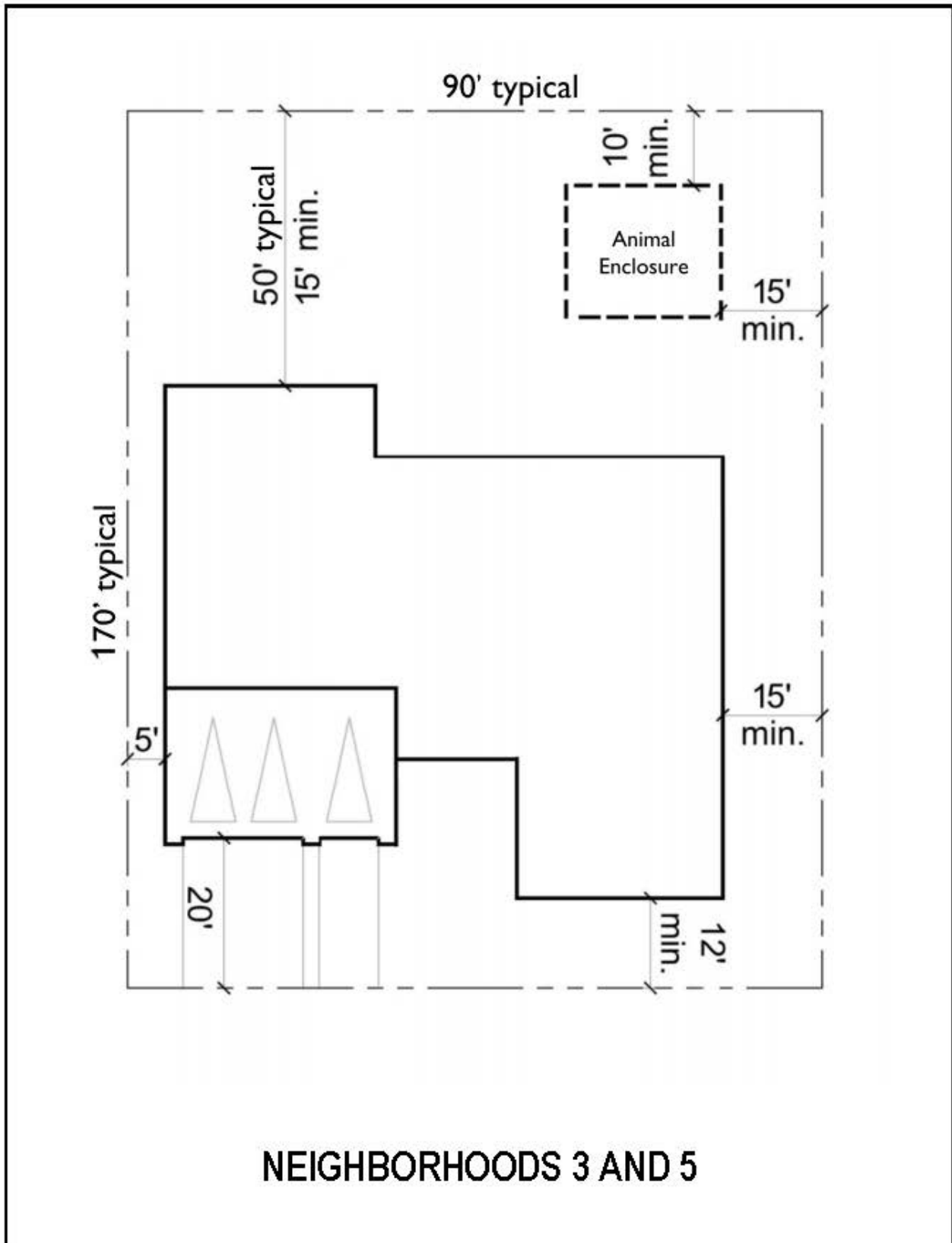
NEIGHBORHOOD 2, 3
MULTI-GENERATION SETBACK

Source: Summa Architecture



EXAMPLES OF SECONDARY UNIT CONFIGURATIONS

Source: Summa Architecture



Source: Summa Architecture

Valiano Specific Plan
County of San Diego

Figure 2-4
Neighborhoods 3 and 5
Footprint and Setbacks

Neighborhood 5

Neighborhood 5 includes 55 single family residential units, some with wider and deeper lots to allow horse and market animal keeping. Lots are clustered to limit impact footprints and to maximize the retention of an existing water feature and barn within this neighborhood. Lot sizes in Neighborhood 5 are a minimum of 8,350 square feet with an average lot size of approximately 17,200 square feet. Neighborhood 5 homes will range from approximately 4,100 s.f. to 4,600 s.f. in size. Neighborhood 5 can accommodate up to 20 Second Dwelling Units.

Figure 2-4 shows a typical lot configuration, set back and product footprint for this neighborhood. Lots will be a minimum of 50 feet wide and 100 feet deep. Homes will be set back five feet from the side yard lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home.

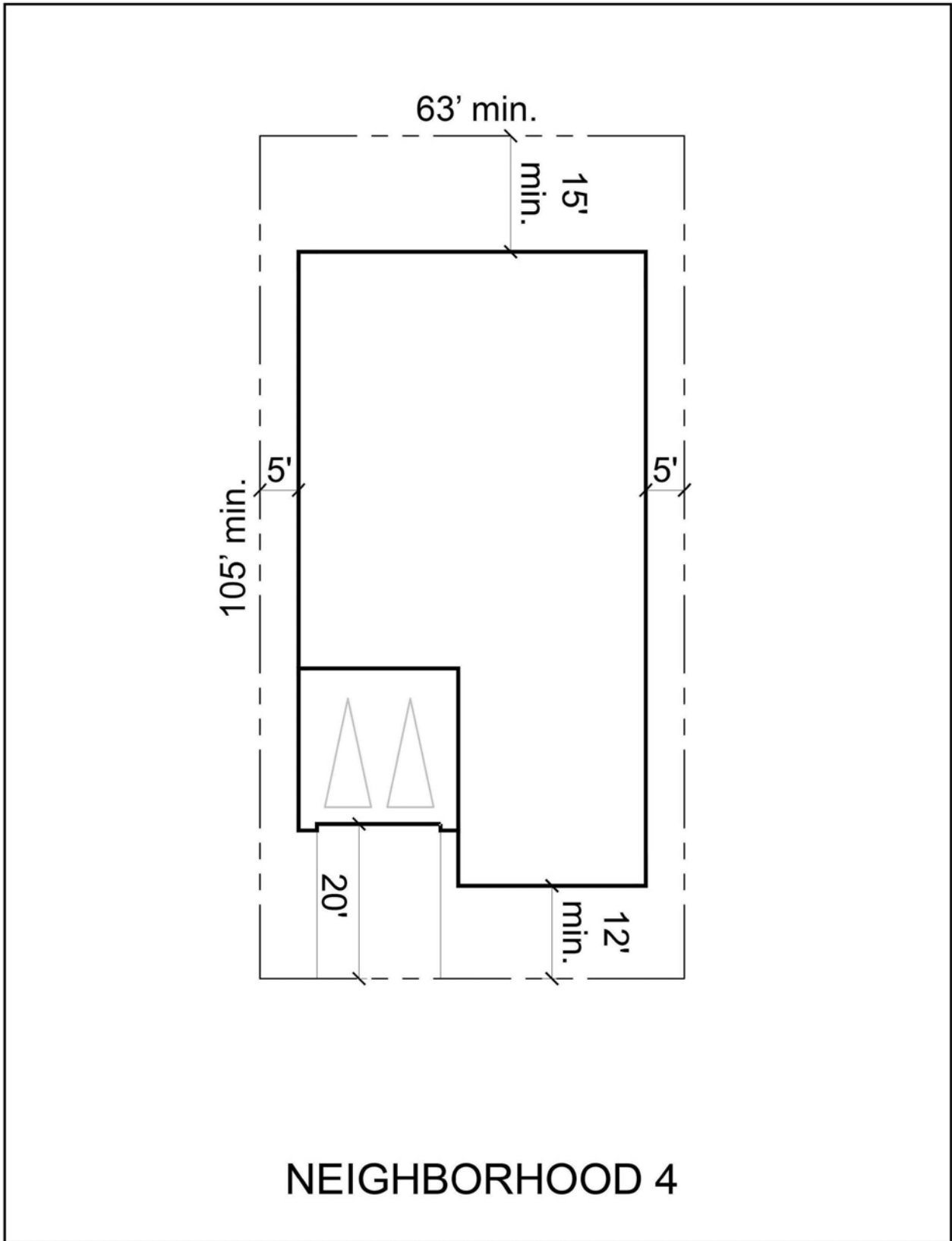
Neighborhood 5 can also accommodate an animal enclosure on some lots. Animal enclosures must have the same front setback as the home, a side yard setback of 15 feet and a rear setback of 10 feet. The project CC&Rs and HOA would allow grazing of leisure and market animals in residential fenced front yards.

Subdivision Ordinance

Section 84.401.b of the Subdivisions Ordinance states that subdivisions should have a minimum lot size of 6,000 s.f. Six reduced sized lots were included in the Plan in Neighborhood 1 to allow the development to comply with the County's General Plan policies regarding clustering and the desire to reduce the development foot print and maximize open space. A clustered design is more beneficial than meeting the standard minimum lot size because it allows for the preservation of larger blocks of resources, including biological open space and agricultural open space areas.

Section 84.401.d of the Subdivision Ordinance states that subdivisions should have 50-foot frontage independent of side yard setbacks. With 5-foot side yard setbacks, this means the required frontage is 60 feet. The Plan includes some lots in Neighborhoods 1, 4 and 5 that are less than 60 feet wide. Neighborhoods 1 and 5 are located in flatter areas of the site that will not require grading in the side yards; thus, the lots less than 60-feet wide will be able to accommodate single-family residences of a size suitable for the area. Narrower lots are proposed to comply with the County's General Plan policies regarding clustering and the desire to reduce the development foot print and maximize open space, as further described above. Several of the lots in Neighborhood 4 which have a width of less than 60 feet at the narrowest point are wedge-shaped lots which are wider towards the back of the lot, so that the majority of the lot is greater than 60 feet in width. This includes lots 163, 180-182, 196-204, 210, 213, 215, 224-226. In other cases, the lot width has been reduced in order that the lots may fit within the

challenging existing topography of this Neighborhood. Section 84.401.e states that cul-de-sac frontage must be a 33-foot minimum. Six of the proposed cul-de-sacs in the Plan area do not meet this minimum. Some reduced sized cul-de-sacs were included in the project to allow the development to comply with the County's General Plan and the requirements to reduce the development foot print and maximize open space. Section 84.401.i of the Subdivision Ordinance states that lots should have a length to width ratio or 3:1 or less. The developable pads satisfy the 3:1 ratio. In some instances the lot lines in the rear of the lot were extended to the project boundary, top/toe of slope, or adjacent lot line in order to avoid odd-shaped lots and to give the homeowners the benefit of additional lot area.



Source: Summa Architecture

2.1.3 Architectural Styles

Building styles within the Plan area would include a variety of architectural themes and styles, including Craftsman, European Cottage, Mission, Monterey, Spanish and Italian. By providing a variety of architectural styles, the future homes will feature varied facades which will create a pleasing experience from the roadway. The overall character of Community is intended to convey a spirit of timeless elegance as represented by the traditional building styles of Southern California. Although these styles originated in Europe and the Mediterranean, they have been adapted by the constraints of climate, topography and tradition to become a regional representation of a lifestyle.

It is Important to note that while these are uniquely individual styles, many of their features and characteristics are interchangeable. The purpose of this section of the Design Guidelines is not to restrict, but to inspire in order to create a varied, but consistently high level of architectural design. The following descriptions loosely define the character of the styles in more detail, and how they might be applied to building sites.

Spanish - This style (**Figure 2-5b**) is generally adapted from the early *ranchos* of California and *haciendas* of Mexico. This style is more informal with larger roof overhangs. Structures are primarily low and wide profile with the occasional use of "miradors", a turret or tower element, with one story portions. Roof pitches are 3:12 to 5:12, with deep-set openings. Stucco is the dominant wall material with the occasional use of painted masonry. Roofs are flat or 'S' shaped tile, typically with a random pattern. Colors should be similar to Mission style. Stone columns and ornate, stucco pilasters and columns are used to define major openings and support the beams of the loggias and porches, shutters and lintels are used as accents windows and doors. Eave overhangs could be 18" to 24", and supported on exposed beams with corbeled ends.

Italian - This classic design style (**Figure 2-5b**) is derived from the many regions of the Italy, particularly Tuscan and Roman influences. The basic forms are characterized by strong two story volumes. Roof pitches are dominated by hips and are usually 4:12 to 5:12 pitch. Openings are typically symmetrical and balanced with obvious order and importance of Entry. A tower or pediment could be used to announce the main entrance. Stucco with a semi-smooth finish, usually is the predominant wall material. Colors will be muted earth tone; hues could be yellow or cream to the rust range. Tile, brick, and stone are common accent materials. Roofs are covered with concrete or clay tiles. Openings are usually

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surrounded by ornate trim. Eave overhangs are large usually supported with corbels or built-up cornices. A unique feature to the style is the use of 'quoins' which replicated the limestone edges of the exterior walls. Sculptural iron work and wood shutters could be appropriate accents.



ITALIAN



SPANISH

Source: Summa Architecture

Valiano Specific Plan
County of San Diego

Figure 2-5b
Spanish Italian

Mission - This classic design style (**Figure 2-5c**) is derived from the many regions of the Mediterranean, particularly Southern Spain and Northern Africa. The basic forms are characterized by simple strong one and two story volumes. Roof pitches are shallow, usually 3:12 to 4:12. All major openings are deep-set twelve inches (12") to give the appearance of substantial walls and structure. Stucco with a semi-smooth finish, is the predominant wall material. Although white is the "typical" color, hues should be in the light tan to beige range. Tile, brick, and stone are common accent materials. Roofs are covered with Spanish 'S' shaped tile. Arched openings could be used with restraint. Molded plaster and cut stone are used as accents for major openings. Eave overhangs are small usually formed with a plaster cornice mold with the occasional use of exposed beam ends as accents, particularly at porches and loggias.

Monterey - The Monterey style (**Figure 2-5c**) has its origins in northern California as a combination of the Spanish *haciendas* and Colonial styles imported by early settlers from New England. The structures are a combination of thick wall adobe construction and refined wood detailing. Plan forms are very simple, generally horizontal two-story volumes with secondary single story wings. Roofs are generally 4:12 pitch. The predominant characteristic of the style is the horizontal second floor balcony usually over the entry side of structure. Stucco and painted masonry are the predominant wall materials. Colors range from light beiges and tans to darker earth colors with lighter colors used for trim. Roofs are traditionally flat or barrel clay tile with heavy timber columns to support the porches. "Colonial" doors and windows could be blended with the Hispanic traditions of deep-set windows and thick walls. Shutters are commonly used for accent windows. Second floor portions could be cantilevered for visual relief to the simple horizontal lines.



MONTEREY



MISSION

Source: Summa Architecture

Craftsman - This classic design style (**Figure 2-5d**) is derived from the Arts & Crafts movement in the last turn of the century which even took influence from some Japanese architecture. The height of the style was demonstrated by the Gamble House in Pasadena. The basic forms are characterized by wide proportions in one and two story masses. The style is dominated by gable roofs with shallow pitches and extended eaves, typically 3:12 to 4:12 pitch. Porches typically reach out to welcome guests with tapered columns and stone bases. A mix of siding and plaster are common wall materials. Colors are meant to come from the earth and can be dark tones such as olive or burnt umber. The roof should be flat concrete tile with high definition shingle relief. Openings are typically trimmed with an extended head and sill angle cut to show the artistry of the carpenter. Wood kickers, braces and outlookers typically accompany the gables and ridges. Windows mullions with smaller top quarters help distinguish the theme

European Cottage - This classic design style (**Figure 2-5d**) is derived from the many regions of Europe, particularly France and Great Britain. The basic forms are characterized by vertical one and two story volumes. Roof pitches are steep, usually 5:12 to 8:12. Gable end rakes are typically tight with the roof tile rolled over. All major openings are deep-set twelve inches (12") to give the appearance of substantial walls and structure. Stucco with a smooth finish is the predominant wall material. Although white is the "typical" color, hues should be in the light tan to beige range. Tile, brick, and stone are common accent materials. Roofs are covered with flat shaped concrete tile. Detailing is usually simple as the style is not historically adorned with many ornaments. Shutters, sometimes arched, can add accent color to the elevation. The gable end can include some wood detail to reflect the historical framing such as 'half-timbering' or with clipped gables to create the style.



EURO COTTAGE



CRAFTSMAN

Source: Summa Architecture

Valiano Specific Plan
County of San Diego

Figure 2-5d
Craftsman & European Cottage

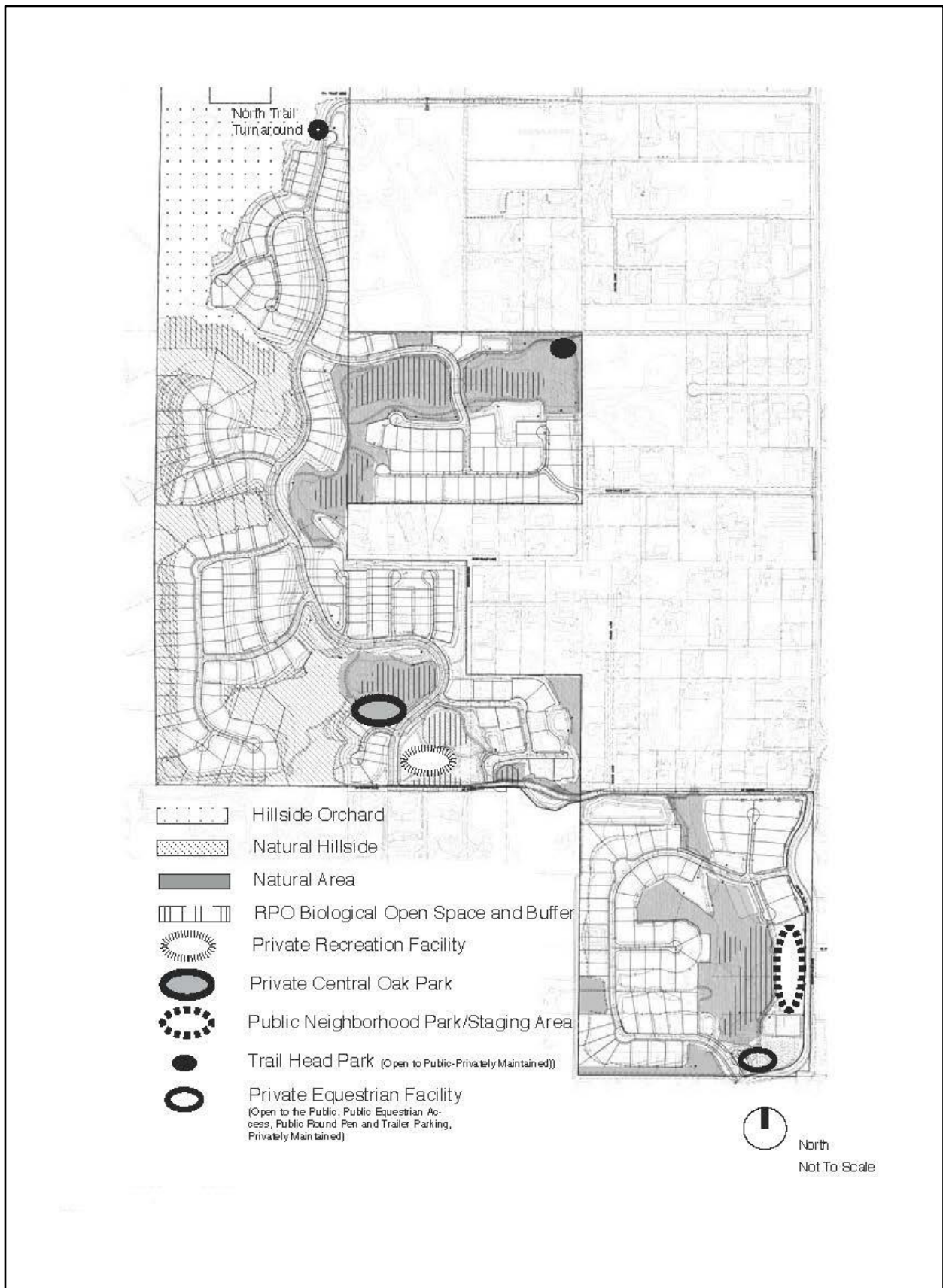
2.1.4 Parks, Recreation and Open Space

Community Open Space Features

Open space, recreation and trails provide the backbone to a successful community as well as connectivity. Within the Valiano Specific Plan there is one public park and several private parks, recreation and open space opportunities for residents of all ages to enjoy. An overview of the open space and recreation features is presented in **Figure 2-6**. A comprehensive multi-use trail system will also provide access to regional park and trail systems for Eden Valley residents.

The recreation opportunities for Valiano will be casual in nature, such as open lawn areas, rustic picnic areas, benches and trails. Trails provide ample physical activity in the form of walking, running, horse riding, mountain biking. Other relaxing activities such as observing nature, bird watching, painting, photography, or picnicking are encouraged. Areas set aside for storm water management will feature grasses and other plants that will treat the initial runoff and will be integrated into the open space design.

In order to provide local park experience, the project seeks park credit for both public and private park experiences for future residents. Park land dedication is based on the requirements set forth in the Park Lands Dedication Ordinance (PLDO) for the Escondido Local Park Planning Area (LPPA). The Valiano Specific Plan provides a total of 3.20 net acres of applicable private and public park credit that exceeds the PLDO requirement of 2.79 acres (**Table 2-1**).



Source: Monica Simpson, ASLA

Table 2-1. Summary of Park Acreage Type and Credit

| | Units | Required sf/du | Requirement | |
|---|--------------------------|--------------------|-----------------------------|--------------------|
| Required Acreage | | | | |
| Escondido LLPA | 326 | 373.74 sf/du | 2.79 acres | |
| Provided Acreage | | | | |
| <i>Park Name</i> | <i>Public or Private</i> | <i>Gross Acres</i> | <i>Net Acres (Per PLDO)</i> | <i>PLDO Credit</i> |
| Public Neighborhood Park and Staging Area | Public | 2.65 | 1.42 | 100% |
| Private Central Oak Park | Private | 1.23 | 0.61 | 50% |
| Private Recreation Facility | Private | 2.33 | 1.17 | 50% |
| Private Equestrian Facility | Private | 0.96 | 0.00 | 0% |
| Equestrian Staging Area – Round Pen, Trail Connection | Public | 0.23 | 0.00 | 0% |
| Trail Head Park | Private | 0.45 | 0.00 | 0% |
| North Trail Turnaround | Private | 0.03 | 0.00 | 0% |
| Totals | | 7.88 | 3.20 | |

Each of the parks emphasizes the rural context and open-space aspect of the community and allows for the preservation of natural habitat. Organized sports facilities are not included. The parks are described in detail below. **Table 2-2** summarizes the individual park amenities and proposed phasing. The overall project will be phased with up to four phases. Park amenities would be provided in the first 50 percent of development.

Table 2-2. Proposed Amenities and Phasing

| <i>Park Name</i> | <i>Proposed Amenities</i> | <i>Phase</i> |
|---|--|------------------|
| Public Neighborhood Park and Staging Area | Open Lawn Area, One Group Shade Structure, Three Picnic Tables, Children's Play Areas with Age Separated Activities, Half-Court Basketball, One Horse Hitching Station, Seating areas, Community Garden, One Kiosk with Trail Map, Five Benches, public restroom, and Off Street Parking | Phase 1 |
| Private Central Oak Park | Open Lawn Area, Trails, Two Picnic Tables, Four Benches, One Small Shade Structure, and two Exercise Stations | Phase 2 or 3 |
| Private Recreation Facility | Swimming Pool with Community Room, Restrooms, Shade Structure, Two Picnic Tables, One Children's Play Area, Open Lawn Area | Phase 2 or 3 |
| Private Equestrian Facility | Public Trail Connection, Round Pen, Public Horse Trailer Parking | Phase 1 or 2 |
| Trail Head Park | Two Picnic Tables, Two Benches, One Kiosk with Trail Map. Horse Tie Up | Phase 2, 3, or 4 |
| North Trail Turnaround | One Bench, Trash Receptacle, Signage, Shade Trees | Phase 5 |

Public Neighborhood Park and Trail Staging Area - Valiano includes a 2.65-acre public Neighborhood Park located in the southeast portion of the Plan Area adjacent to Country Club Drive. This Neighborhood Park has been designed as a natural park to seamlessly integrate and complement the rural character of Eden Valley. It is intended to provide a local gathering space and pedestrian staging area for residents within Eden Valley. The Neighborhood Park is designed to include a variety of programming opportunities including, but not limited to, open lawn area, group shade structure, picnic areas, children's play areas with age separated activities, half-court basketball, a horse hitching station, and a community garden. Structures and amenities shall be designed to reflect the rural design of the community and be reflective of its landscape and architectural character. **Figure 2-7** presents a concept plan for the Public Neighborhood Park.

The Public Multi-Use Trail runs through the park and pedestrian access is provided from the surrounding neighborhoods. Park design shall incorporate unique cultural elements or focal points consistent with the history of the property to create a distinct identity.

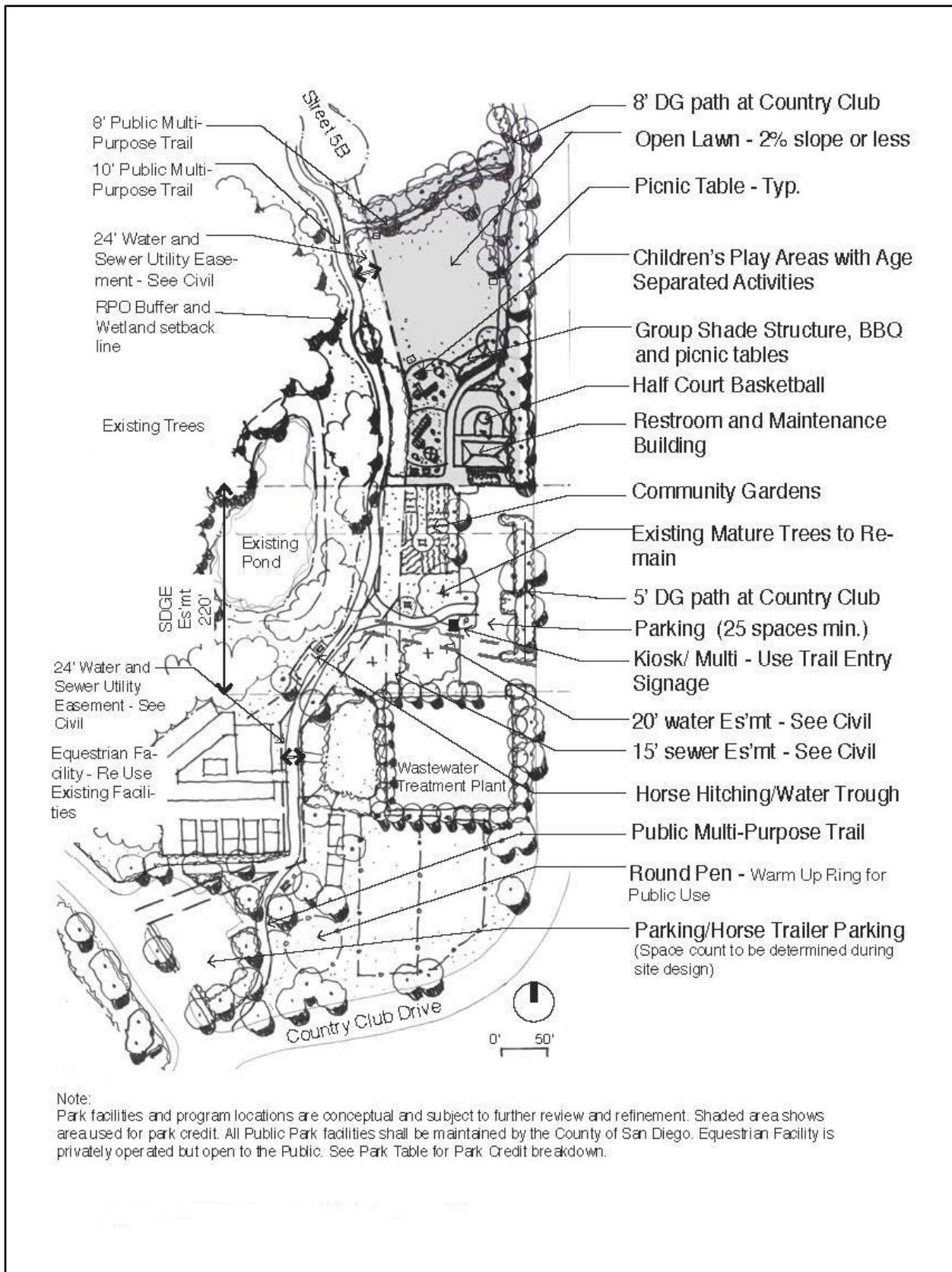
Private Central Oak Park - Truly a treasure, this existing grove of mature oaks will be preserved for the community to enjoy. It is located along the Community Parkway as a symbol of the important visual and

social role it will play in the community. It is conveniently connected to neighborhood walks and the public multi-use trail (**Figure 2-7b**). This 1.23-acre park will maintain existing habitat, and provide opportunities for both active and passive recreation such as open lawn areas, picnic areas, two fitness nodes, and informal children's play areas. Informal play areas may consist of interestingly designed pathways, random arrangement of boulders, logs and other natural objects that can provide a variety of play opportunities to encourage children to use their imagination or create their own adventure game. A fitness course or fitness stations is proposed along the private trail system within the park. The park will be privately maintained. No other additional uses that require parking are allowed.

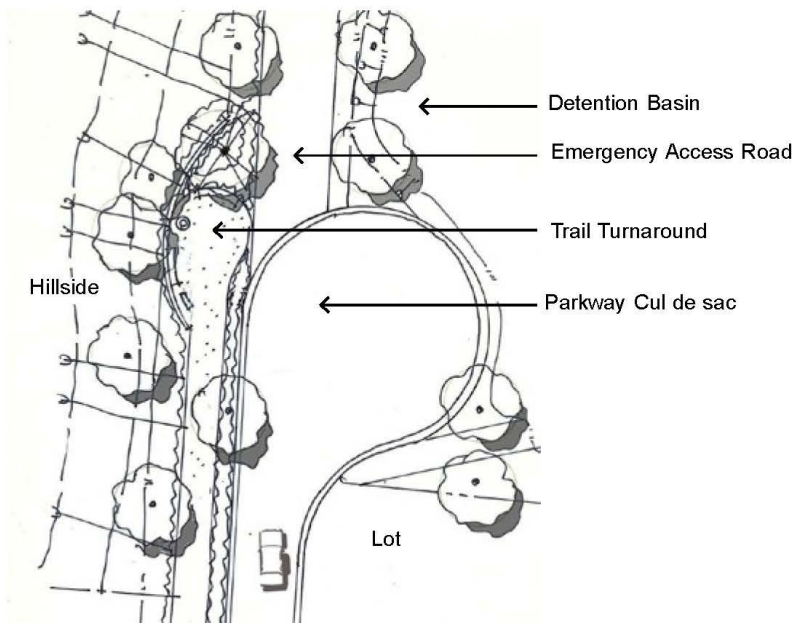
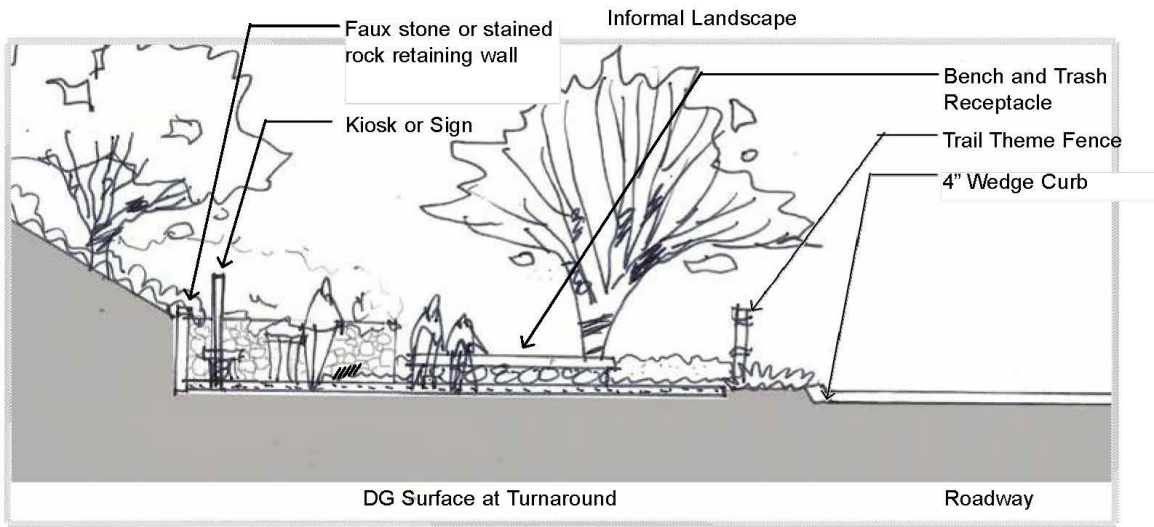
Private Recreation Facility- The Valiano Recreation Center located off of Mount Whitney Road will be a private facility for residents. It is part of the entry experience into the community and visually connected to the Central Oak Park (**Figure 2-7b**) and to community trails. The 2.33-acre Park will include a small community building, swimming pool, open lawn area, picnic areas, and a children's play area. The built facilities will be carefully nestled into the mature landscape and riparian area. Limited parking will be provided on street. No other additional uses that require parking are allowed.

Private Equestrian Facility – Portions of the existing equestrian training and boarding facility on the property will remain and be maintained and operated privately, yet open to the public to accommodate horse boarding. The site will be reconfigured to allow public horse trailer parking and use of an exercise ring for the public to access the multi-use trail (conceptual design in **Figure 2-7** to be refined during final engineering).

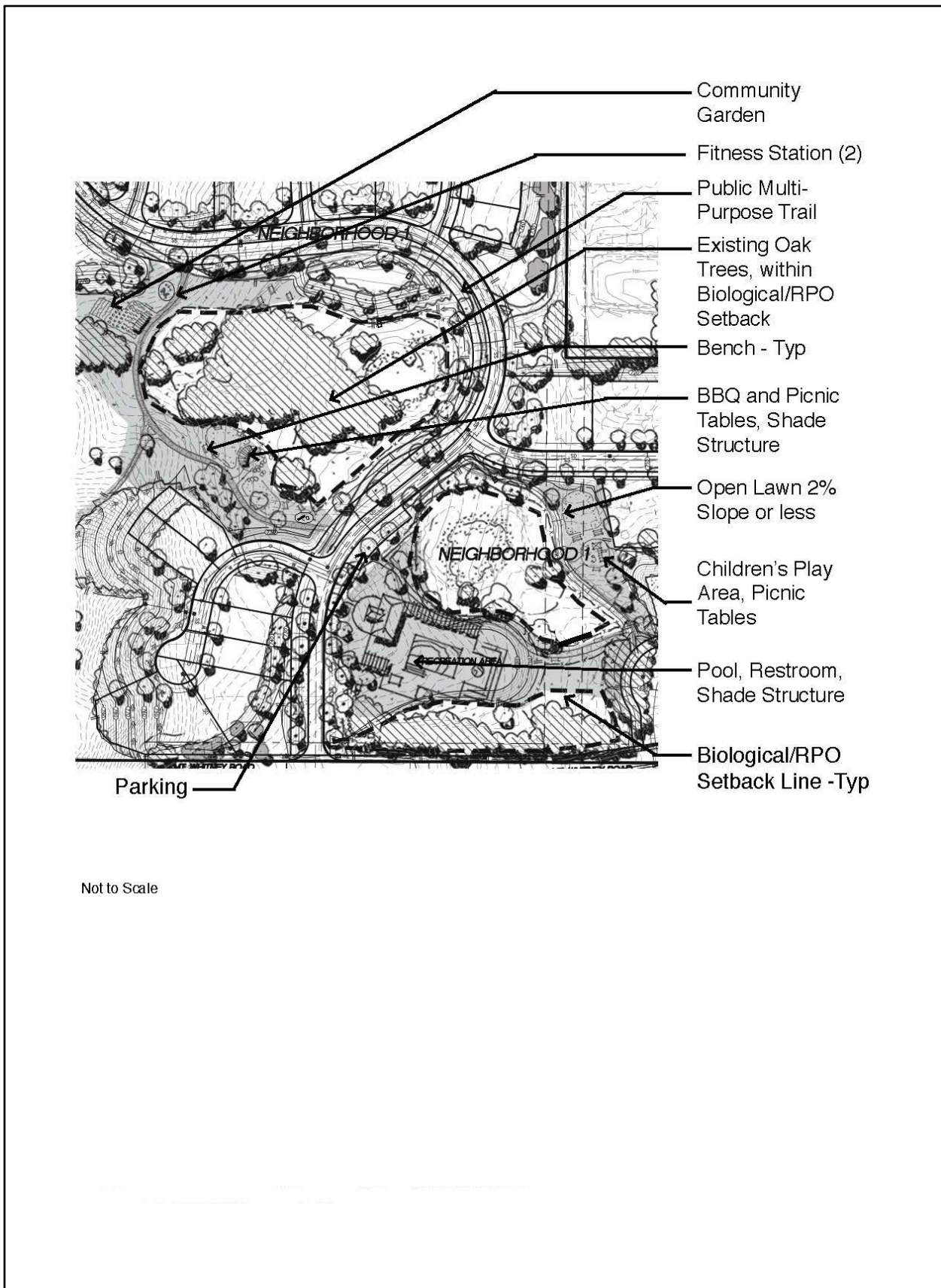
North Trail Turnaround – At the north end of the multi-use trail, a convenient turnaround has been provided with shade trees, benches, trash receptacle, and trail signage (**Figure 2-7a**). The Trail End Turnaround will be maintained by the Valiano Homeowners Association.



Source: Monica Simpson, ASLA



Source: Monica Simpson, ASLA



Source: Monica Simpson, ASLA

Trail Head Park – An approximate 0.5-acre Trail Head Park is proposed within the eastern portion of the project in Neighborhood 3 and will provide convenient non-motorized access to the trail system for Eden Valley residents to the east of the Plan area. The Trail Head Park (**Figure 2-7c**) is intended to have benches, picnic tables, and a trail map/area information kiosk. The Trail Head Park will be maintained by the Valiano Homeowners Association. Motorized access to the public trail system will be provided at the Public Neighborhood Park.